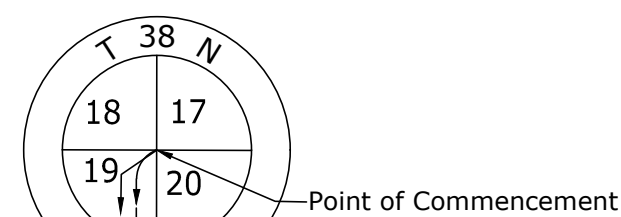
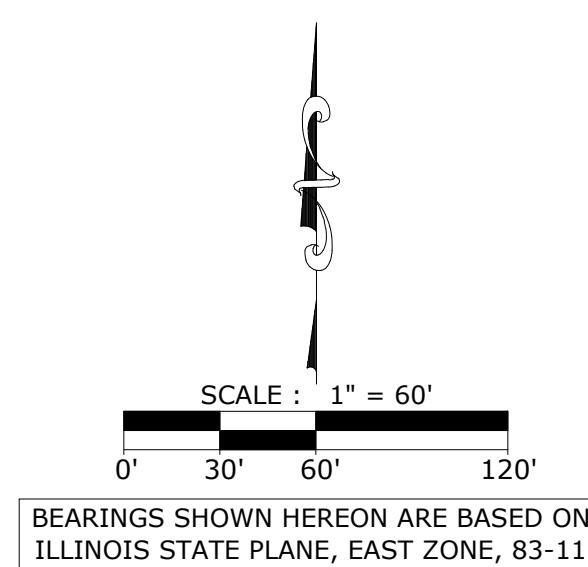


LIBERTY & EOLA SUBDIVISION

City of Aurora, DuPage County, Illinois

A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS.

CITY RESOLUTION: _____ PASSED ON: _____



Owner: Eola Liberty LLC
408 Palace Street, Unit B
Aurora, IL 60506

Petitioner: Terra Consulting Group, LTD.
600 Busse Highway
Park Ridge, IL 60068

CROSS-ACCESS EASEMENT - RECIPROCAL

An easement of access is hereby reserved over the portions of the property designated as the "Cross Access Easement" for the benefit of the owners from time to time of Lots 1, 2 and 3 in Liberty & Eola Subdivision platted hereon and their respective tenants, agents, employees, vendors and invitees, and upon reciprocal cross access easement being granted, to Lots 1, 2 and 3 in Liberty & Eola Subdivision and their respective tenants, agents, employees, vendors and invitees, to use the easement provisions hereof shall also apply to those roadways that may be constructed on other portions of Lots 1, 2 and 3 pursuant to final plans approved by the City. The use and enjoyment of the easement herein reserved shall be subject to terms and provisions set forth below.

Except to the extent otherwise provided on a final plan, the easement area shall be used solely and exclusively for the movement of both vehicular and pedestrian traffic in both directions.

No cars, trucks or other motor vehicles shall be parked or left unattended on the easement areas and no vehicular or other obstructions shall be placed on the easement areas which shall interfere with or prevent the free movement of vehicles over the easement areas.

All owners shall cooperate and work together to maintain, repair and replace the driveways and roadways installed within the easement areas with all needed maintenance, repairs and replacements being undertaken at such times and in such a manner so as to minimize the disruption of access to the buildings. Structures and facilities located on such lots while such work is being undertaken and, except for emergency repairs, shall not be closed to vehicular traffic.

No permanent structures shall be located on the surface of or above the easement areas which interfere with the free movement of vehicular traffic thereon. The foregoing does not prohibit the installation of directional traffic signage thereon or the installation of lighting so long as such signs and lighting is installed in the locations set forth on the final plans as approved by the city.

The easements hereby reserved are easements appurtenant to Lots 1, 2 and 3 in Liberty & Eola Subdivision platted hereon and are intended to run with the land and be binding upon and inure to the benefit of all future owners, occupants and holders of security interests therein.

