

KINGSLEY ROW
PRELIMINARY ENGINEERING PLANS
SECTION 28 TOWNSHIP 38 NORTH RANGE 9 EAST
AURORA, ILLINOIS
DUPAGE COUNTY

DEVELOPER / SUBDIVIDER:
M/I Homes of Chicago, LLC
2135 City Gate Lane, 620
Naperville, IL 60563
Tel: 630-577-5228

CIVIL ENGINEER & LAND SURVEYOR (TOPO)
Haeger Engineering LLC
Illinois Prof. Design Firm #184-003152
100 E. State Parkway
Schaumburg, IL 60173
Tel: 847-394-6600
Fax: 847-394-6608
www.haegerengineering.com

LAND SURVEYOR (BOUNDARY)
Thomson Surveying Ltd.
9575 W. Higgins Road, Suite 850
Rosemont, Illinois 60018
tel. 847.318.9790
fax. 847.318.9792

TRAFFIC CONSULTANT
KLOA, Inc.
9575 W. Higgins Road
Rosemont, Illinois 60018
tel. 847.518.9990
fax. 847.518.9987
www.kloainc.com

WETLAND CONSULTANT
Gary R. Weber Associates, LLC
212 S. Main Street
Wheaton, Illinois 60187
tel. 630.668.7197

LANDSCAPE ARCHITECT
Gary R. Weber Associates, LLC
212 S. Main Street
Wheaton, Illinois 60187
tel. 630.668.7197

GEOTECHNICAL ENGINEER
Construction & Geotechnical Material Testing, Inc.
60 Martin Lane
Elk Grove Village, IL 60007
tel. 630.595.1111

CITY OF AURORA
44 E Downer Place
Aurora, IL 60505
tel. 630.256.4636

City Benchmark:

City of Aurora Benchmark 32W
Northing: 1851441.3946
Easting: 1015859.7295
Elevation: 712.57 NAVD 88

Site Benchmarks:

CP # 600 (See Survey)
Description: Cross Notch
Elevation: 722.60 NAVD 88 (Geoid 12A)

CP # 609 (See Survey)
Description: Cross Notch
Elevation: 715.86 NAVD 88 (Geoid 12A)

CP # 617 (See Survey)
Description: Cross Notch
Elevation: 704.95 NAVD 88 (Geoid 12A)

CP # 715 (See Survey)
Description: Cross Notch
Elevation: 713.04 NAVD 88 (Geoid 12A)

CP # 2057 (See Survey)
Description: Cross Notch
Elevation: 703.55 NAVD 88 (Geoid 12A)



LOCATION MAP
Not To Scale

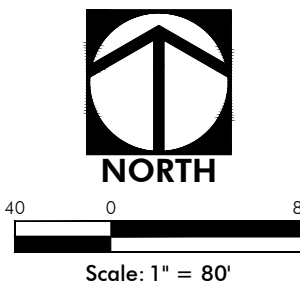
INDEX TO SHEETS	
NO.	DESCRIPTION
C1.0	TITLE SHEET
C2.0	EXISTING CONDITIONS PLAN - OVERALL
C2.1	EXISTING CONDITIONS & DEMOLITION PLAN - WEST
C2.2	EXISTING CONDITIONS & DEMOLITION PLAN - NORTHEAST
C2.3	EXISTING CONDITIONS & DEMOLITION PLAN - SOUTHEAST
C3.0	GRADING & DRAINAGE PLAN - OVERALL
C3.1	GRADING & DRAINAGE PLAN - WEST
C3.2	GRADING & DRAINAGE PLAN - NORTHEAST
C3.3	GRADING & DRAINAGE PLAN - SOUTHEAST
C4.0	GEOMETRY / UTILITY PLAN - OVERALL
C4.1	GEOMETRY / UTILITY PLAN - WEST
C4.2	GEOMETRY / UTILITY PLAN - NORTHEAST
C4.3	GEOMETRY / UTILITY PLAN - SOUTHEAST

Existing Symbol	LEGEND Description	Proposed Symbol
	Storm Sewer Manhole	
	Catch Basin	
	Inlet	
	Flared End Section	
	Headwall	
	Area Drain	
	Sanitary Sewer Manhole	
	Clean Out	
	Fire Hydrant	
	Valve Vault	
	Valve Box	
	B-Box	
	Well Head	
	Gas Valve	
	Electrical Pedestal	
	Electric Manhole	
	Guy Wire	
	Utility Pole	
	Telephone Pedestal	
	Telephone Manhole	
	Light Pole	
	Light Pole With Mast Arm	
	Traffic Signal	
	Traffic Signal With Mast Arm	
	Cable TV Pedestal	
	Storm Sewer	
	Storm Sewer Service	
	Perforated Underdrain	
	Sanitary Sewer	
	Sanitary Sewer Service	
	Combined Sewer	
	Force Main	
	Water Main	
	Water Main Service	
	Gas Line	
	Electric Line	
	Overhead Utility Line	
	Fiber Optic Line	
	Telephone Line	
	Cable TV Line	
	Curb Elevation and Gutter/Pavement Elevation	
	Pavement Elevation	
	Sidewalk Elevation	
	Ground Elevation	
	Top of Wall Elevation	
	Bottom of Wall Elevation	
	Open Lid Frame & Grate	
	Closed Lid Frame & Lid	
	Finish Grade	
	Garage Floor	
	Top of Foundation	
	Swale	
	Hardscape Flow	
	Softscape Flow	
	Over Land Flow Route	
	Contour Line	
	Hand Hole	
	Fence	
	Guardrail	
	Pipe Bollard	
	Sign	
	Flagpole	
	Mailbox	
	Handicapped Parking Stall	
	Number of Parking Stalls	
	Curb & Gutter	
	Reverse Pitch Curb & Gutter	
	Depressed Curb	
	Retaining Wall	
	Wetland	
	Wetland Buffer	
	Normal Water Level	
	High Water Level	
	Flood Plain	
	Flood Way	
	Deciduous Tree	
	Coniferous Tree	
	Bush	
	Brushline	
	Soil Boring	

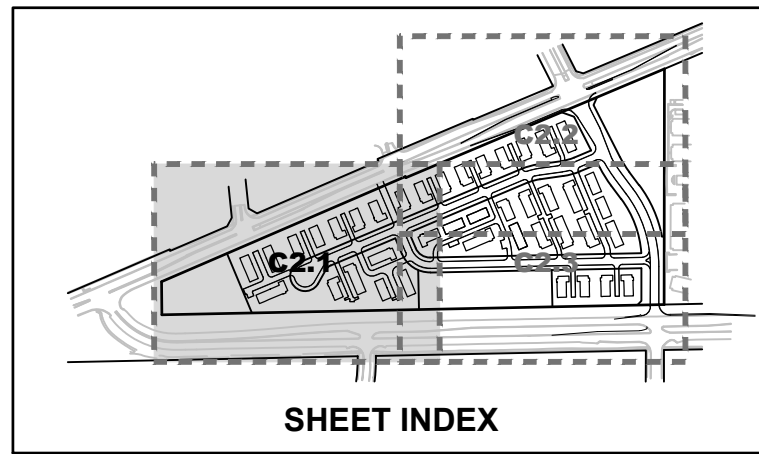


Know what's below.
Call before you dig.

Note:
Call 811 at least 48 hours, excluding weekends and holidays, before you dig.

