

Property Research Sheet

Location ID#(s): 45577

As of: 8/23/2019

Researched By: Jacob Sodaro

Address: 1401 W GALENA BL

Ward: 5

Parcel Number(s): 15-20-129-037

Current Zoning: R-2 One-Family Dwelling District

Subdivision: Part of Lots 7 & 8, and All of Lots 9 & 10 of Randall's Addition to Aurora

1929 Zoning: Not Applicable

Size: 2.15 Acres / 93,654 Sq. Ft.

1957 Zoning: R-2 One-Family Dwelling District

School District: SD 129 - West Aurora School District

Comp Plan Designation: Low Density Residential

Park District: FVPD - Fox Valley Park District

ANPI Neighborhood: Edgelawn Randall

Overall Development Name: Randall's Addition

Current Land Use

Current Land Use: Quasi-Public: Religious Institution

AZO Land Use Category: Religious Institutions (6400)

Number of Buildings: 1

Number of Stories: 2

Building Built In: 1958

Parking Spaces: 91

Total Building Area: 10,902 sq. ft.

Non-Residential Area: 10,902 sq. ft.

Zoning Provisions

Setbacks and Other Bulk Standards:

Requirements are pursuant to the Aurora Zoning Ordinance Section(s) 5 and 7.6.

Setbacks are typically as follows:

Front Yard Setback: 30 feet

Side Yard Setback: 6 feet on lots less than 60 feet wide or less or 8 feet on lots greater than 60 feet

Exterior Side Yard Setback: 10 feet

Exterior Side Yard Reverse Corner Setback: 15 feet

Rear Yard Setback: 30 feet

Setback Exceptions: Front setback exception for an infill lot. On infill lots the public street elevation of the structure shall be located at the average established setback line of the Impact Area. For additional regulations on infill lots refer to Infill Housing Standards located in the Residential District Specific Regulations of the zoning ordinance.

Side setback exception for religious institutions: On lots upon which a religious institution is constructed or extensions made to an existing religious institution, there shall be a side setback line of not less than ten (10) feet on each side of the

main structure and a combined total of side setback of not less than twenty-five (25) feet.

Other bulk standards are typically as follows:

Building Separations: None	Floor Area Ratio: None
Minimum Lot Width and Area: Typically 60 feet and 8,000 sq ft	Minimum Primary Structure Size: Typically 1,300 sq ft
Maximum Lot Coverage: 40%	Minimum Dwelling Unit Size: See minimum Primary Structure /Building Size
Maximum Structure Height: Typically 35 feet and not over 2 ½ stories.	

Parking and Loading:

The Parking and Loading requirements are pursuant to the Aurora Zoning Ordinance Table Two: Schedule of Off-street Parking Requirements and Section(s) 5 and 7.6.

Permitted Uses:

Permitted Uses are pursuant to the Aurora Zoning Ordinance Table One: Use Categories and Section(s) 4.2 and 7.6 Permitted Exceptions:

Special Uses:

Special Uses are pursuant to the Aurora Zoning Ordinance Table One: Use Categories and Section(s) 4.3 and 7.6.

Limited But Permitted Uses:

Limited but Permitted Uses are pursuant to the Aurora Zoning Ordinance Table One: Use Categories and Section(s) 4.3 and 7.6.