STORMWATER CONTROL EASEMENT

A Stormwater Control Easement is hereby reserved for and granted to the City of Aurora ("City") for all areas hereon platted and designated as "Stormwater Control Easement", for a stormwater control facility to be maintained by the owner of said facility in accordance with City ordinances, approved engineering plans and approved maintenance plan for the City Case File Number _____. Said easement shall further grant and allow the City, its contractors and or assigns, the right to construct, install, reconstruct, repair, remove, replace and operate storm sewer pipes and structures within said easement and to convey stormwater within any said storm sewers. No encroachment of any kind shall be allowed within said easement unless the city has determined that said encroachment shall not interfere with the proper functioning of such facility. Such as gardens, shrubs and other landscaping material.

The City shall have the right to enter upon said easement at any time for the purposes of access to and inspection of the stormwater control facilities located within said easement. If, upon inspection, the city discovers that the owner hereof ("owner") has failed to maintain said facilities. The City shall notify owner of its findings, and owner shall make required repairs within 15 days after the City's notice. If such repairs are not capable of being completed within 15 days, owner shall have as long as is reasonably necessary to complete such repairs, provided that the city has given its approval.

In the event that the owner has not responded to the City's notice, then the City may cause such repairs to be made and bill owner for all costs thereof, and shall have the right to cut trim or remove any trees, shrubs or other plants within the areas designated "Stormwater Control Easement" which interfere with the construction, installation, reconstruction, repair, removal, replacement, maintenance and operation of said facilities and structures.