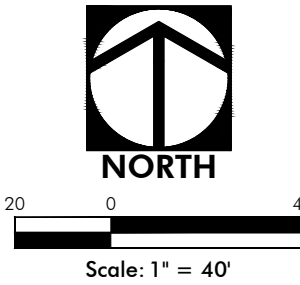
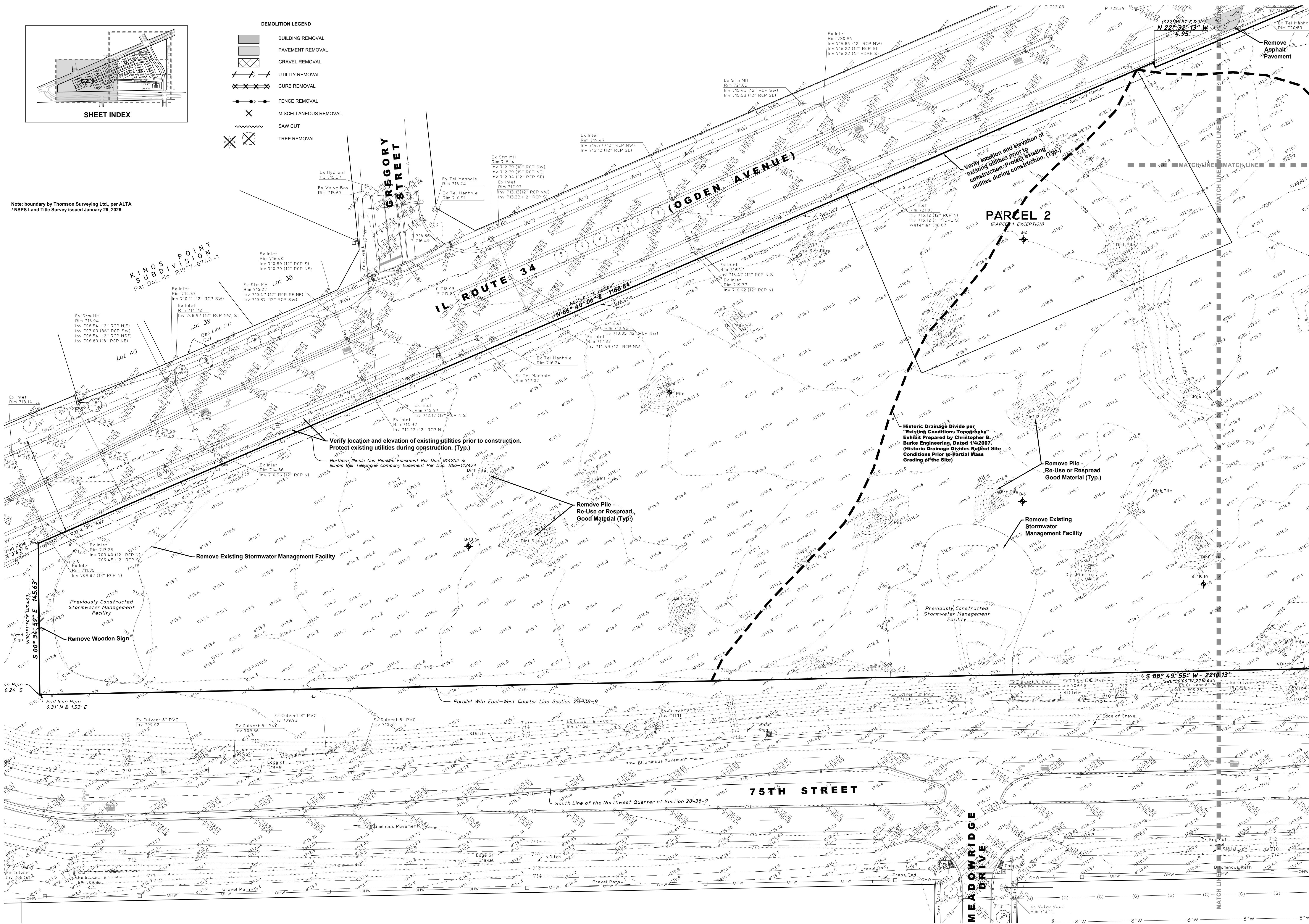


EXISTING CONDITIONS PLAN - OVERALL	KINGSLEY ROW PRELIMINARY ENGINEERING PLANS
---------------------------------------	---



Note: boundary by Thomson Surveying Ltd., per ALTA / NSPS Land Title Survey issued January 29, 2025.

- DEMOLITION LEGEND
- BUILDING REMOVAL
 - PAVEMENT REMOVAL
 - GRAVEL REMOVAL
 - UTILITY REMOVAL
 - CURB REMOVAL
 - FENCE REMOVAL
 - MISCELLANEOUS REMOVAL
 - SAW CUT
 - TREE REMOVAL

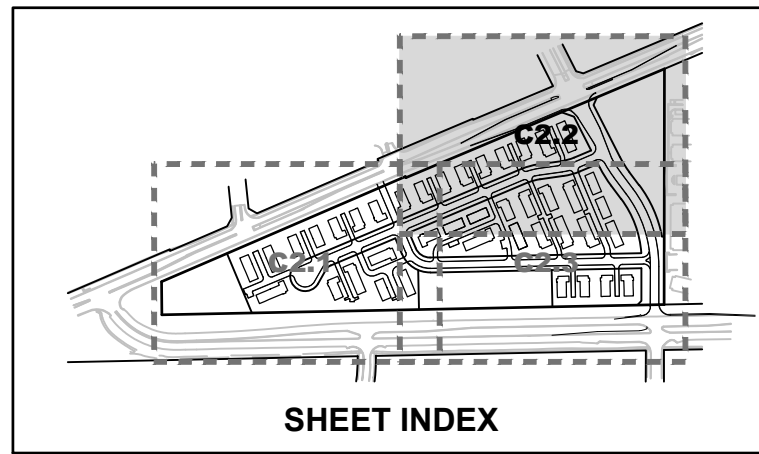


Per City Review	Date
10-03-2025	2
01-14-2026	1

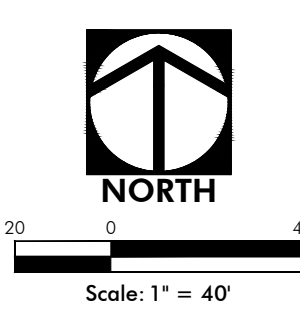
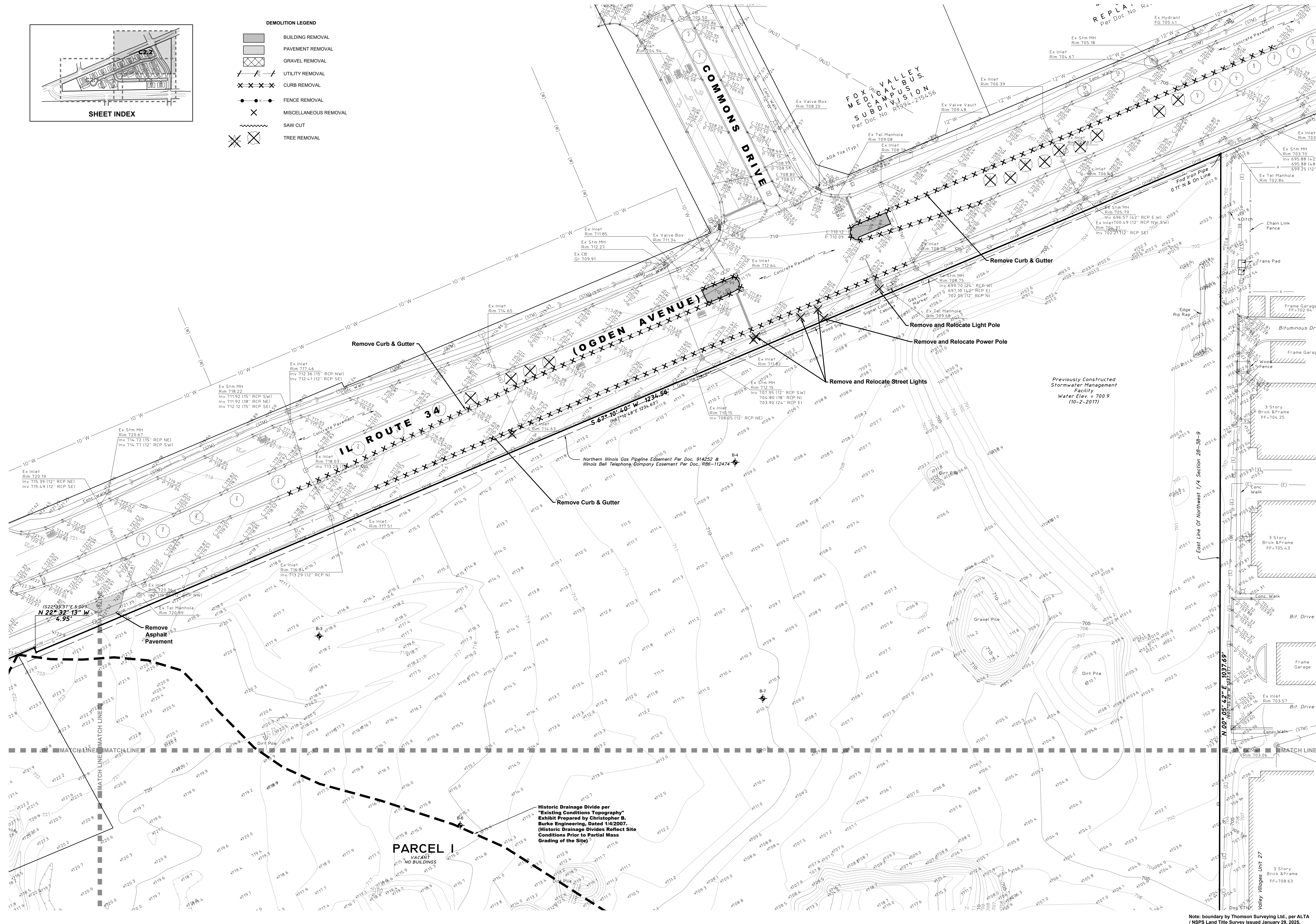
HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60193 • Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003152
www.haegerengineering.com

EXISTING CONDITIONS & DEMOLITION PLAN - WEST
KINGSLEY ROW
PRELIMINARY ENGINEERING PLANS
3855 OGDEN AVENUE, CITY OF AURORA, DUPAGE COUNTY, ILLINOIS

Project Manager: LAK
Engineer: JDT
Date: 06.04.2025
Project No. 25-041
Sheet **C2.1**



