



SHEFFIELD
(REAR-LOAD)

CHICORY
PLACE
R-1 (S)

CALVARY
CHURCH
O (S)

8' WALK

CHARLESTOWN
(FRONT-LOAD)

TOWNE SQUARE
(REAR-LOAD)

CALVARY
CHURCH
B-2

City of Aurora Committee of the Whole Chelsea Manor

September 7, 2021

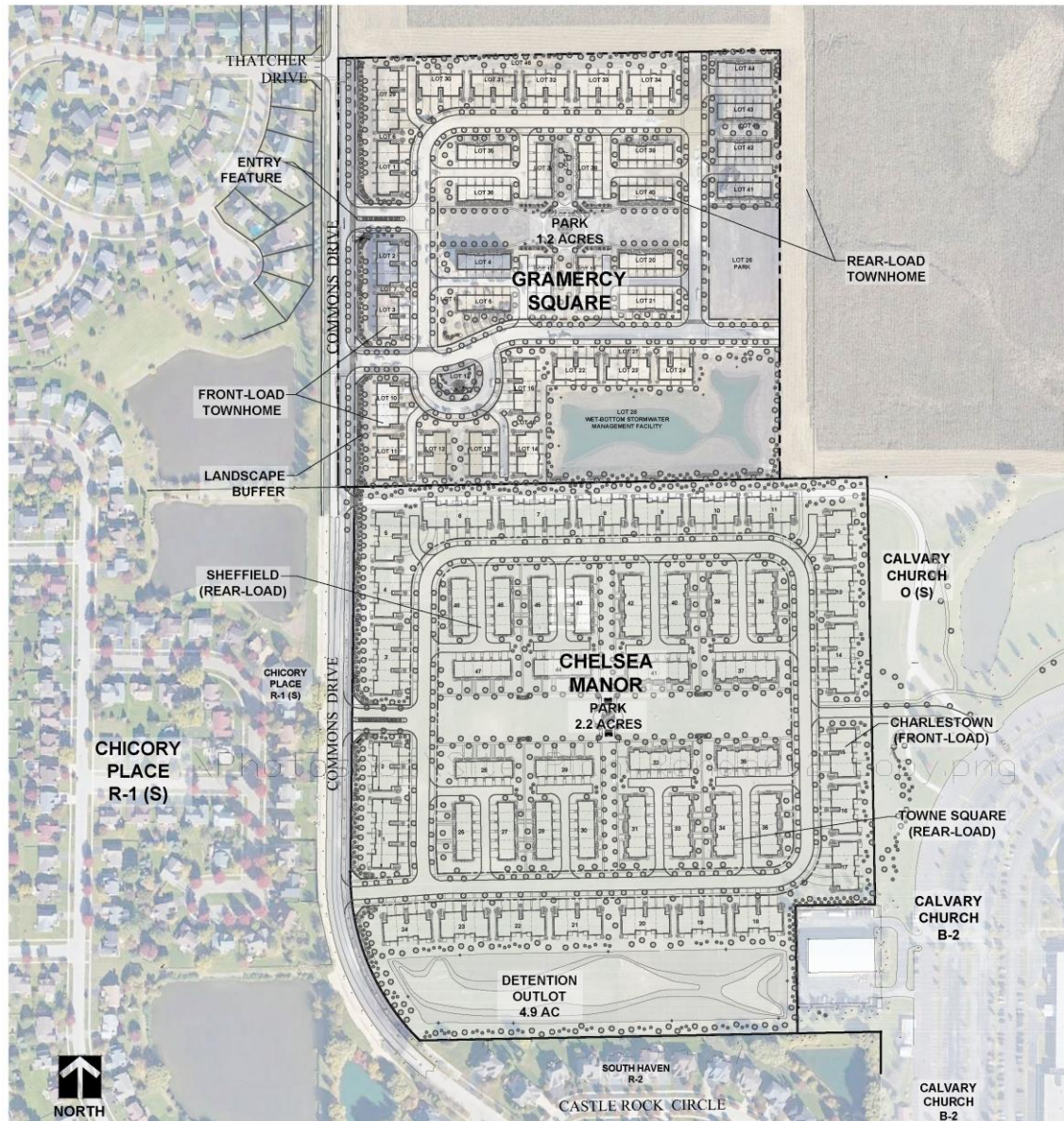


M/I HOMES

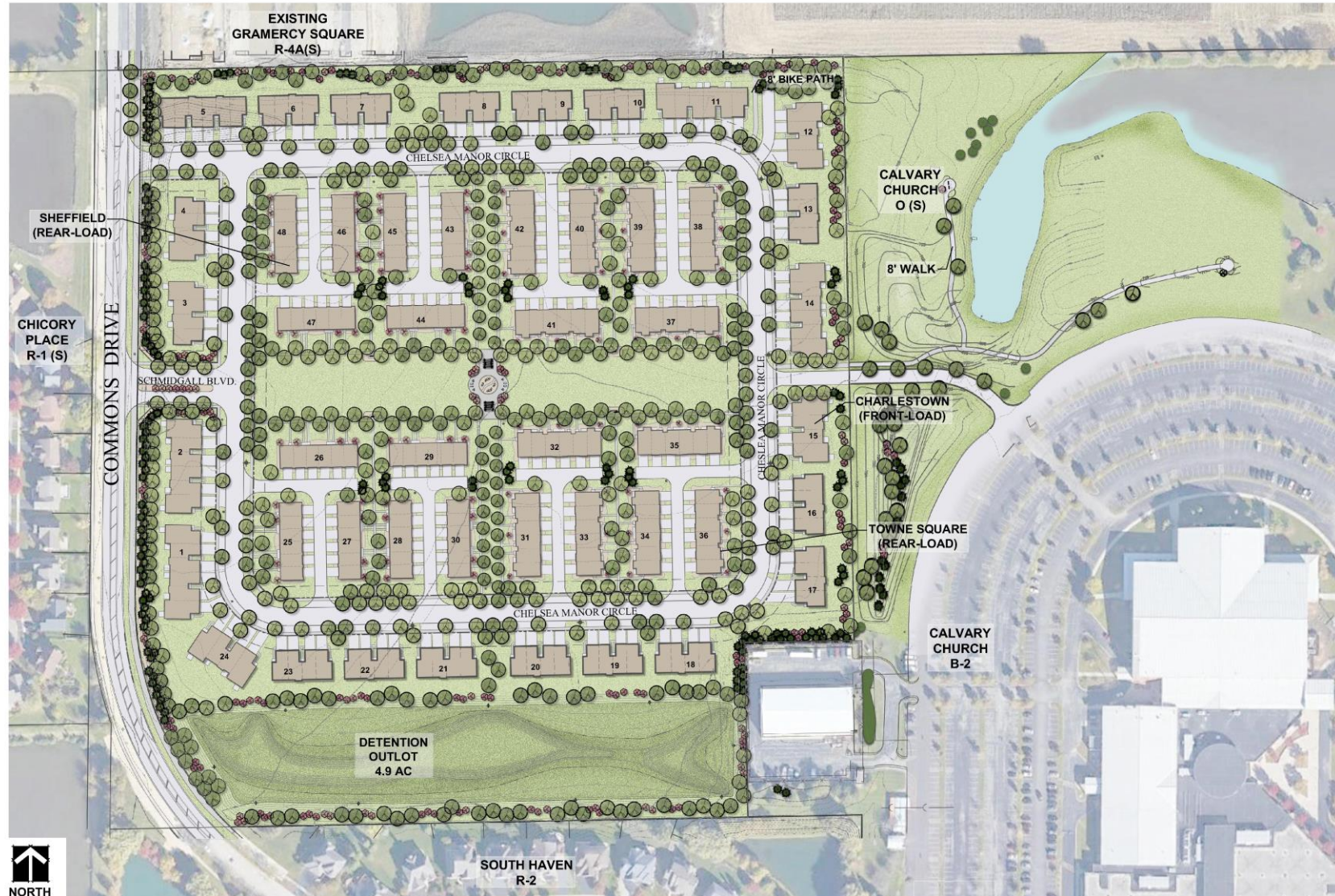
Aerial