Miscellaneous Notes on History

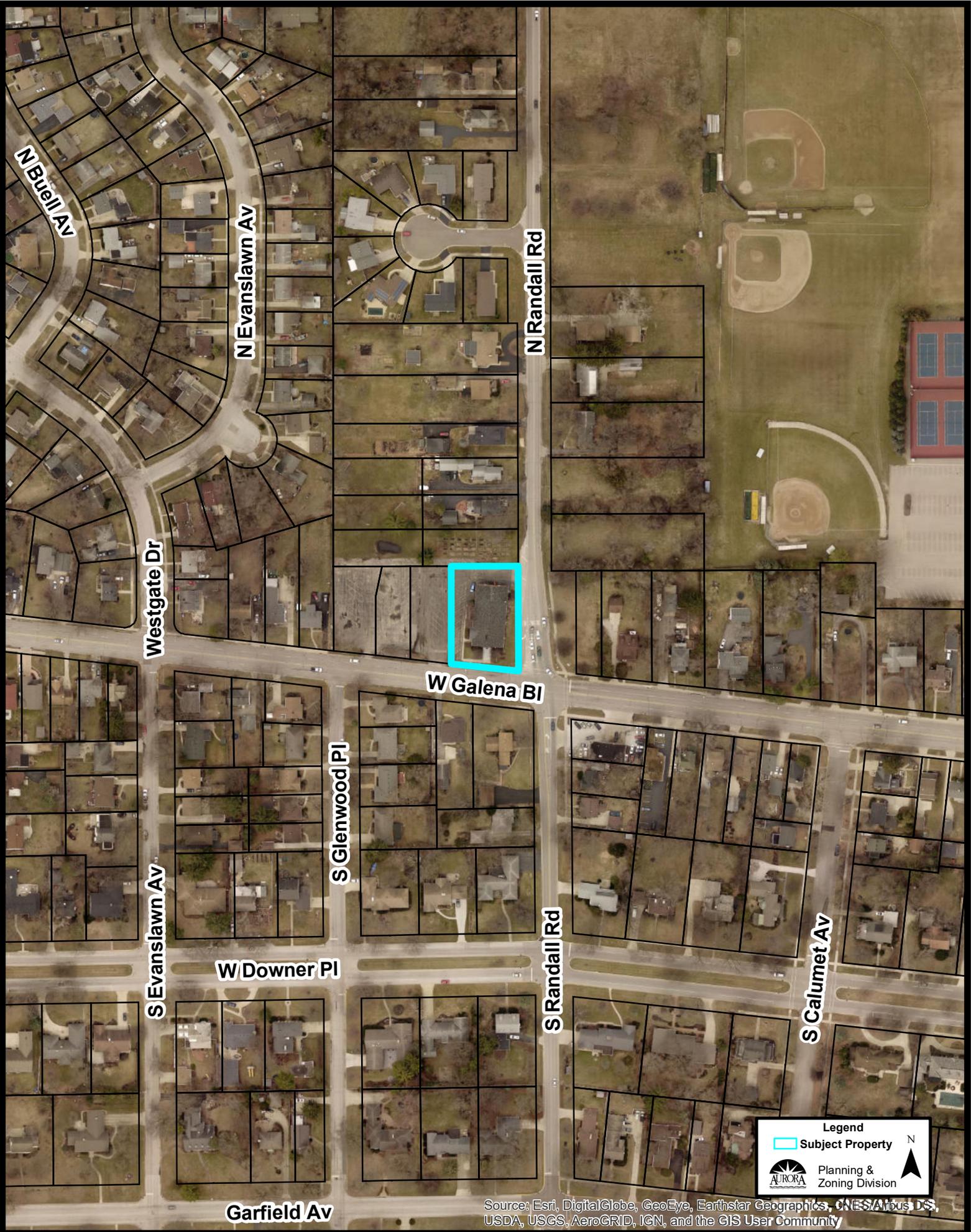
None

Legislative History

O1957-3100 approved on 11/4/1957: AURORA ZONING ORDINANCE AND MAP.