- DEMOLITION LEGEND**
- BUILDING REMOVAL
 - PAVEMENT REMOVAL
 - GRAVEL REMOVAL
 - UTILITY REMOVAL
 - CURB REMOVAL
 - FENCE REMOVAL
 - MISCELLANEOUS REMOVAL
 - SAW CUT
 - TREE REMOVAL



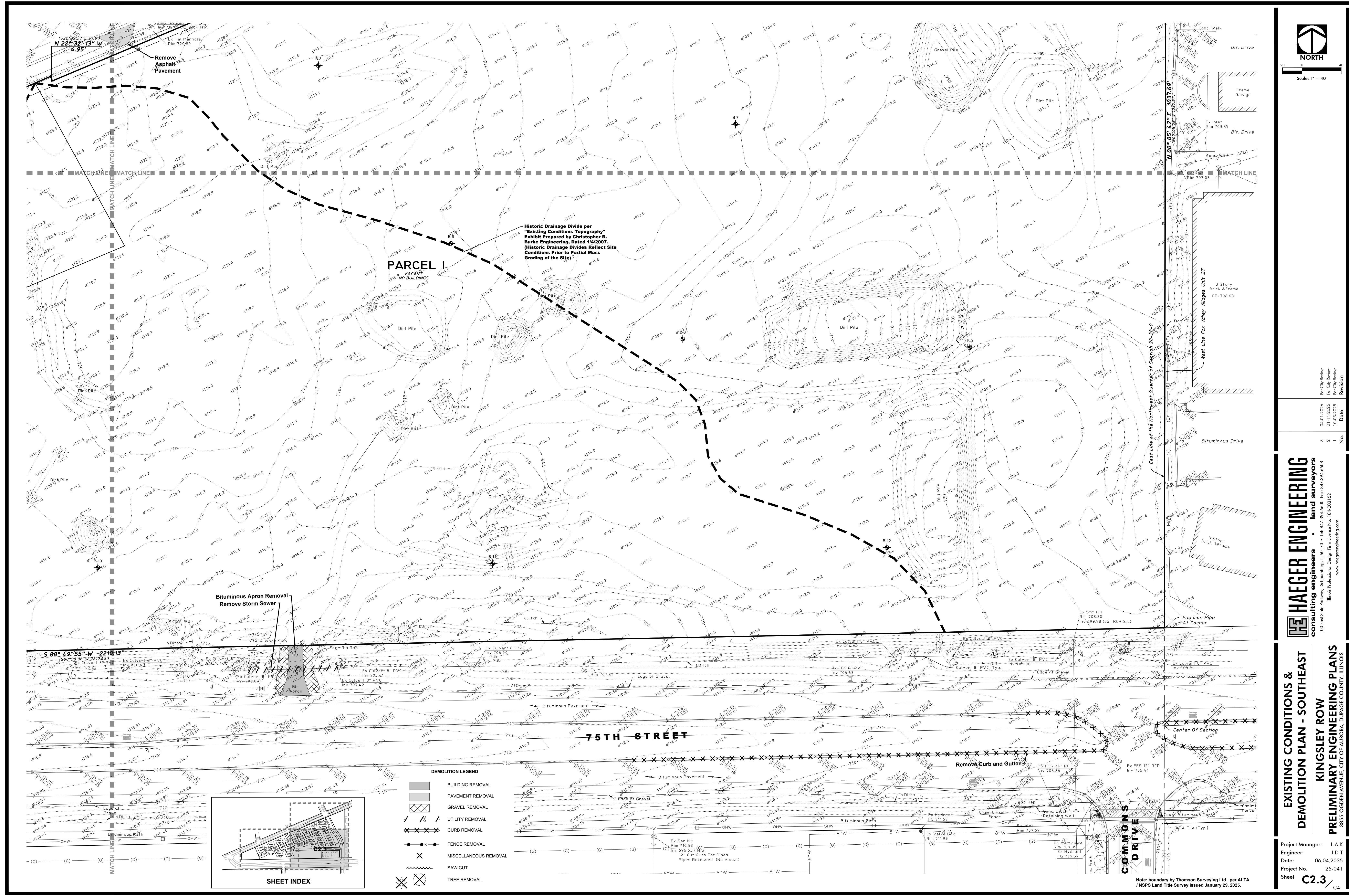
HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60193 • Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003152
www.haegerengineering.com

EXISTING CONDITIONS & DEMOLITION PLAN - NORTHEAST

KINGSLEY ROW
PRELIMINARY ENGINEERING PLANS
3855 OGDEN AVENUE, CITY OF AURORA, DUPAGE COUNTY, ILLINOIS

No.	Date	Revision
2	01-14-2026	Per City Review
1	10-03-2025	Per City Review

Project Manager: LAK
Engineer: JDT
Date: 06.04.2025
Project No. 25-041
Sheet **C2.2**

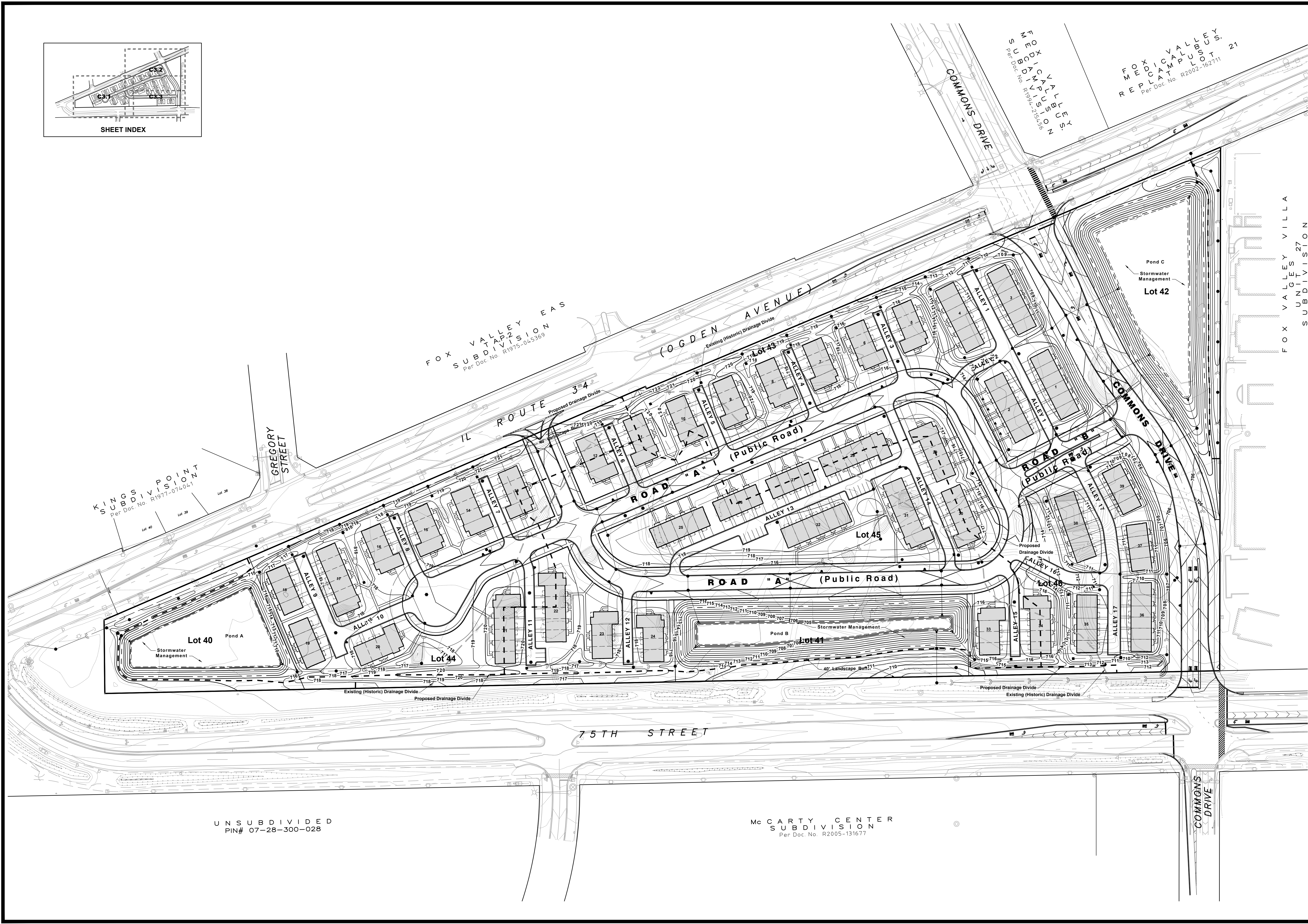
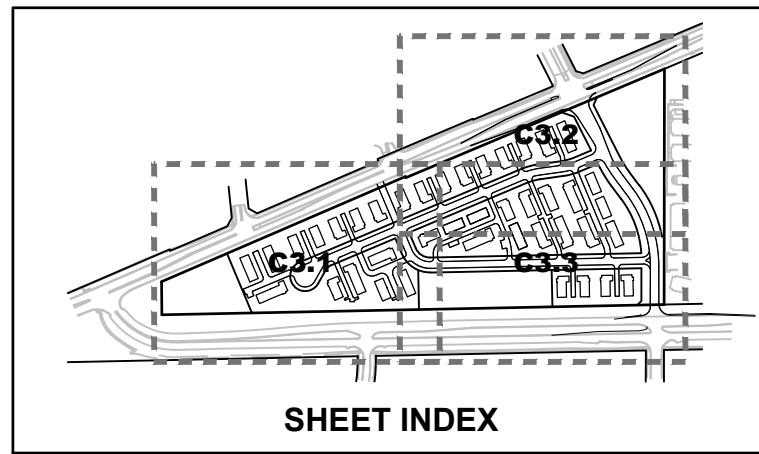


HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60193 • Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003152
www.haegerengineering.com

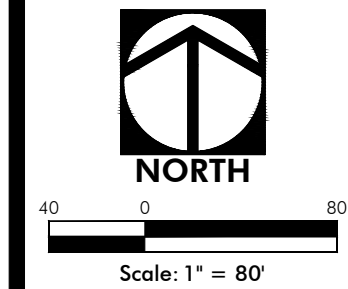
No.	Date	Revision
3	04/01/2026	Per City Review
2	01-14-2026	Per City Review
1	10-03-2025	Per City Review

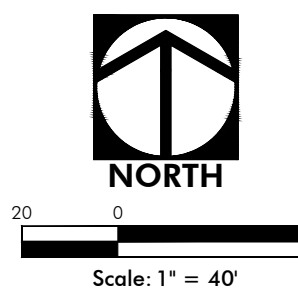
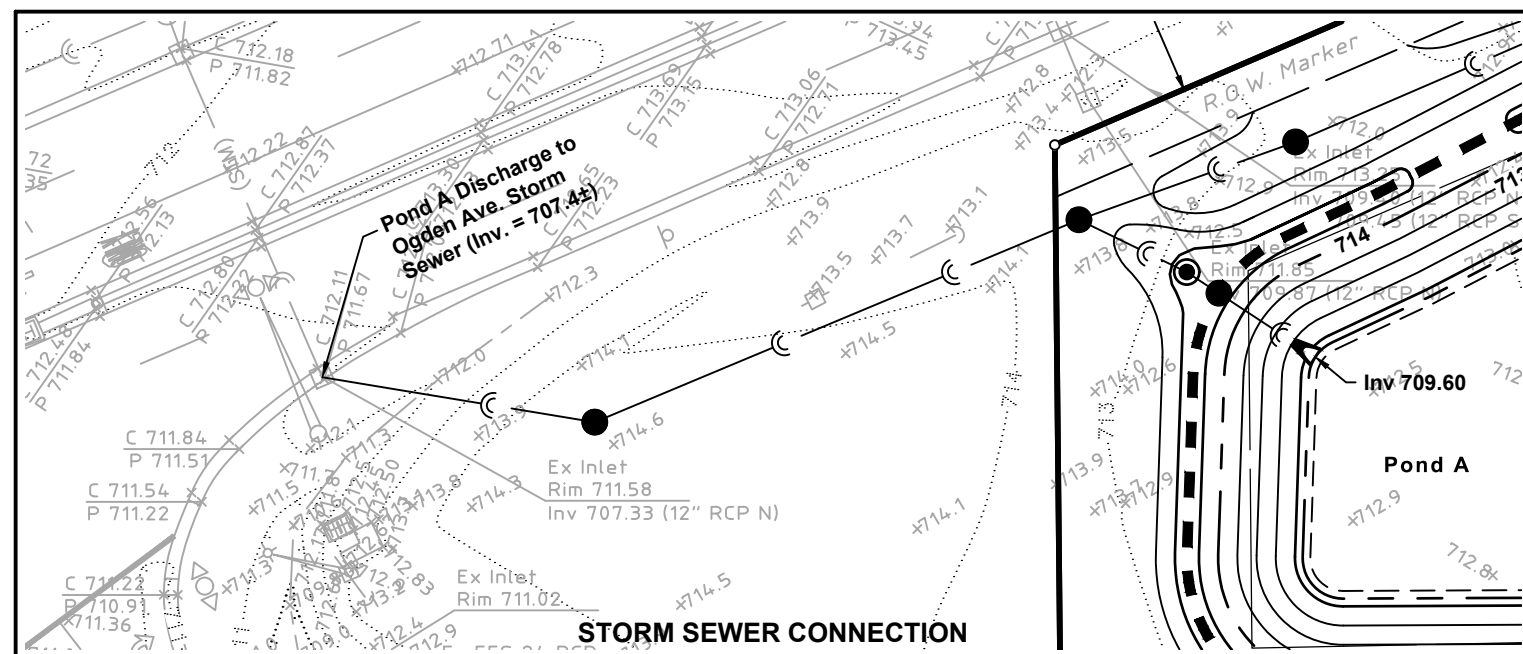
EXISTING CONDITIONS & DEMOLITION PLAN - SOUTHEAST KINGSLEY ROW
PRELIMINARY ENGINEERING PLANS
3855 OGDEN AVENUE, CITY OF AURORA, DUPAGE COUNTY, ILLINOIS

Project Manager: LAK
Engineer: JDT
Date: 06.04.2025
Project No: 25-041
Sheet: C2.3



Project Manager: LAK		
Engineer: JDT		
Date: 06.20.2025		
Project No. 25-041		
Sheet C3.0		
C4		
GRADING AND DRAINAGE PLAN - OVERALL		
KINGSLEY ROW		
PRELIMINARY ENGINEERING PLANS		
3855 OGDEN AVENUE, CITY OF AURORA, DUPAGE COUNTY, ILLINOIS		
HAEGER ENGINEERING consulting engineers • land surveyors		
100 East State Parkway, Schaumburg, IL 60193 • Tel: 847.394.6600 Fax: 847.394.6608		
Illinois Professional Design Firm License No. 184-003132		
www.haegerengineering.com		
No.	Date	Revision
3	04.01.2026	Per City Review
2	01.14.2026	Per City Review
1	10.03.2025	Per City Review



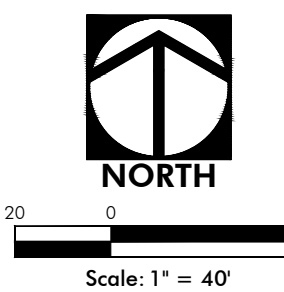
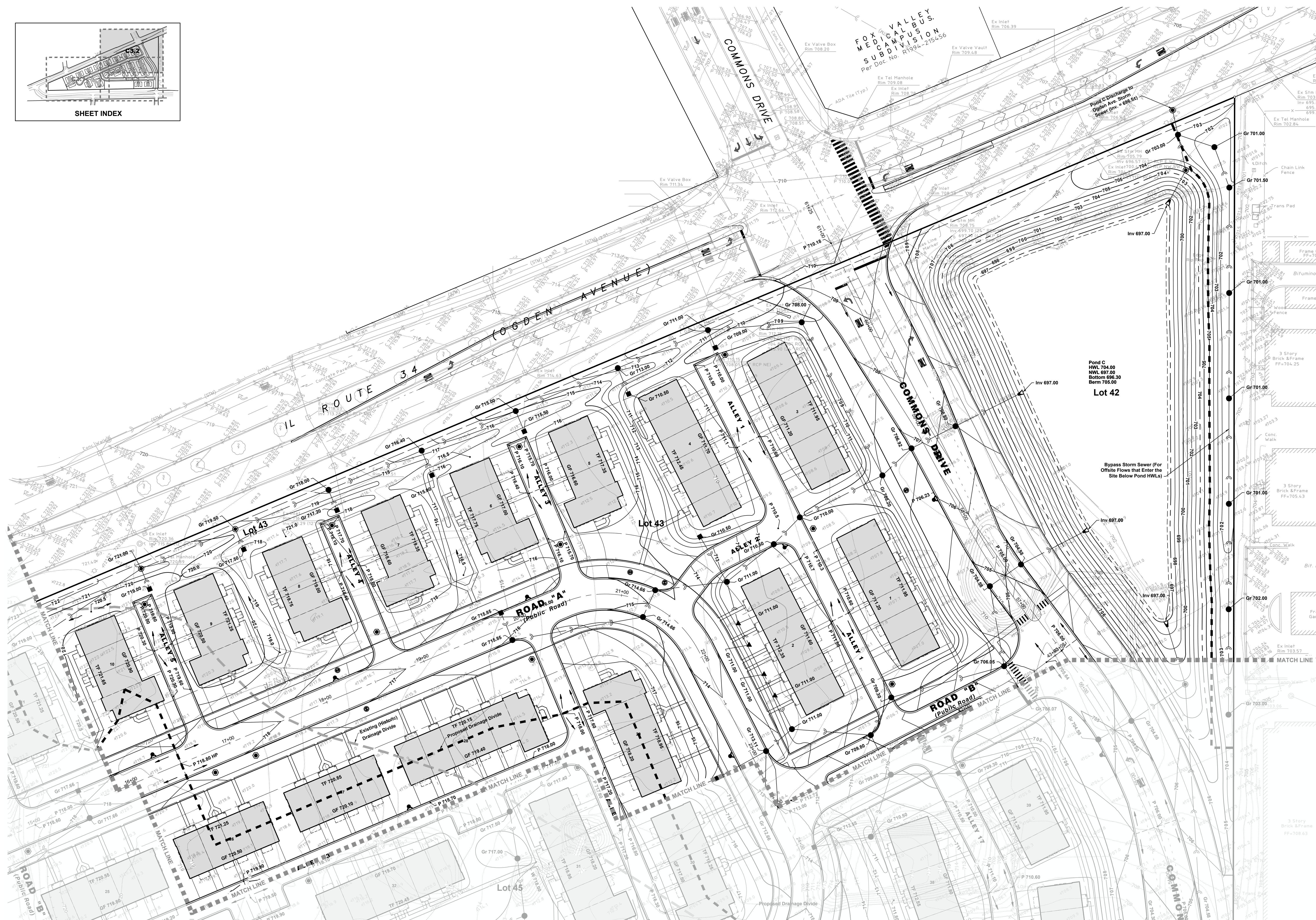
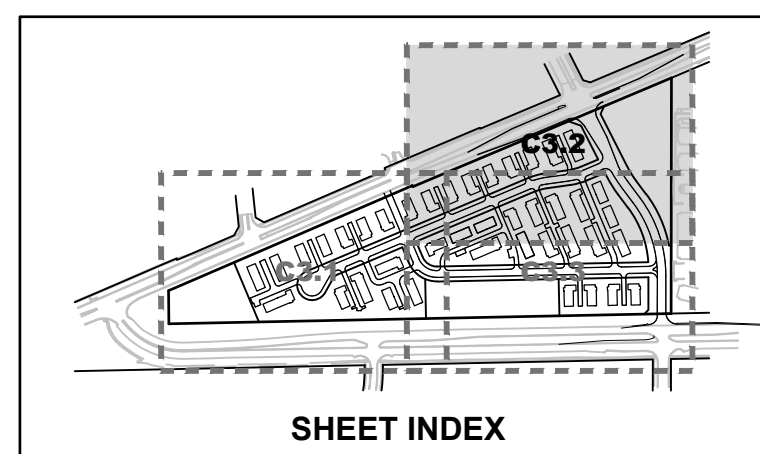
Per City Review
Per City Review
Per City Review3 2 1

