

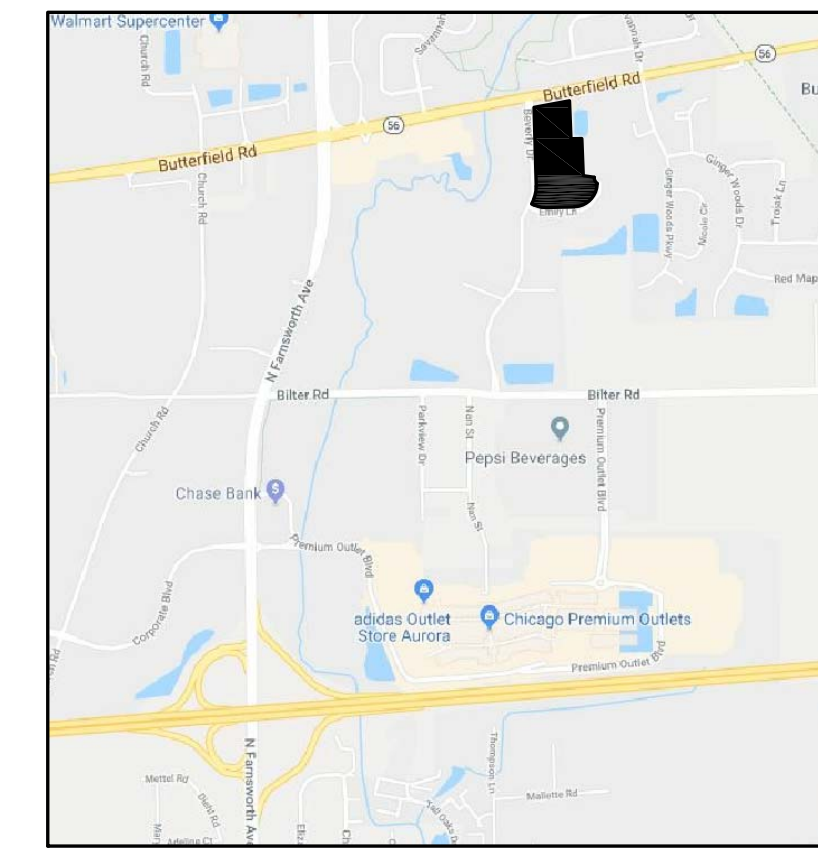
FINAL PLAN

FOR VERMEER MIDWEST

PH 1, LOT 1 OF FERMI CORPORATE PARK AND PH 2, LOT 13,14,15,16 2801 BEVERLY COURT AURORA, ILLINOIS 60502

LOCATION MAP

NOT TO SCALE



GENERAL NOTES:
 1. THESE PLANS ARE BASED ON THE BOUNDARY AND TOPOGRAPHIC SURVEY, PROJECT #17.0356 DATED 11/15/17 PREPARED BY: COMPASS SURVEYING LTD 2631 GINGER WOODS PARKWAY, STE 100, AURORA, IL 60502 (630) 820-9100
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	CATCH BASIN	
	STORM MANHOLE	
	STREET MANHOLE	
	VALVE VAULT	
	FIRE HYDRANT	
	FLARED END SECTION	
	ELECTRICAL POWER POLE	
	OVERHEAD TRAFFIC SIGNAL	
	TRAFFIC SIGNAL MANHOLE	
	OVERHEAD ELECTRIC WIRES	
	TELEPHONE MANHOLE	
	CABLE TELEVISION PEDESTAL	
	CABLE HEALTH EDISON MANHOLE	
	GAS METER	
	GAS VALVE	
	GAS MAIN	
	ELECTRIC LINE	
	TELEPHONE LINE	
	CABLE TV LINE	
	SANITARY SEWER	
	STORM SEWER	
	OUT POLE	
	CONFERSUS TREE W/DIAMETER	
	WOOD FENCE	
	CHAIN LINK FENCE	
	METAL GUARDRAIL	
	CONCRETE SURFACE	
	CONTOUR LINE	
	FINISHED FLOOR ELEVATION	
	MATCH CENTER ELEVATION	
	GROUND ELEVATION	
	TOP OF BANK ELEVATION	
	TOP OF RETAINING WALL ELEVATION	
	FLOW LINE ELEVATION	
	TOP OF CURVE ELEVATION	
	PROPOSED AREA SLOPE DIRECTION	
	PROPOSED OVERLAND OVERFLOW DIRECTION	
	INLET PROTECTION	
	INLET BASKET FILTER	