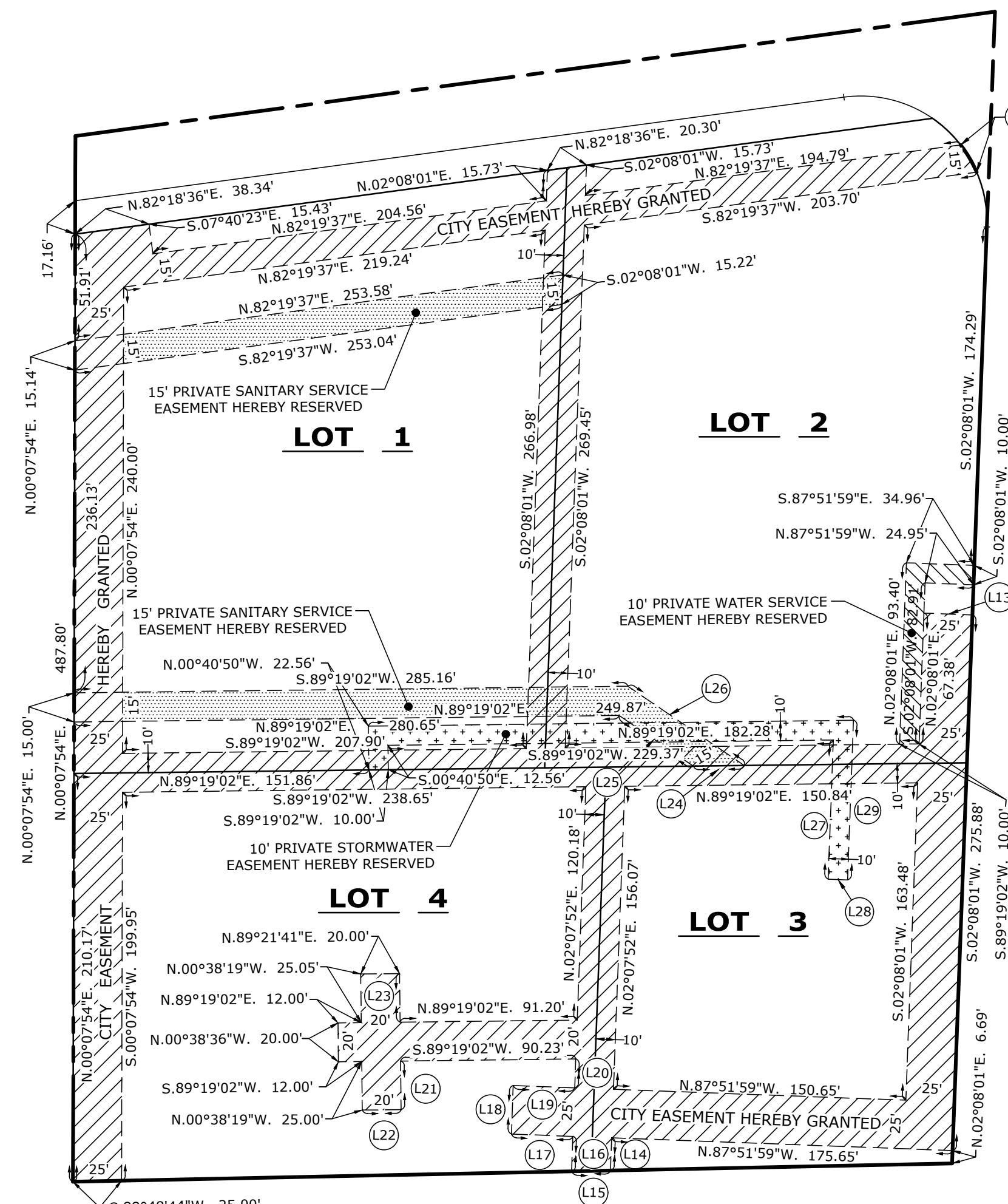
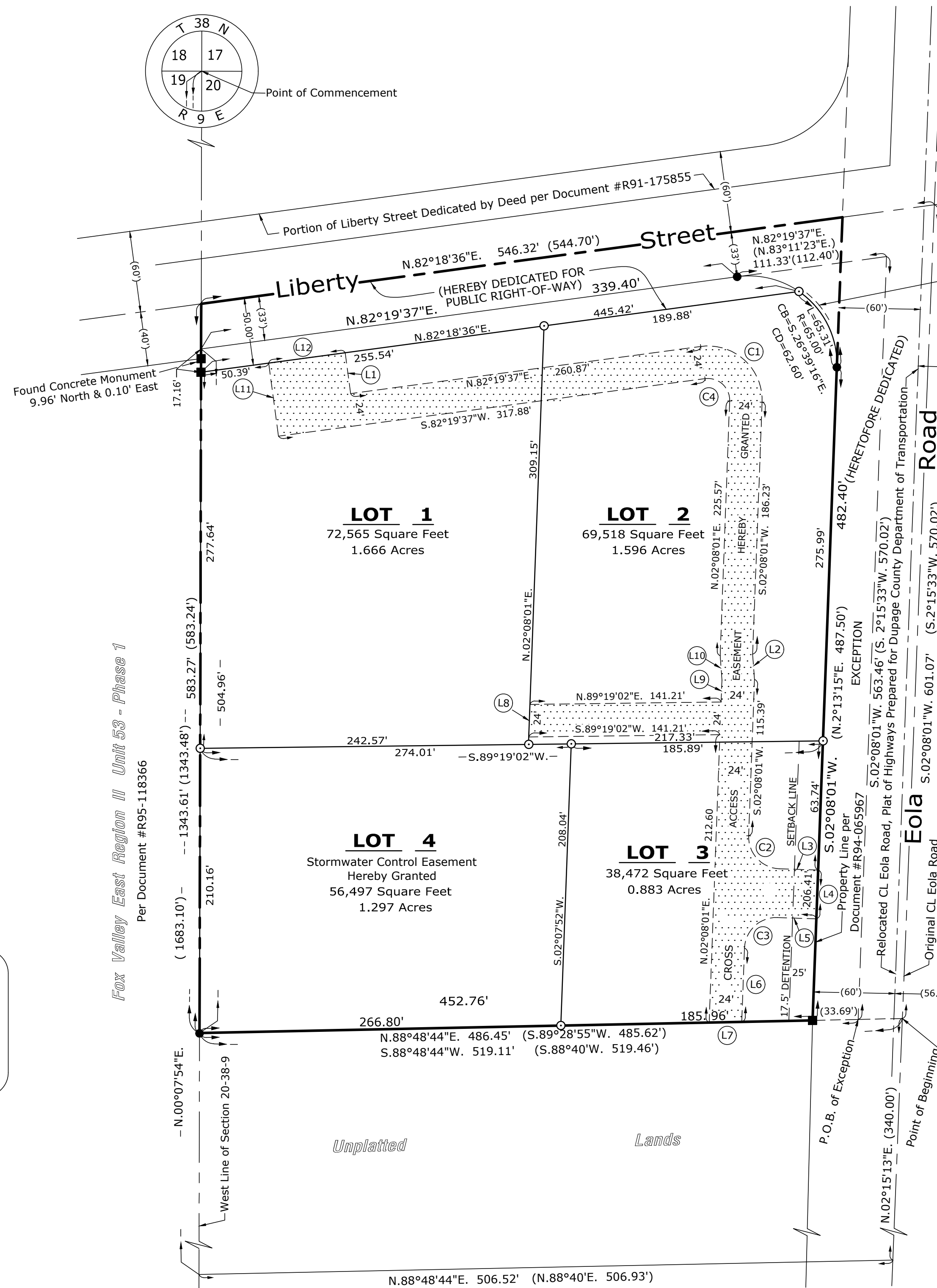
Following any work to be performed by the City in the exercise of its easement rights granted herein, the city shall have no obligation with respect to surface restoration, including but not limited to, the lawn or shrubbery, provided, however, that said city shall be obligated following such maintenance work to backfill and mound any trench created so as to retain suitable drainage, to cold patch any asphalt or concrete surface, to remove all excess debris and spoil and to leave the maintenance area in a generally clean and workmanlike condition.