HE HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60173 • Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003152
www.haengerengineering.com

**GRADING AND
DRAINAGE PLAN - WEST**

**KINGSLEY ROW
PRELIMINARY ENGINEERING PLANS**

Project Manager: L A
Engineer: J D
Date: 06.20.202
Project No. 25-04
Sheet C3 1



Per City Review	Per City Review	Per City Review
01-2026	14-2026	03-2025

3 2 1

THE HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60173 • Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003152
www.haengerengineering.com

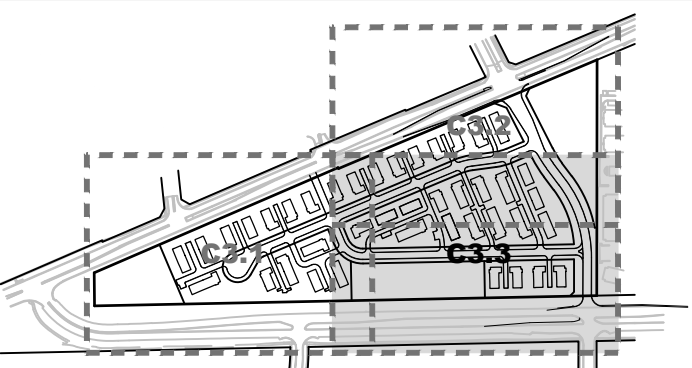
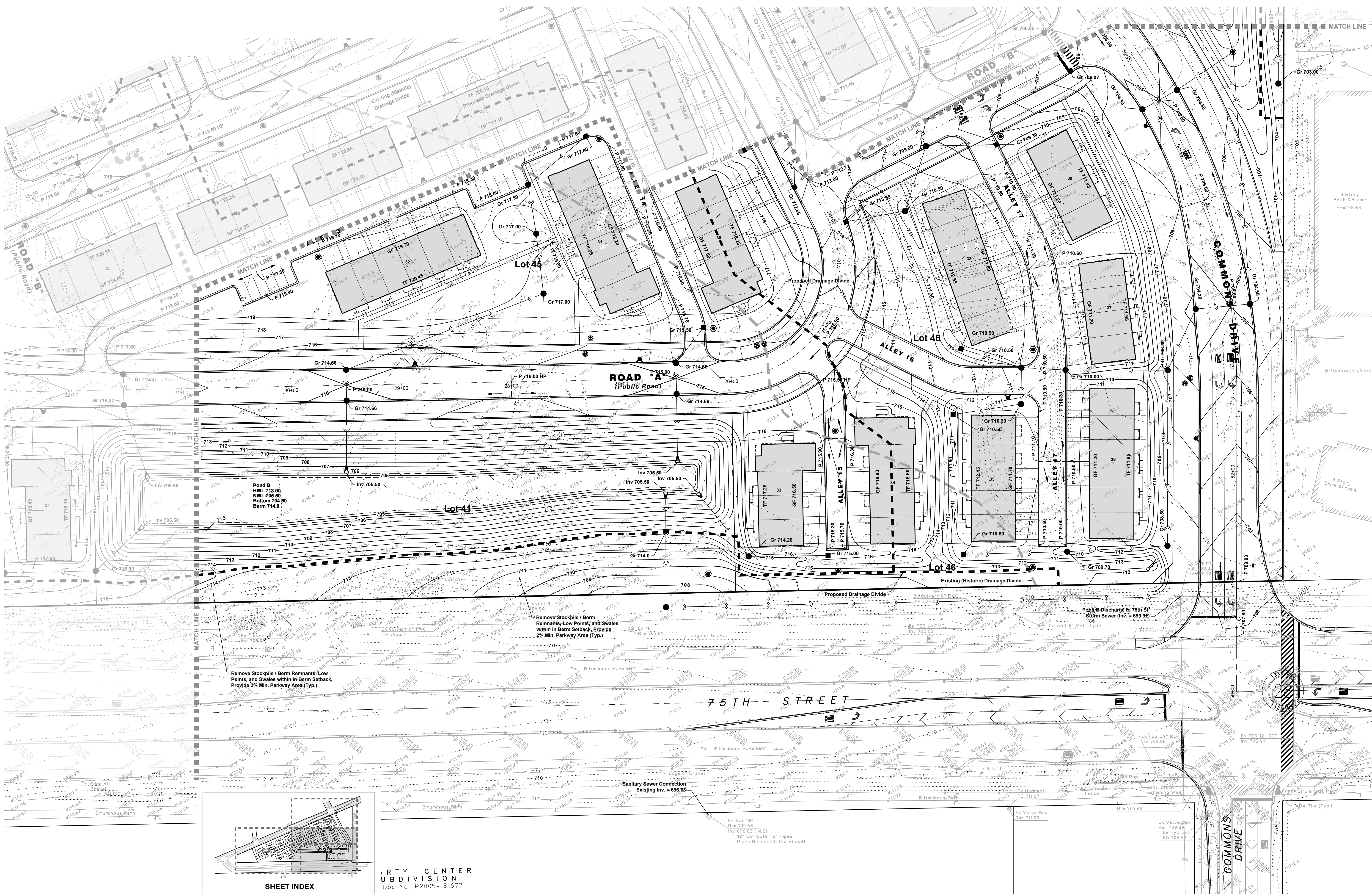
**GRADING AND
DRAINAGE PLAN - NORTHEAST**

**KINGSLEY ROW
PRELIMINARY ENGINEERING PLANS**

Project Manager: L A
Engineer: J D
Date: 06.20.202
Project No. 25-04
Sheet **C3.2** /



Scale: 1" = 40'