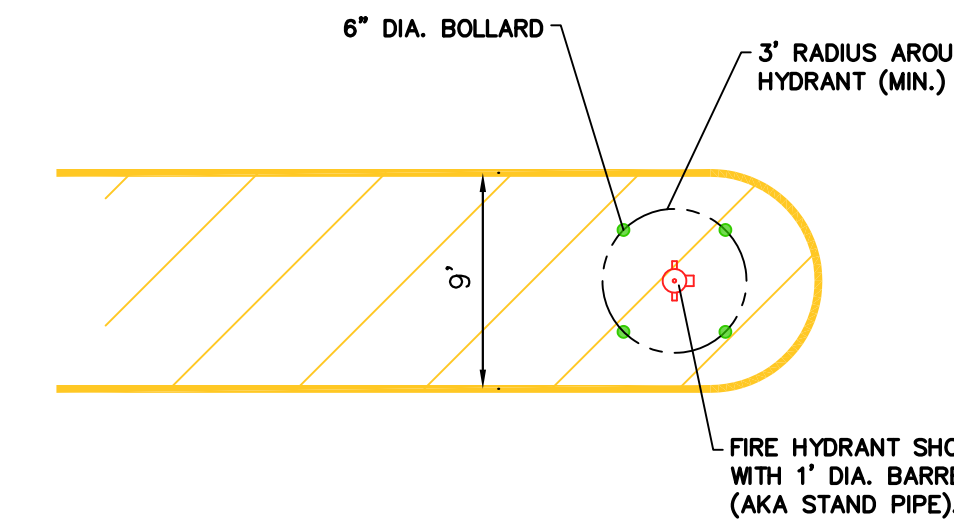


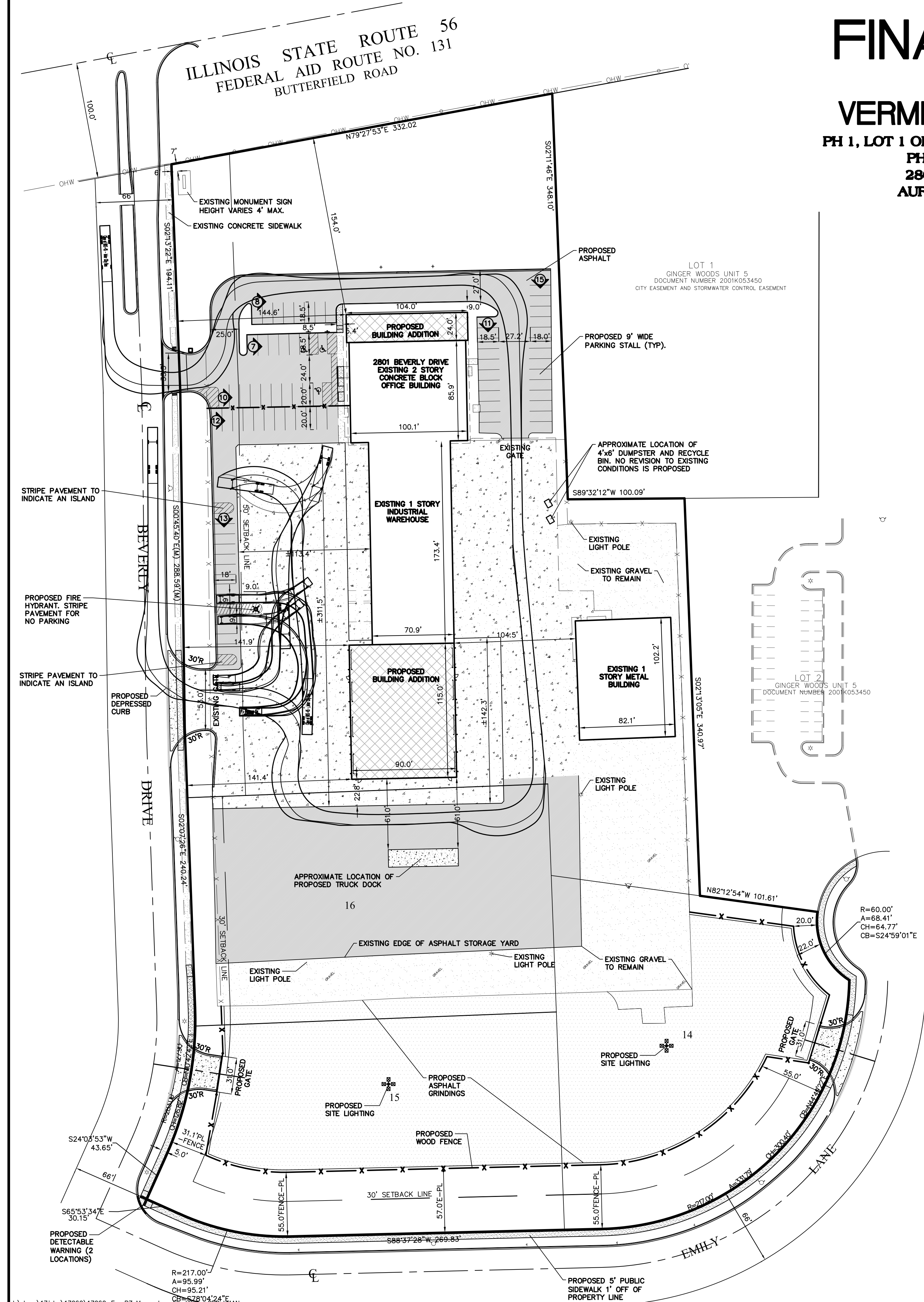
EXHIBIT OF HYDRANT AND BOLLARDS

SCALE: 1/8" = 1'-0"