Gramercy & Chelsea Comparison



Chelsea Manor Site Plan



5

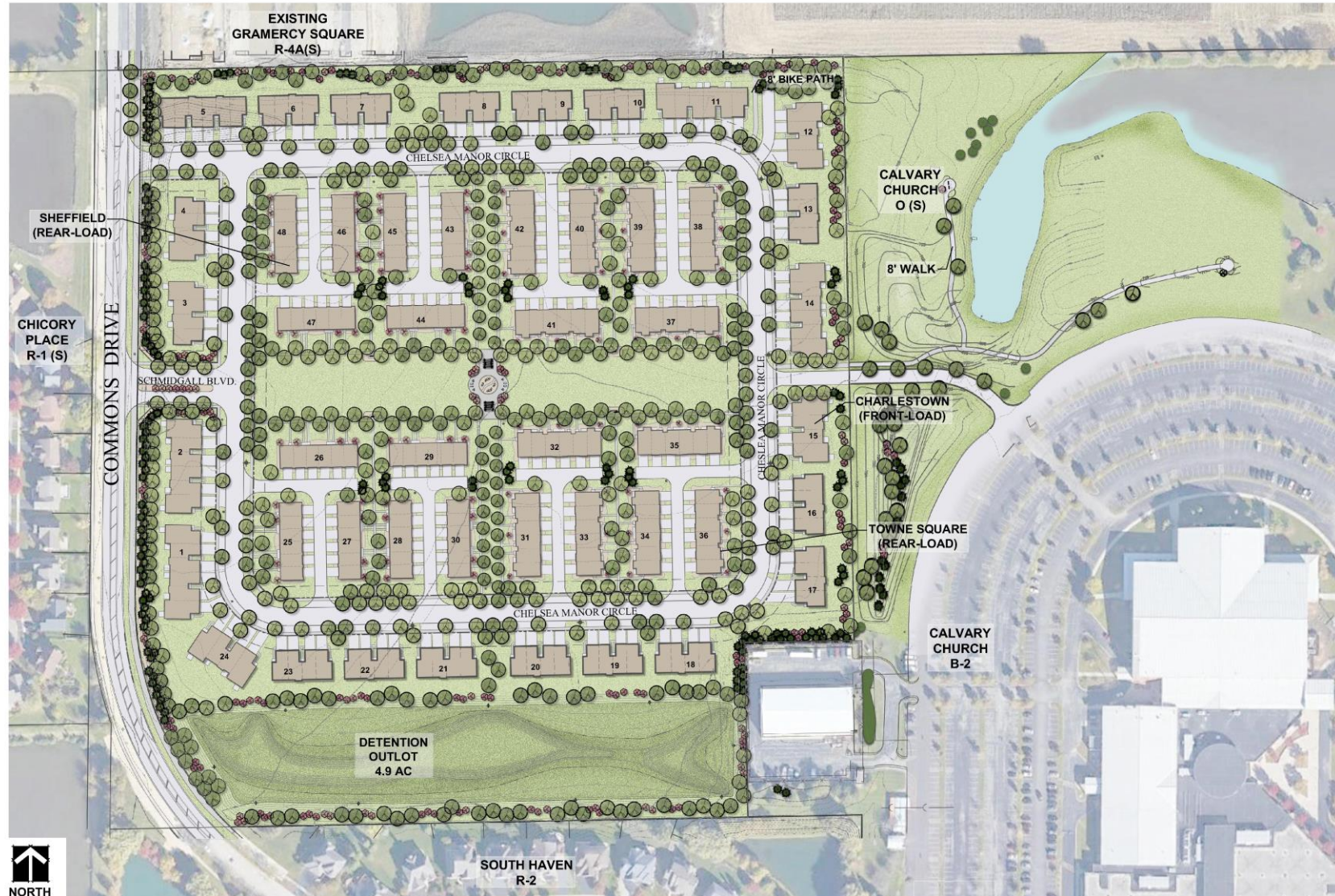


Charlestown Series



Front Elevation - Farmhouse Style
scale: 1/4" = 1'-0"