Location Maps Attached:

- Aerial Overview
- Location Map
- Zoning Map
- Comprehensive Plan Map



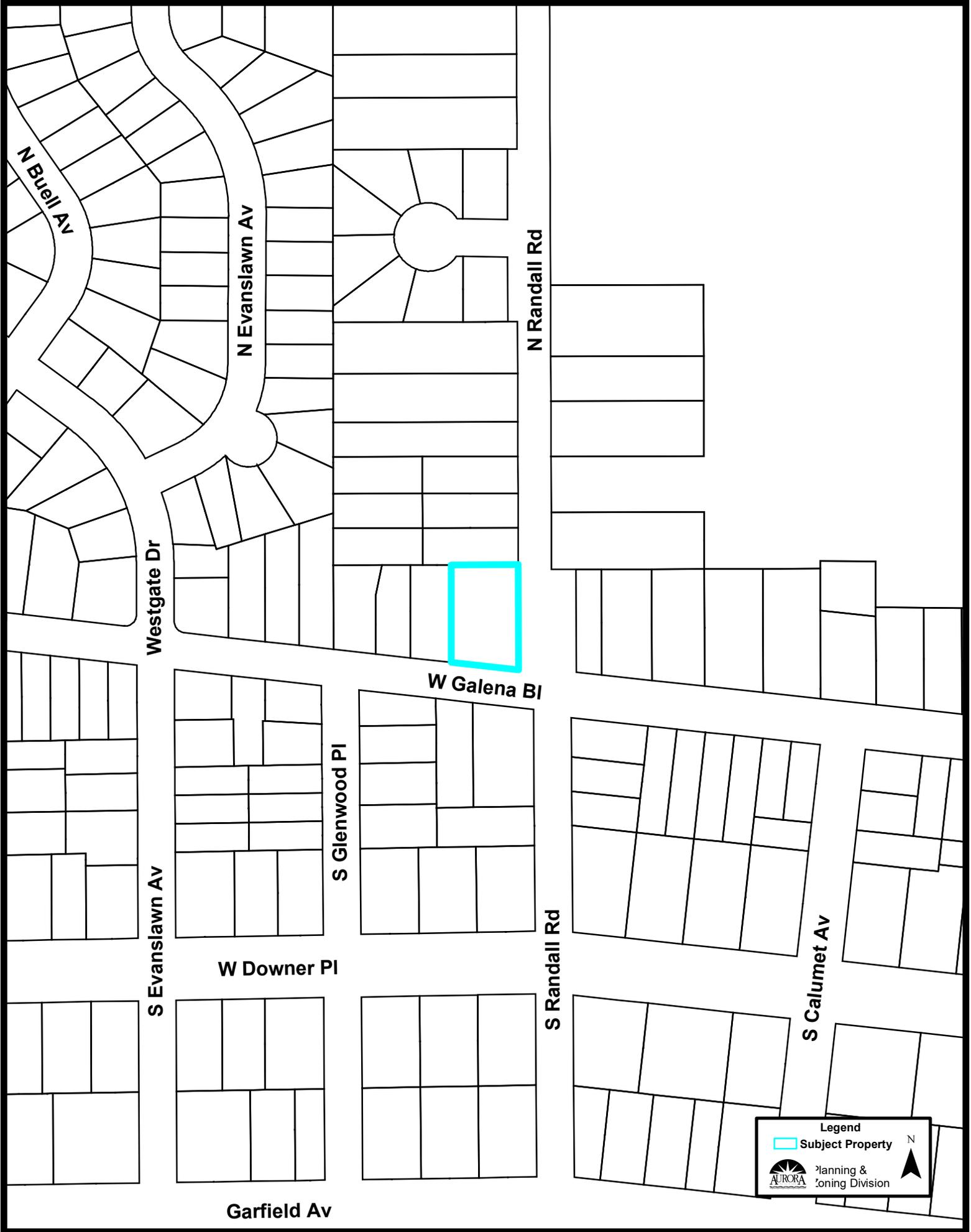
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- Subject Property