Lot 4 is hereby established as a Stormwater Control Easement.

DEVELOPMENT DATA TABLE: FINAL PLAT OF LIBERTY & EOLA SUBDIVISION		
DESCRIPTION	VALUE	UNIT
a) TAX/PARCEL IDENTIFICATION NUMBERS (PIN)	07-20-102-009 AND 07-20-102-019	
b) SUBDIVIDED AREA	5,442	ACRES
	237,052	SQUARE FEET
c) PROPOSED NEW RIGHT-OF-WAY	0.167	ACRES
	7,295	SQUARE FEET
d) PROPOSED NEW EASEMENTS	2,889	ACRES
	125,860	SQUARE FEET
e) PROPERTY ADDRESS	SOUTHWEST CORNER OF LIBERTY STREET & EOLA ROAD AURORA, IL 60502	

LINE DATA		
BEARING	LENGTH	
L1 S.07°38'10"E.	30.46'	
L2 S.04°12'34"E.	18.69'	
L3 S.88°05'58"E.	28.80'	
L4 S.02°08'24"W.	36.00'	
L5 N.88°05'58"W.	28.80'	
L6 S.02°08'01"W.	54.41'	
L7 S.88°48'44"W.	24.04'	
L8 N02°08'01"E.	24.00'	
L9 N.02°08'01"E.	16.13'	
L10 N.04°12'34"W.	18.01'	
L11 N.07°38'10"W.	54.44'	
L12 N.82°18'36"E.	57.00'	
L13 S.87°51'59"E.	25.00'	
L14 S.02°07'52"W.	16.88'	
L15 S.88°48'44"W.	20.04'	
L16 N.02°07'52"E.	18.04'	
L17 N.87°51'59"W.	31.66'	
L18 N.02°08'01"E.	25.00'	
L19 S.87°51'59"E.	31.66'	
L20 N.02°07'52"E.	14.88'	
L21 S.00°38'19"E.	25.02'	
L22 S.89°21'41"W.	20.00'	
L23 S.00°38'19"E.	25.03'	
L24 N.89°19'02"E.	26.20'	
L25 S.55°45'51"E.	46.28'	
L26 N.55°45'51"W.	72.50'	
L27 N.02°08'01"E.	71.69'	
L28 N.87°51'59"W.	10.00'	
L29 S.02°08'01"W.	82.19'	

EASEMENT CURVE DATA			
BEARING	CHORD	RADIUS	ARC
C1 S.47°45'27"E.	61.21'	40.00'	69.70'
C2 S.42°58'59"E.	33.30'	23.50'	37.00'
C3 S.47°01'01"W.	33.17'	23.50'	36.82'
C4 N.47°46'11"W.	24.48'	16.00'	27.87'
C5 S.30°31'44"E.	16.28'	65.00'	16.33'