Chelsea Manor Site Plan



Town Square Series



Front Elevation

Chelsea Manor
Character Elevation

Site Plan



Lincoln Square Series



Front Elevation



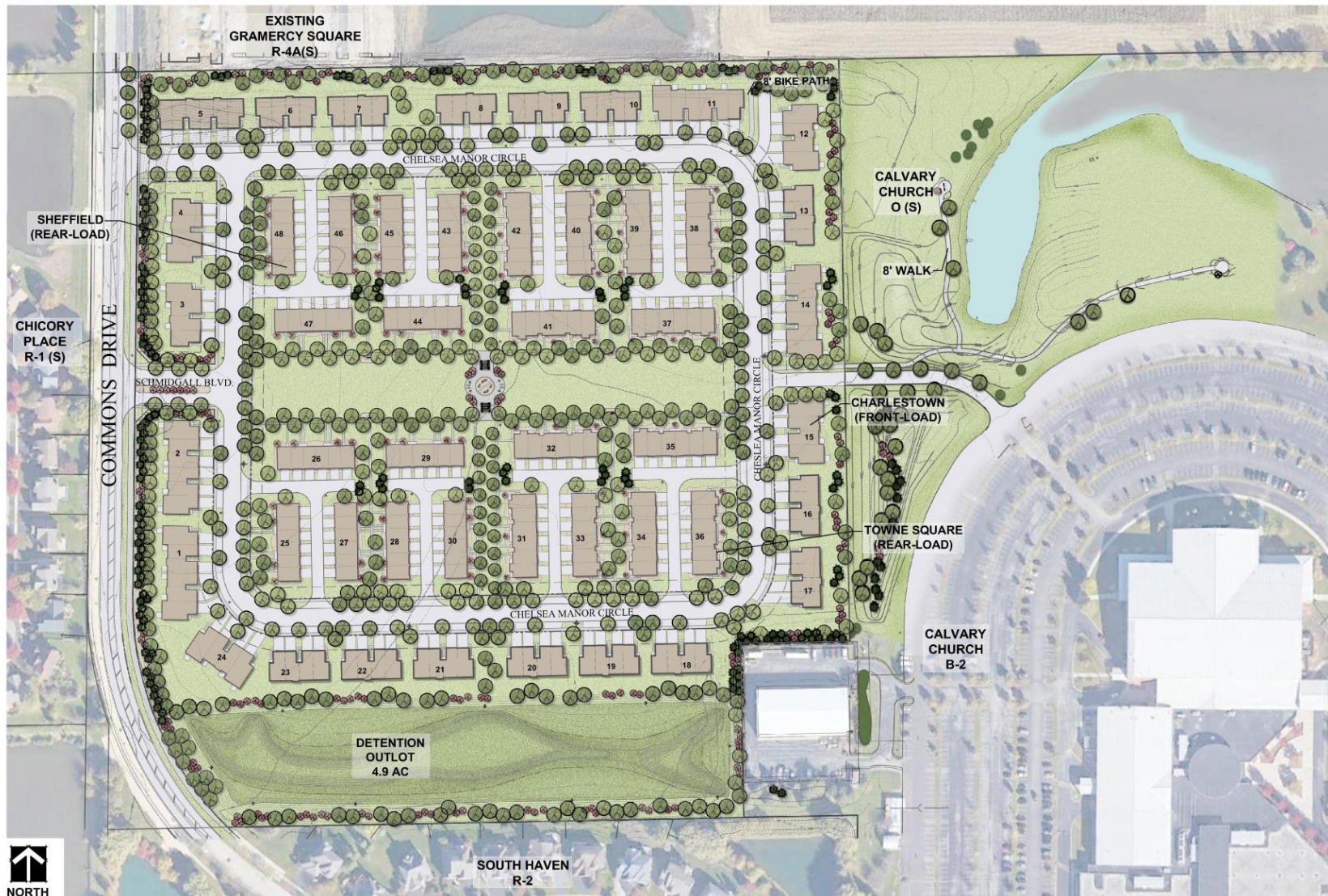
Questions and Answers

Thank you for your time!