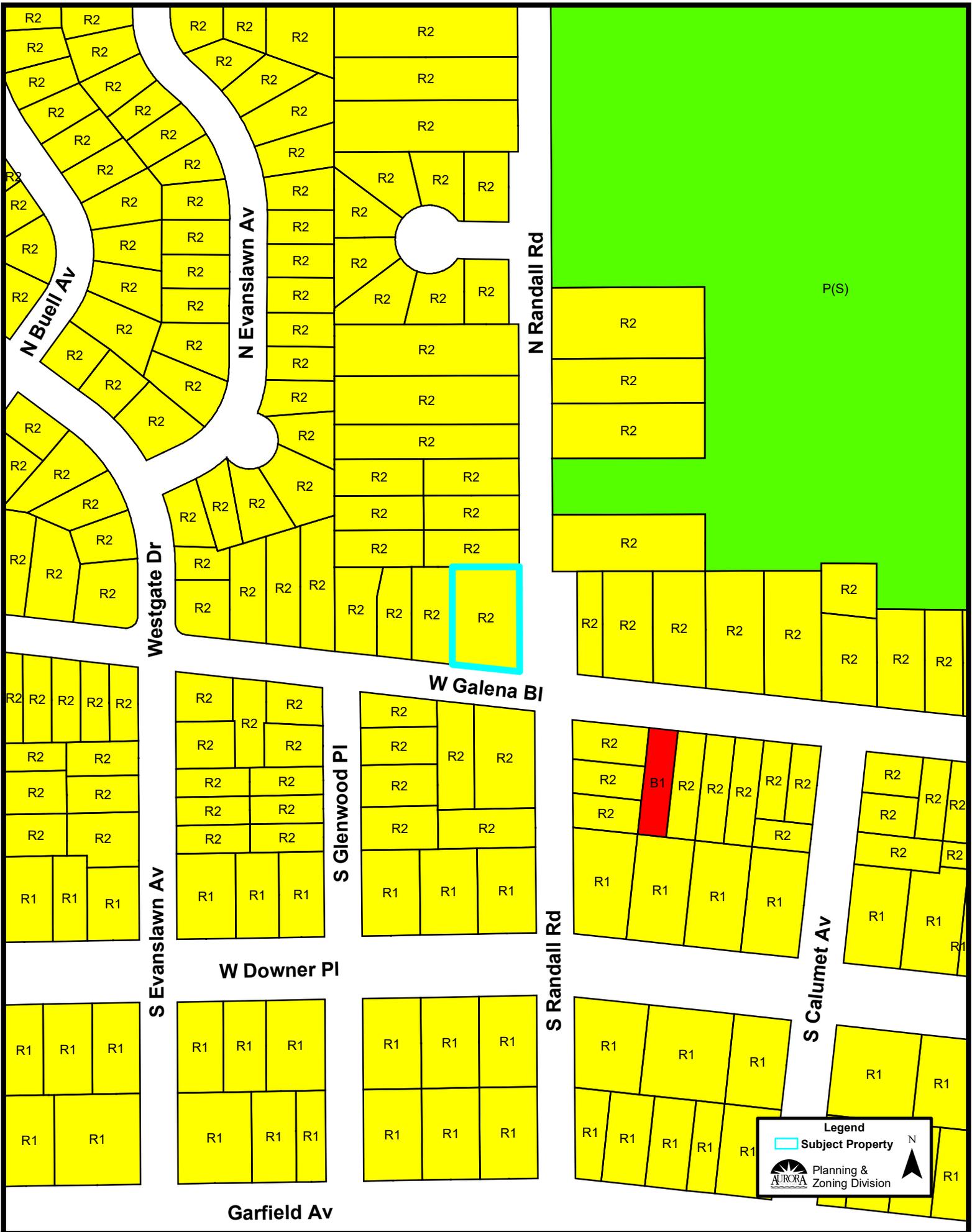
 Planning & Zoning Division

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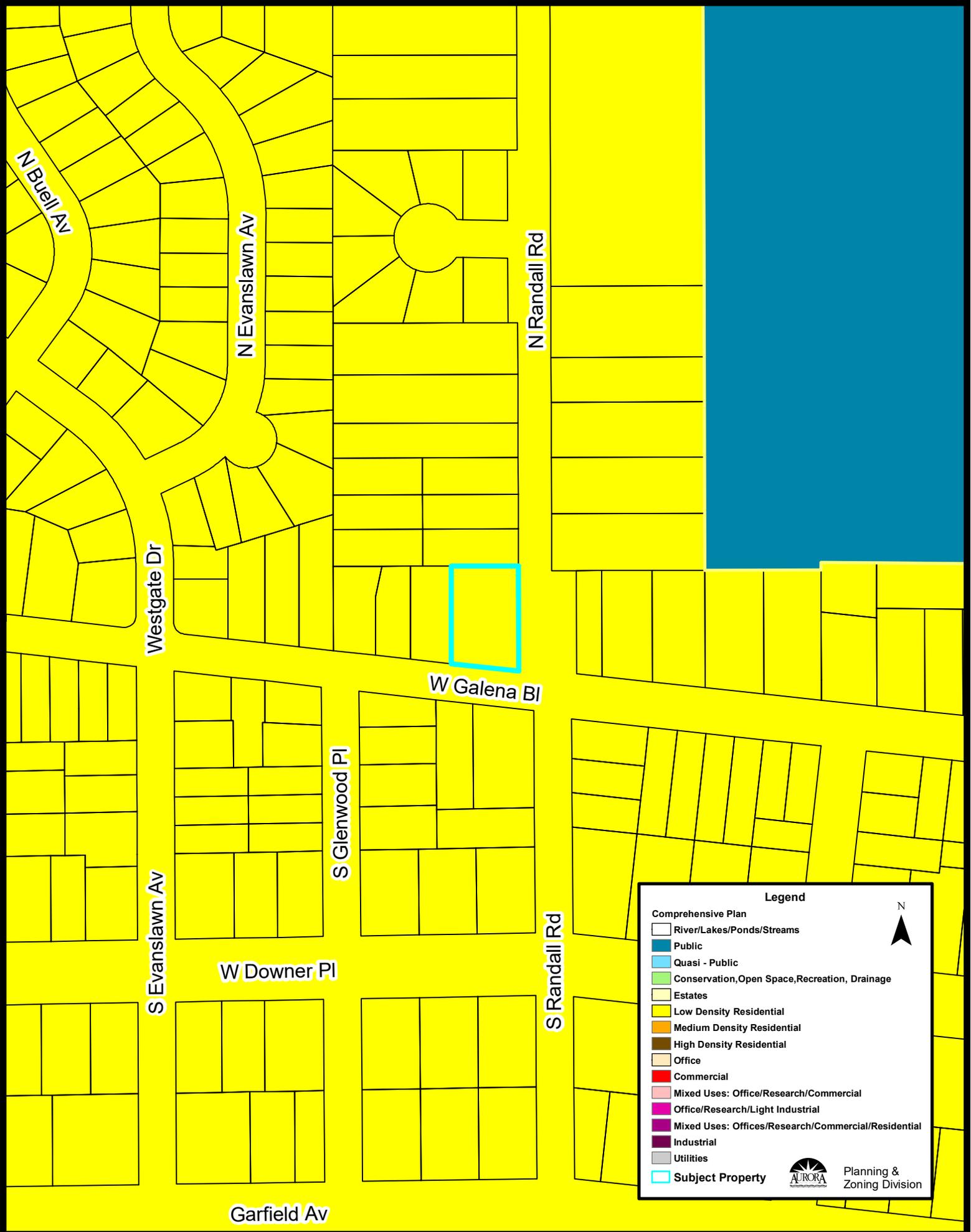
Location Map (1:2,500):



Zoning Map (1:2,500):



Comprehensive Plan (1:2,500):



Legend

Comprehensive Plan

- River/Lakes/Ponds/Streams
- Public
- Quasi - Public
- Conservation, Open Space, Recreation, Drainage
- Estates
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Office
- Commercial
- Mixed Uses: Office/Research/Commercial
- Office/Research/Light Industrial
- Mixed Uses: Offices/Research/Commercial/Residential
- Industrial
- Utilities
- Subject Property

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