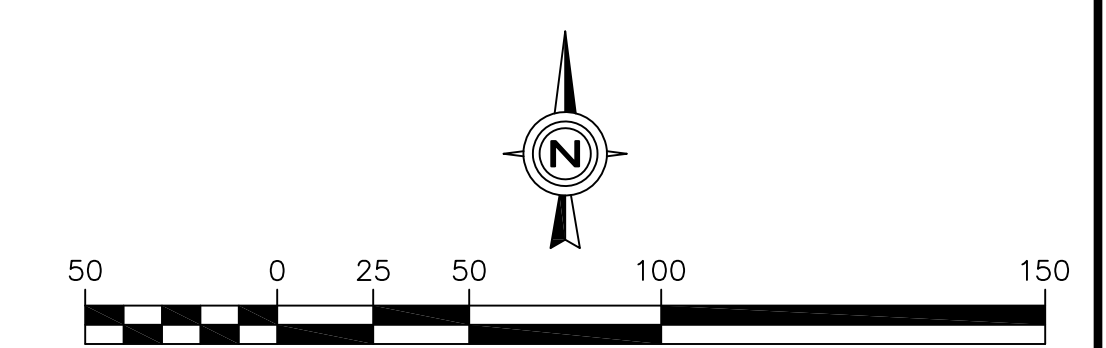
NOTE: PIPE BOLLARDS TO BE PLACED IN A MANNER THAT THEY DO NOT BLOCK ANY OF THE NOZZLE CONNECTIONS FOR THE FIRE DEPARTMENT.

PAVEMENT KEY

	SIDEWALK		BITUMINOUS CONCRETE PAVEMENT
	MILLINGS		BUILDING ADDITION



Development Data Table: Final Plan					
Description	Value	Unit	Description	Value	Unit
a) Tax/Parcel Identification Number(s) (PINs): 12-39-452-018, 004, 006, 15-01-202-001, 002, 003			j) Total Number of Residential Dwelling Units	0	units
			i. Gross Density	0.00	du/acre
			ii. Net Density	0.00	Net Density
b) Proposed land use(s): Machinery rental, storage and maintenance			k) Number of Single Family Dwelling Units	0	units
			i. Gross Density	0.00	du/acre
			ii. Net Density	0.00	Net Density
			iii. Unit Square Footage (average)	0	square feet
c) Total Property Size	9.26916896	Acres	iv. Bedroom Mix	0%	% 1 bdr
	403785	Square feet		0%	% 2 bdr
d) Total Lot Coverage (buildings and pavement)	299153	Square feet		20%	% 3 bdr
	74%	Percent		80%	% 4 bdr
e) Open space / landscaping	104612	Square feet	v. Number of Single Family Corner Lots	0	units
	26%	Percent	j) Number of Single Family Attached Dwelling Units	0	units
f) Land to be dedicated to the School District	0	Acres	i. Gross Density	0.00	du/acre
g) Land to be dedicated to the Park District	0	Acres	ii. Net Density	0.00	Net Density
h) Number of parking spaces provided (individually accessible)			iii. Unit Square Footage (average)	0	square feet
	76	spaces	iv. Bedroom Mix	0%	% 1 bdr
i. surface parking lot	76	spaces		90%	% 2 bdr
perpendicular	73	spaces		10%	% 3 bdr
parallel	0	spaces		0%	% 4 bdr
angled	0	spaces	m) Number of Multifamily Dwelling Units	0	units
handicapped	3	spaces	i. Gross Density	0.00	du/acre
ii. enclosed	0	spaces	ii. Net Density	0.00	Net Density
iii. bike	3	tracks	iii. Unit Square Footage (average)	0	square feet
i) Number of buildings			iv. Bedroom Mix	0%	Efficiency
i. Number of stories	1 - 2 (office)	stories		40%	% 1 bdr
ii. Building Square Footage (typical)	44722	square feet		50%	% 2 bdr
iii. Square Footage of retail floor area	0	square feet		10%	% 3 bdr
iv. First Floor Building Square Footage (typical)	33926	square feet			



FINAL PLAN

DATE: 3/7/18
 REVISIONS: 1
 NO. 1
 REVISIONS: 2
 NO. 2
 REVISIONS: 3
 NO. 3
 REVISIONS: 4
 NO. 4

Prepared For:
VERMEER MIDWEST - AURORA, IL
 PH 1, LOT 1 OF FERMI CORPORATE PARK AND PH 2, LOT 13,14,15,16 2801 BEVERLY COURT, AURORA, ILLINOIS 60502

Prepared By:
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CHECKED BY: B.PERRY
 DESIGN BY: B.PERRY
 DRAWN BY: DMORUK
 DATE: FEB. 8, 2017
 SCALE: 1" = 50'
 PROJECT NO.: 17-060

2-4

FINAL PLAN