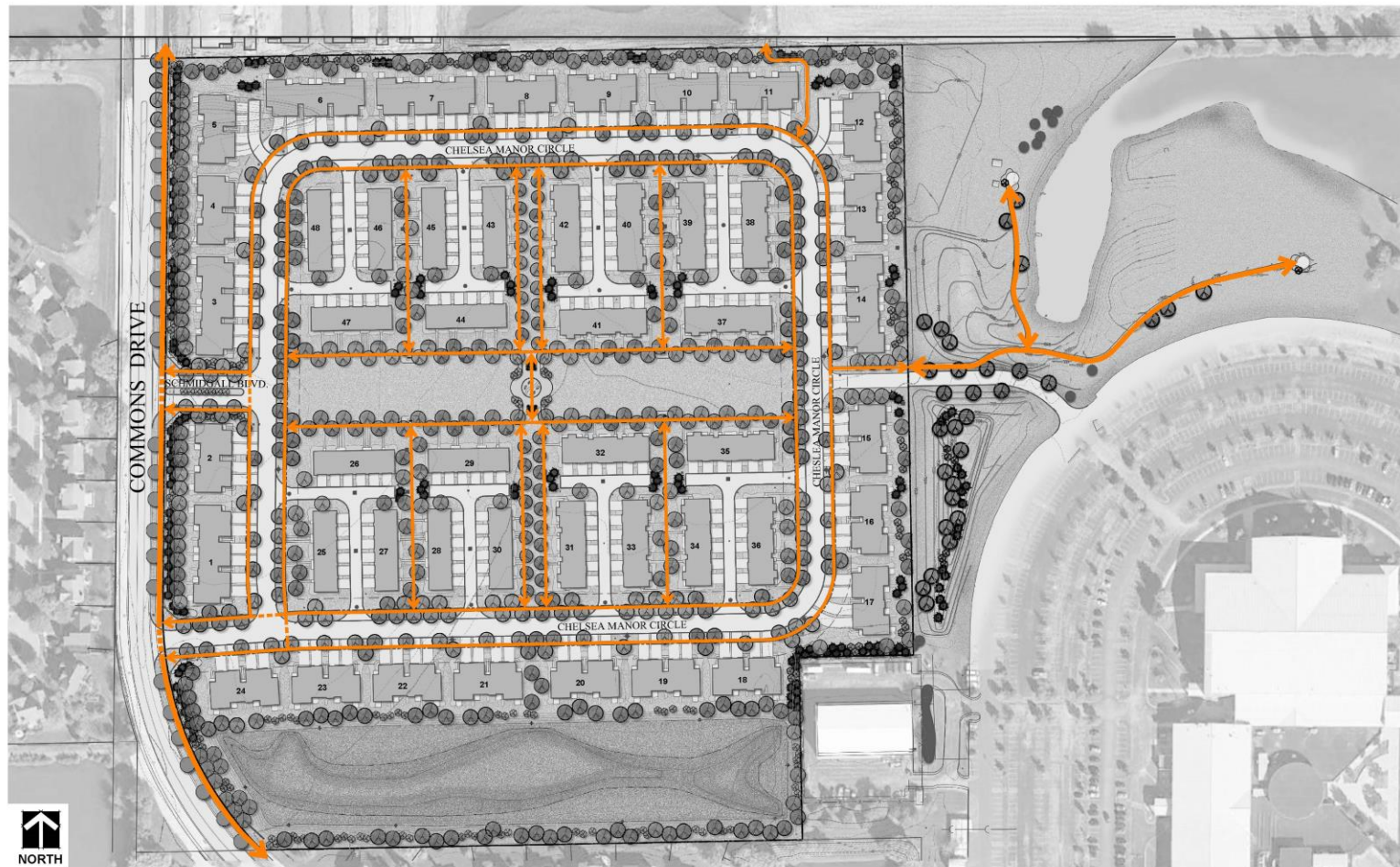
Table A
 COMMONS DRIVE AND CALVARY CHURCH SECONDARY ACCESS DRIVE
 SUNDAY AUGUST 22,2021

Peak Hour	Southbound		Northbound		Westbound	
	Through	Left	Through	Right	Right	Left
10:15-11:15 A.M.	29	42	37	0	62	1