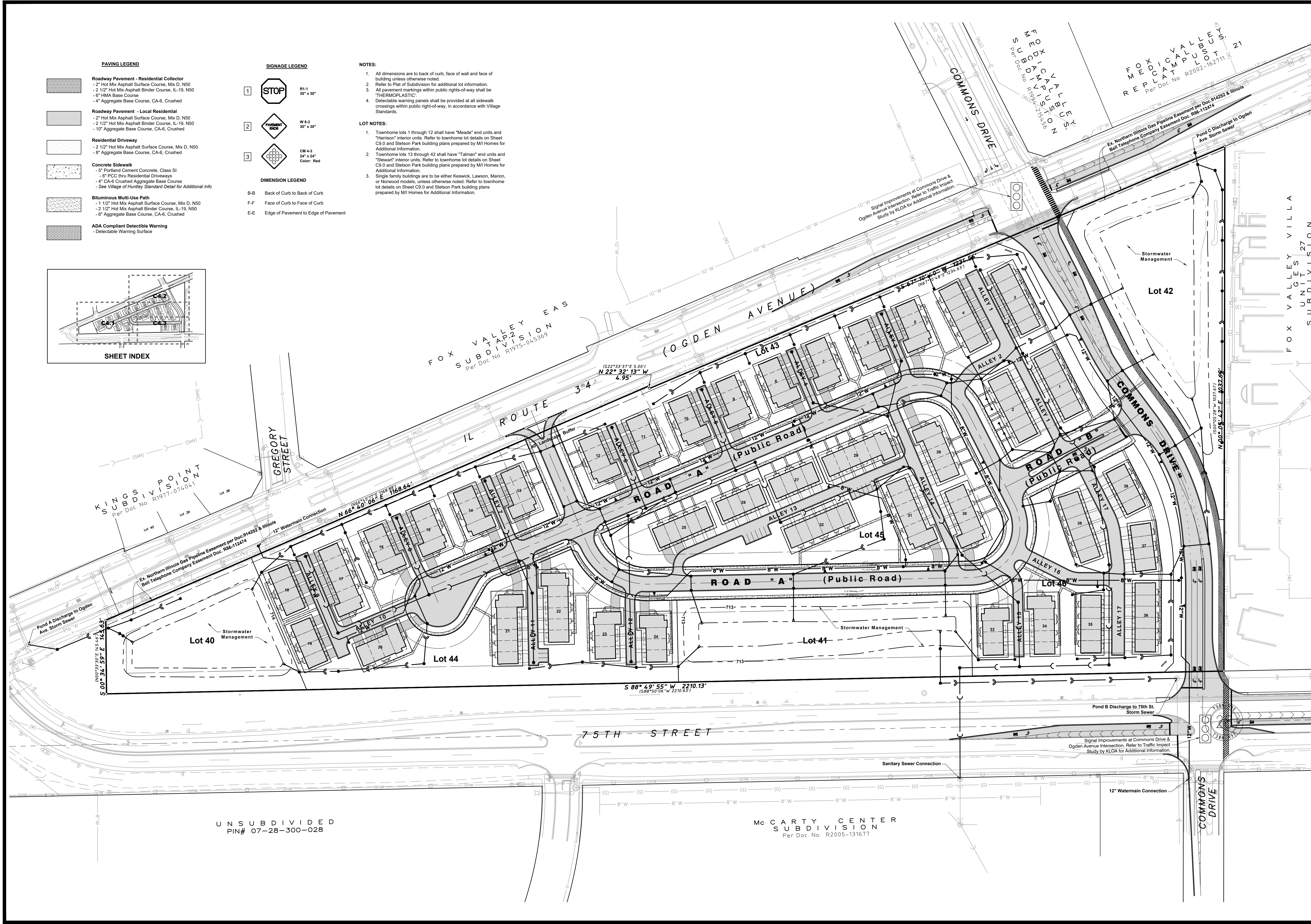
ARTY CENTER
DIVISION
Doc. No. R2005-131677

HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60193 • Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003152
www.haegerengineering.com

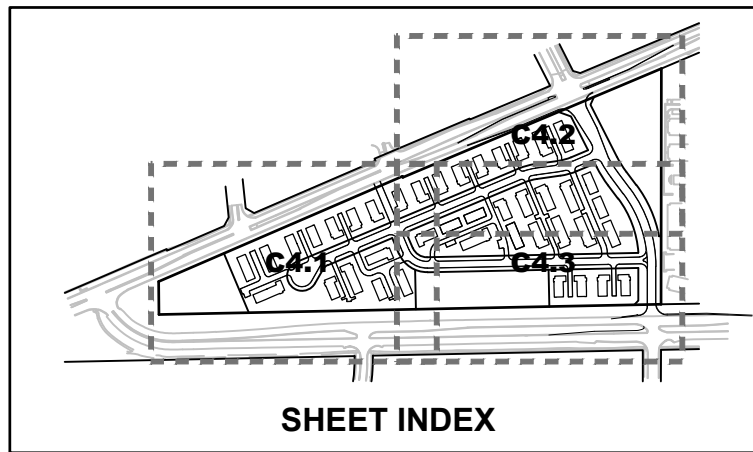
**GRADING AND
DRAINAGE PLAN - SOUTHEAST
KINGSLEY ROW
PRELIMINARY ENGINEERING PLANS**
3855 OGDEN AVENUE, CITY OF AURORA, DUPAGE COUNTY, ILLINOIS

Project Manager: LAK
Engineer: JDT
Date: 06.20.2025
Project No. 25-041
Sheet **C3.3**

No.	Date	Revision
3	04.01.2026	Per City Review
2	01-14-2026	Per City Review
1	10-03-2025	Per City Review



- PAVING LEGEND**
- Roadway Pavement - Residential Collector**
- 2" Hot Mix Asphalt Surface Course, Mix D, N50
 - 2 1/2" Hot Mix Asphalt Binder Course, IL-19, N50
 - 6" HMA Base Course
 - 4" Aggregate Base Course, CA-6, Crushed
- Roadway Pavement - Local Residential**
- 2" Hot Mix Asphalt Surface Course, Mix D, N50
 - 2 1/2" Hot Mix Asphalt Binder Course, IL-19, N50
 - 10" Aggregate Base Course, CA-6, Crushed
- Residential Driveway**
- 2 1/2" Hot Mix Asphalt Surface Course, Mix D, N50
 - 8" Aggregate Base Course, CA-6, Crushed
- Concrete Sidewalk**
- 5" Portland Cement Concrete, Class SI
 - 6" PCC thru Residential Driveways
 - 4" CA-6 Crushed Aggregate Base Course
 - See Village of Huntley Standard Detail for Additional Info
- Bituminous Multi-Use Path**
- 1 1/2" Hot Mix Asphalt Surface Course, Mix D, N50
 - 2 1/2" Hot Mix Asphalt Binder Course, IL-19, N50
 - 6" Aggregate Base Course, CA-6, Crushed
- ADA Compliant Detectible Warning**
- Detectable Warning Surface



- SIGNAGE LEGEND**
- 1 STOP R1-1 30" x 30"
- 2 PAVEMENT DEER W 8-3 30" x 30"
- 3 CM 4-3 24" x 24" Color: Red
- DIMENSION LEGEND**
- B-B Back of Curb to Back of Curb
- F-F Face of Curb to Face of Curb
- E-E Edge of Pavement to Edge of Pavement

- NOTES:**
- All dimensions are to back of curb, face of wall and face of building unless otherwise noted.
 - Refer to Plat of Subdivision for additional lot information.
 - All pavement markings within public rights-of-way shall be "THERMOPLASTIC".
 - Detectable warning panels shall be provided at all sidewalk crossings within public right-of-way, in accordance with Village Standards.
- LOT NOTES:**
- Townhome lots 1 through 12 shall have "Meade" end units and "Harrison" interior units. Refer to townhome lot details on Sheet C9.0 and Stetson Park building plans prepared by M/I Homes for Additional Information.
 - Townhome lots 13 through 42 shall have "Talmán" end units and "Stewart" interior units. Refer to townhome lot details on Sheet C9.0 and Stetson Park building plans prepared by M/I Homes for Additional Information.
 - Single family buildings are to be either Keswick, Lawson, Marion, or Norwood models, unless otherwise noted. Refer to townhome lot details on Sheet C9.0 and Stetson Park building plans prepared by M/I Homes for Additional Information.