CITY EASEMENT, SANITARY SERVICE EASEMENT, STORMWATER CONTROL EASEMENT AND WATER SERVICE EASEMENT DETAIL

CITY EASEMENT

A City Easement is hereby reserved for and granted to the City of Aurora ("City") and its franchisees, permittees or licensees for all areas hereon platted and designated "City Easement", to construct, install, reconstruct, repair, remove, replace, inspect, maintain and operate utility transmission and distribution systems and lines in, under, over, across, along and upon the surface of said easement, including but not limited to the following without limitation, water mains, stormwater runoff, storm sewers, sanitary sewers, gas mains, telephone cables, electrical lines, and cable television and where adjacent to public right of way or stormwater control easements for public pedestrian egress and ingress to sidewalks or pathway systems. No encroachment of any kind shall be allowed within said easement unless the City determines that said encroachment shall not interfere with the proper functioning of all such permitted uses, such as encroachment by non-interfering gardens, shrubs and other landscaping material. The City and its franchisees, permittees or licensees with permits from the City may enter upon said easement for the uses herein set forth and have the right to cut, trim or remove any trees, shrubs or other plants within the areas designated "City Easement" which encroach on and interfere with the construction, installation, reconstruction, repair, removal, replacement, maintenance and operation of the underground transmission and distribution systems and such facilities appurtenant thereto.

Following any work to be performed by City franchisees, permittees or licensees with permits from the City, in the exercise of the easement rights granted herein, said entities shall make surface restorations, including but not, limited to the following: backfill any trench, restore concrete and asphalt surfaces, topsoil and seed, remove excess debris, maintain area in a generally clean and workmanlike condition. All said restoration shall be completed in accordance with City standards and subject to City approval.

Following any work to be performed by the City in the exercise of its easement rights granted herein, the City shall have no obligation with respect to surface restoration, including but not limited to, the lawn or shrubbery.

LEGEND

- Subdivision Boundary Line
- Lot Line / Property Line
- Center Line
- Existing Parcel Line
- Building Setback Line
- Concrete Monument
- Set 3/4" Iron Pipe
- Found Iron Stake
- Record / Deed Dimension
- Measured Dimension
- Center Line
- Cross Access Easement Hereby Granted
- Variable Width City Easement Hereby Granted
- Private Sanitary Service Easement Hereby Reserved
- Private Stormwater Easement Hereby Reserved
- Private Water Service Easement Hereby Reserved

Private Sanitary Service, Stormwater and Water Service Easement Provisions will be addressed in the Declaration of Covenants and Restrictions to be filed with the Final Plat of Subdivision.

8. 10/20/2023 REVISED PER CLIENT AND CITY COMMENTS
7. 8/30/2023 REVISED PER CLIENT COMMENTS

NO.	DATE	REVISION
1.	6/11/2022	FIELD SURVEY COMPLETED
2.	9/14/2022	ISSUED PRELIMINARY PLAT FOR REVIEW
3.	1/27/2023	REVISED PER CLIENT AND CITY COMMENTS
4.	5/19/2023	ADDED ADDITIONAL 12' R.O.W. DEDICATION TO LIBERTY ST.
5.	8/15/2023	REVISED PER CLIENT COMMENTS
6.	8/25/2023	REVISED PER CLIENT COMMENTS

ALL MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
DIMENSIONS ENCLOSED WITH () ARE RECORD DATA. ALL OTHER DIMENSIONS ARE MEASURED OR RECORD EQUALS MEASURED.

PREPARED BY: **ASM** CONSULTANTS, INC.
16 E Wilson St - Batavia IL 60510
(630) 879-0200 - advanced@advct.com
Professional Design Firm #184-006014 expires 4/30/2025
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PREPARED FOR: **TERRA** CONSULTING GROUP, LTD.
600 Busse Highway
Park Ridge, IL 60068
Ph: 847/898-8400