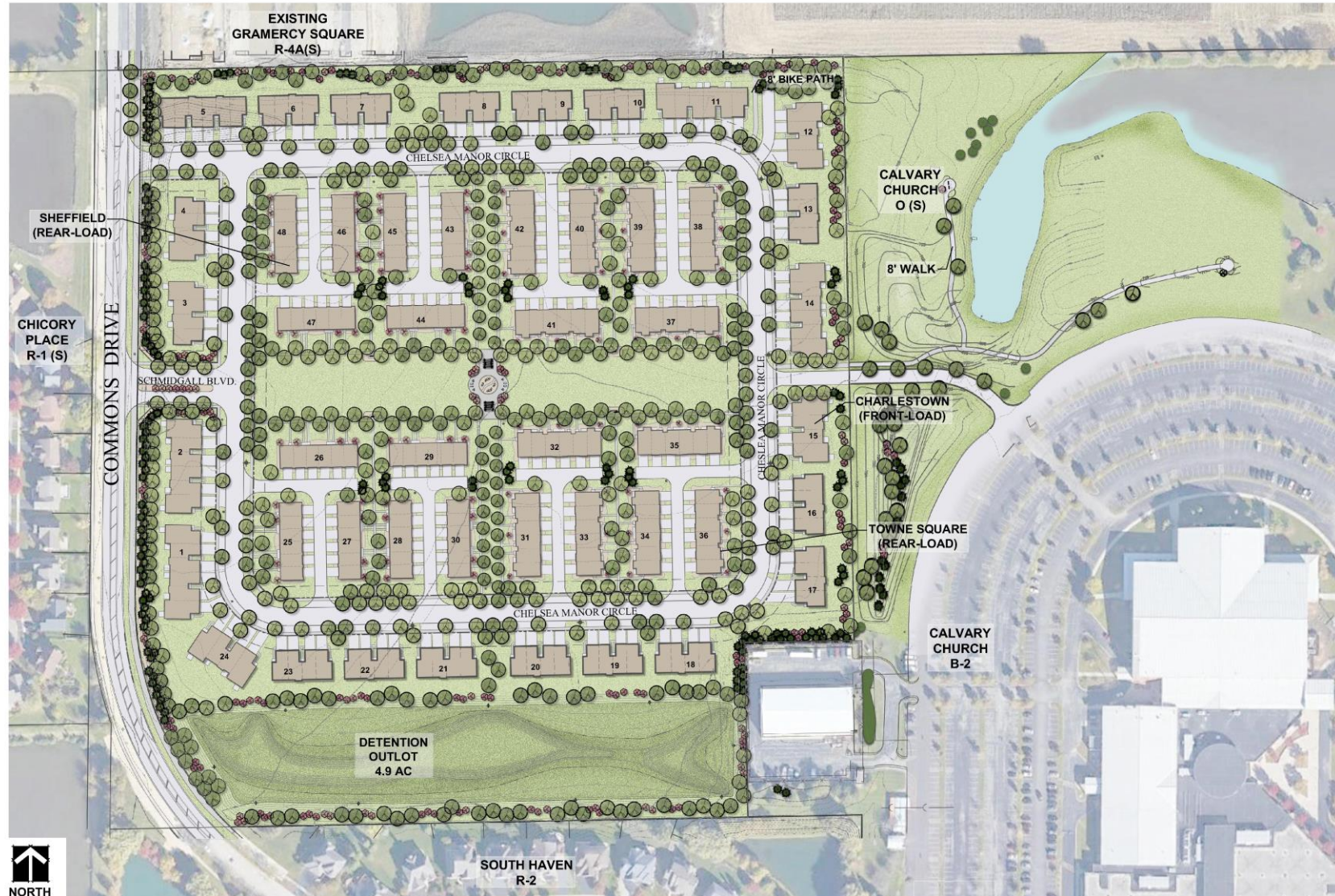
Chelsea Manor Site Plan



Pedestrian Plan



Chelsea Manor Site Plan





M/I Homes

National:

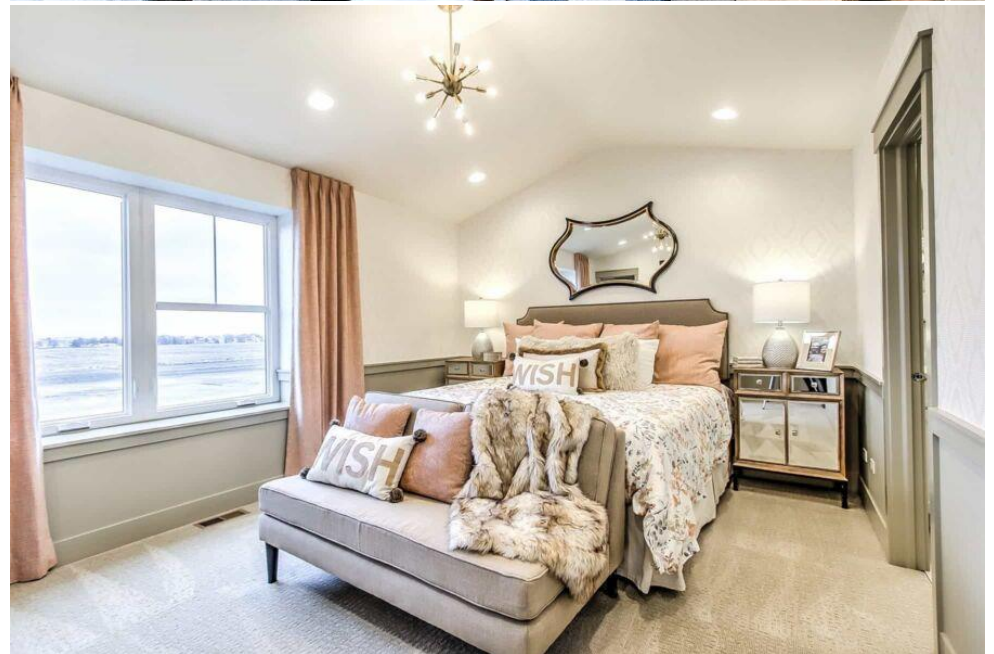
- 13th largest Homebuilder
- Operating in 9 States

Illinois:

- 3rd largest Homebuilder
- 28 active communities
- 9 communities in planning
- 500 home closings projected



M/I HOMES





Charlestown Series



Rear Elevation

scale: 3/16" = 1'-0"



Left Elevation

scale: 3/16" = 1'-0"



Right Elevation

scale: 3/16" = 1'-0"