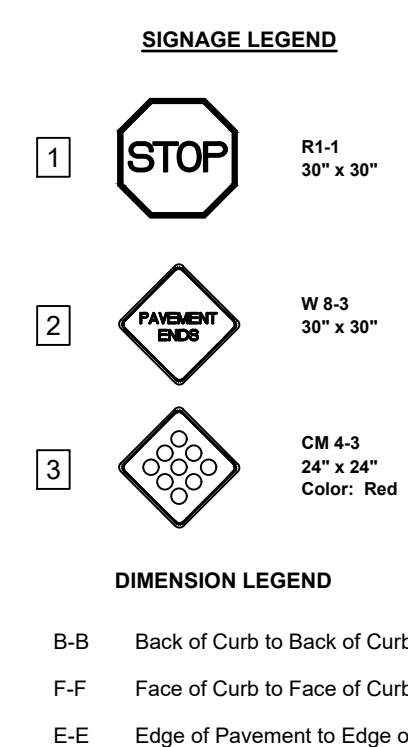
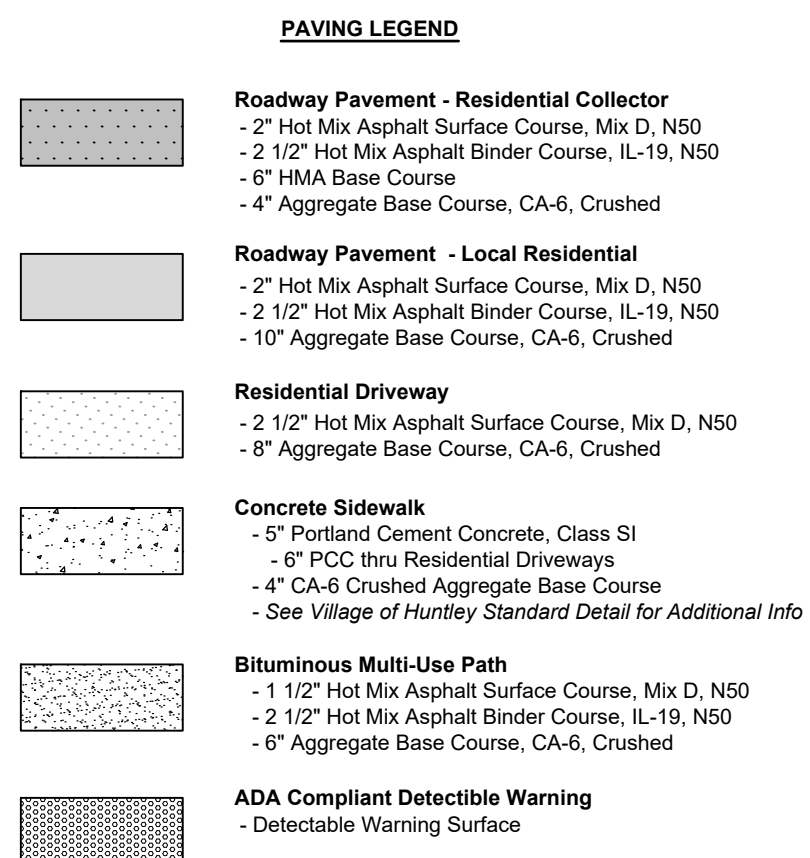
Scale: 1" = 80'

HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60193 • Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003132
www.haegerengineering.com

GEOMETRY / UTILITY
PLAN - OVERALL
KINGSLEY ROW
PRELIMINARY ENGINEERING PLANS
3855 OGDEN AVENUE, CITY OF AURORA, DUPAGE COUNTY, ILLINOIS

Project Manager: LAK
Engineer: JDT
Date: 06.20.2025
Project No. 25-041
Sheet **C4.0**

No.	Date	Revision
3	04.01.2026	Per City Review
2	01-14-2026	Per City Review
1	10-03-2025	Per City Review

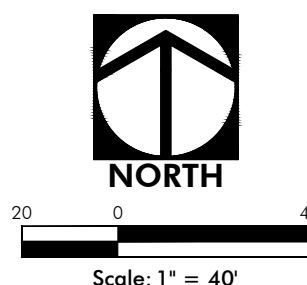


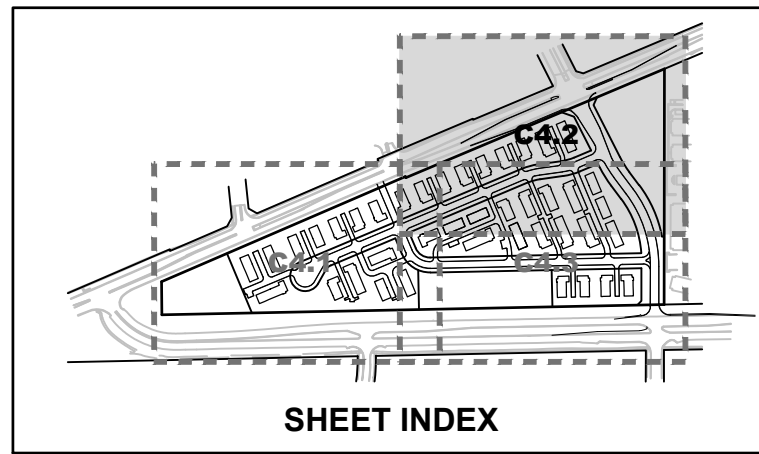
NOTES:

1. All dimensions are to back of curb, face of wall and face of building unless otherwise noted.
2. Refer to Plat of Subdivision for additional lot information.
3. All pavement markings within public rights-of-way shall be to the centerline of the right-of-way.
4. Detectable warning panels shall be provided at all sidewalk crossings within public right-of-way, in accordance with Village Standards.

LOT NOTES:

1. Townhome lots 1 through 12 shall have "Meade" end units and "Harrison" interior units. Refer to townhome lot details on Sheet 09.0 and Stetson Park building plans prepared by M/I Homes for additional information.
2. Townhome lots 13 through 42 shall have "Talmán" end units and "Stewart" interior units. Refer to townhome lot details on Sheet 09.0 and Stetson Park building plans prepared by M/I Homes for additional information.
3. Single family buildings are to be either Keswick, Lawson, Marion or Norwood models, unless otherwise noted. Refer to townhome lot details on Sheet 09.0 and Stetson Park building plans prepared by M/I Homes for additional information.





PAVING LEGEND

- Roadway Pavement - Residential Collector**
 - 2" Hot Mix Asphalt Surface Course, Mix D, N50
 - 2 1/2" Hot Mix Asphalt Binder Course, IL-19, N50
 - 6" HMA Base Course
 - 4" Aggregate Base Course, CA-6, Crushed
- Roadway Pavement - Local Residential**
 - 2" Hot Mix Asphalt Surface Course, Mix D, N50
 - 2 1/2" Hot Mix Asphalt Binder Course, IL-19, N50
 - 10" Aggregate Base Course, CA-6, Crushed
- Residential Driveway**
 - 2 1/2" Hot Mix Asphalt Surface Course, Mix D, N50
 - 6" Aggregate Base Course, CA-6, Crushed
- Concrete Sidewalk**
 - 5" Portland Cement Concrete, Class SI
 - 6" PCC thru Residential Driveways
 - 4" CA-6 Crushed Aggregate Base Course
 - See Village of Huntley Standard Detail for Additional Info
- Bituminous Multi-Use Path**
 - 1 1/2" Hot Mix Asphalt Surface Course, Mix D, N50
 - 2 1/2" Hot Mix Asphalt Binder Course, IL-19, N50
 - 6" Aggregate Base Course, CA-6, Crushed
- ADA Compliant Detectable Warning**
 - Detectable Warning Surface

SIGNAGE LEGEND

- 1 STOP** R1-1 30" x 30"
- 2 PAVEMENT MARK** W-8-3 30" x 30"
- 3 CM 4-3 24" x 24" Color: Red**

DIMENSION LEGEND

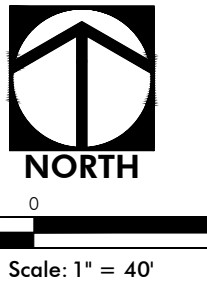
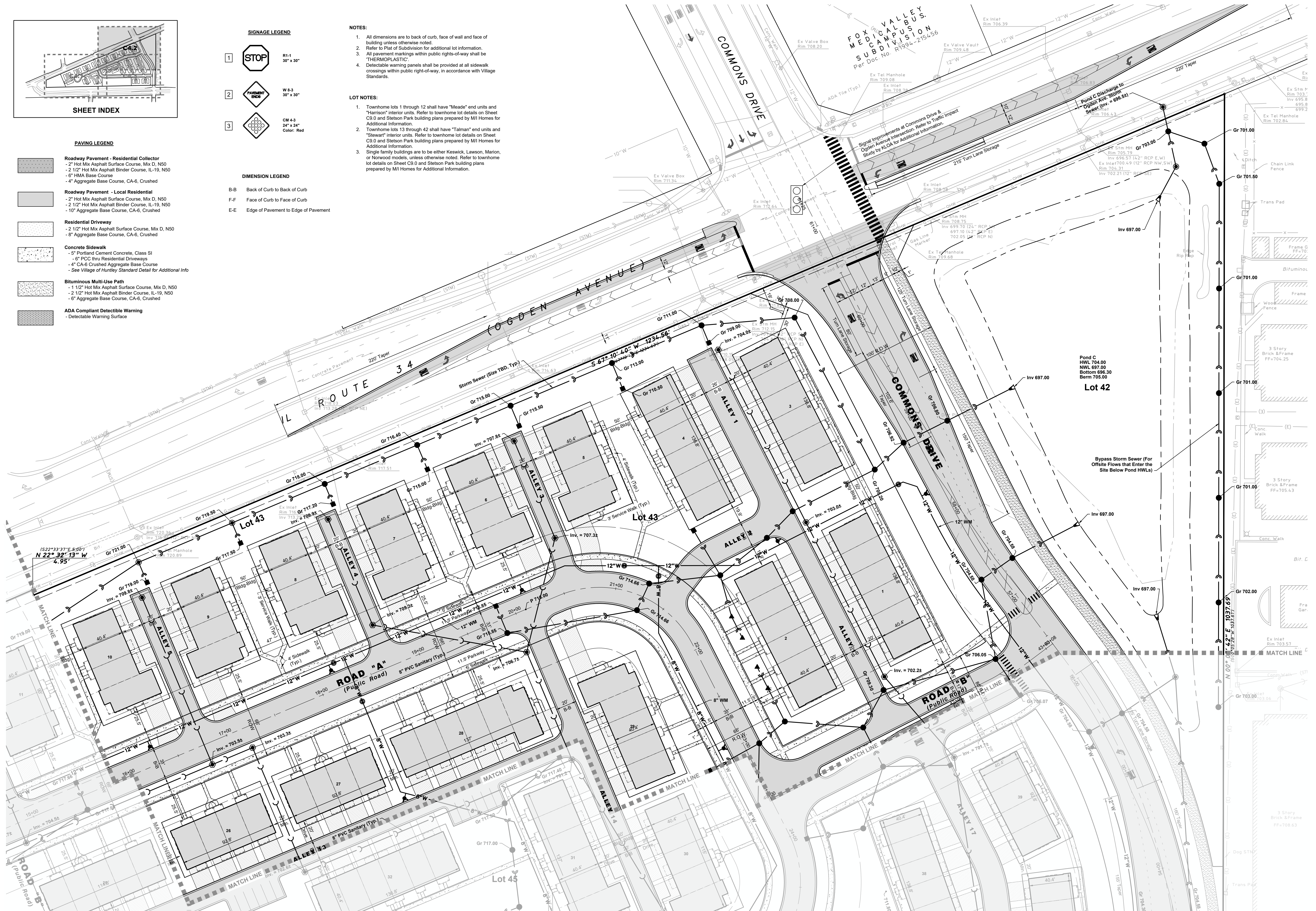
- B-B Back of Curb to Back of Curb
- F-F Face of Curb to Face of Curb
- E-E Edge of Pavement to Edge of Pavement

NOTES:

- All dimensions are to back of curb, face of wall and face of building unless otherwise noted.
- Refer to Plat of Subdivision for additional lot information.
- All pavement markings within public rights-of-way shall be "THERMOPLASTIC".
- Detectable warning panels shall be provided at all sidewalk crossings within public right-of-way, in accordance with Village Standards.

LOT NOTES:

- Townhome lots 1 through 12 shall have "Meade" end units and "Harrison" interior units. Refer to townhome lot details on Sheet C9.0 and Stetson Park building plans prepared by M/I Homes for Additional Information.
- Townhome lots 13 through 42 shall have "Talmán" end units and "Stewart" interior units. Refer to townhome lot details on Sheet C9.0 and Stetson Park building plans prepared by M/I Homes for Additional Information.
- Single family buildings are to be either Keswick, Lawson, Marion, or Norwood models, unless otherwise noted. Refer to townhome lot details on Sheet C9.0 and Stetson Park building plans prepared by M/I Homes for Additional Information.



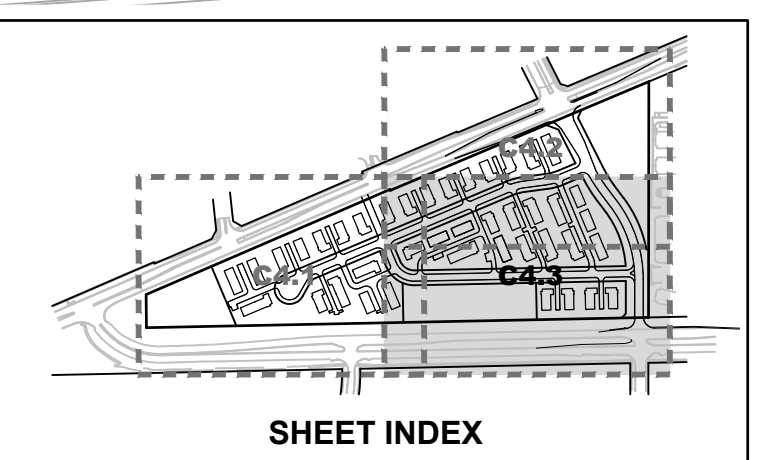
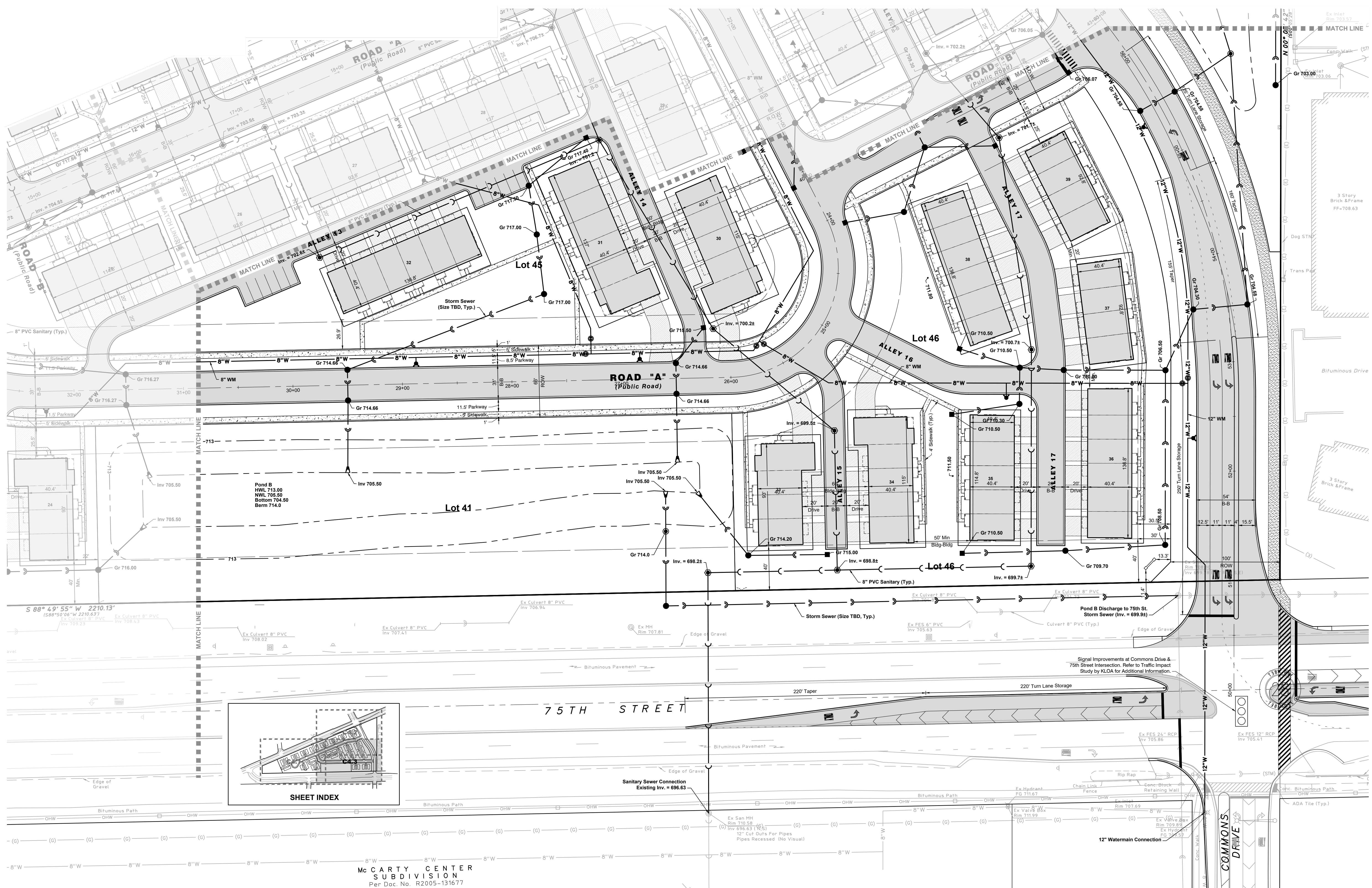
HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60193 • Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003132
www.haegerengineering.com

GEOMETRY / UTILITY
PLAN - NORTHEAST
KINGSLEY ROW
PRELIMINARY ENGINEERING PLANS
3855 OGDEN AVENUE, CITY OF AURORA, DUPAGE COUNTY, ILLINOIS

Project Manager: L A K
Engineer: J D T
Date: 06.20.2025
Project No. 25-041
Sheet **C4.2**



Scale: 1" = 40'



SHEET INDEX

Mc CARTY CENTER
SUBDIVISION
Per Doc. No. R2005-131677

HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60193 • Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003152
www.haegerengineering.com

**GEOMETRY / UTILITY
PLAN - SOUTHEAST
KINGSLEY ROW
PRELIMINARY ENGINEERING PLANS
3855 OGDEN AVENUE, CITY OF AURORA, DUPAGE COUNTY, ILLINOIS**

Project Manager: LAK
Engineer: JDT
Date: 06.20.2025
Project No. 25-041
Sheet **C4.3**