Chelsea Manor
Character Elevation

Charlestown Series

Town Square Series



Rear Elevation
Chelsea Manor
Character Elevations
Aurora, IL

Lincoln Square Series

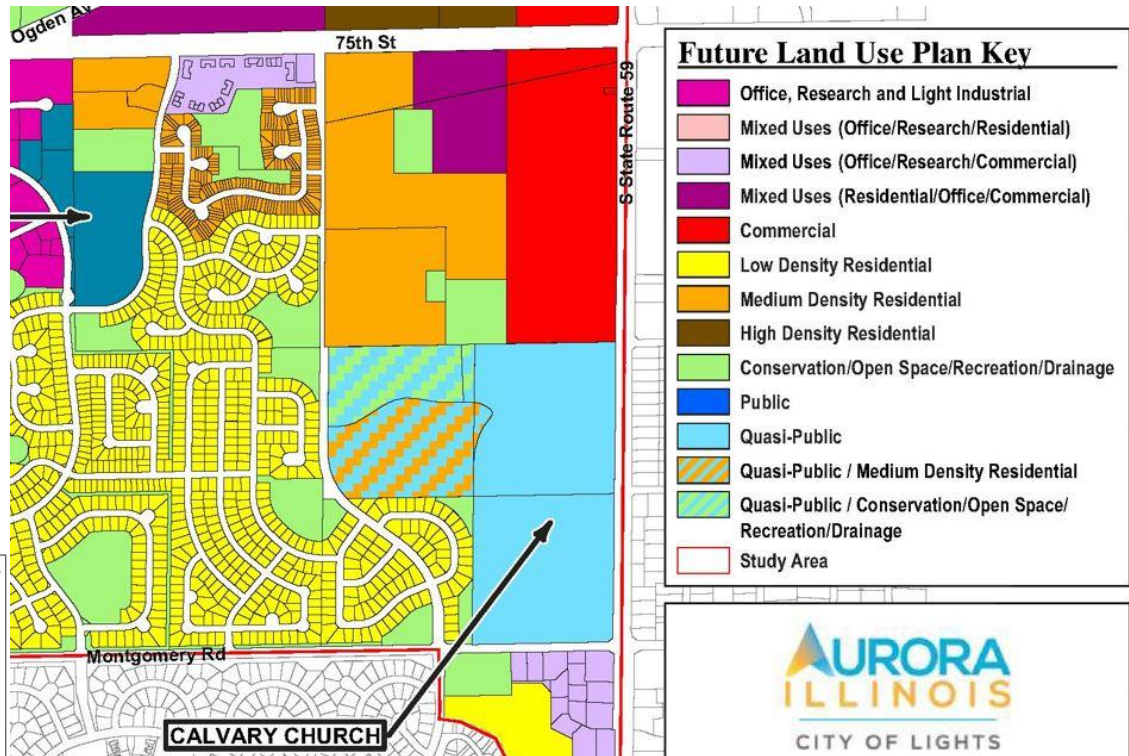
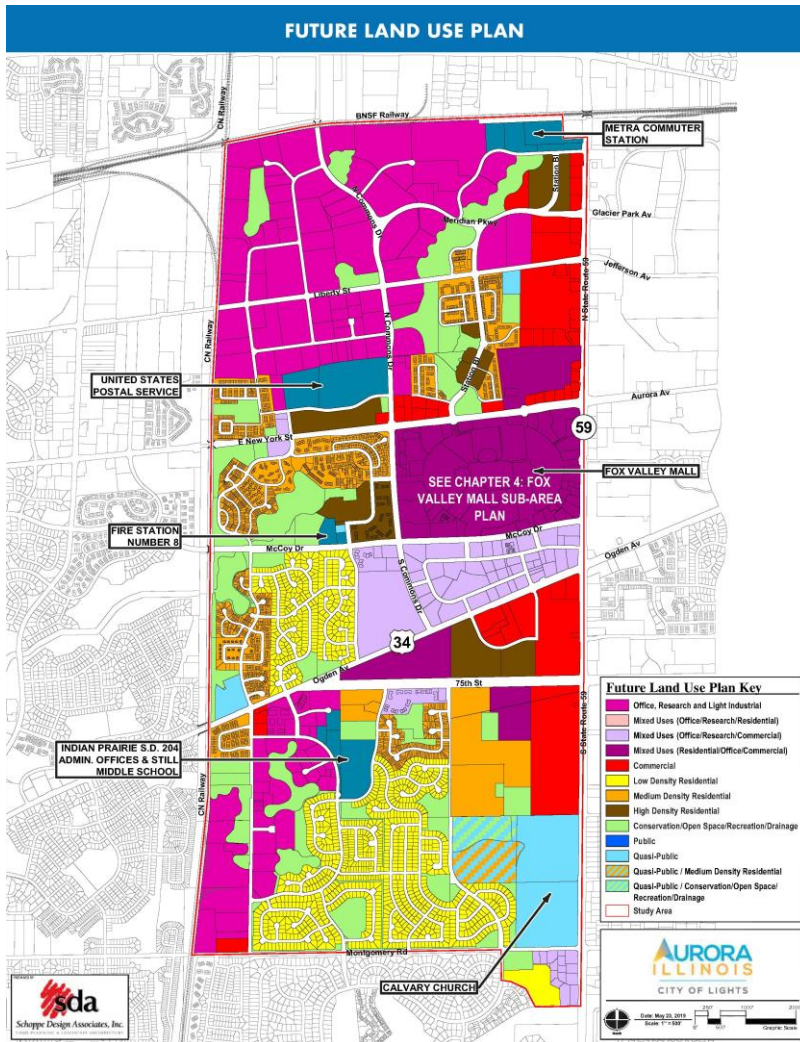


Chelsea Manor Character Elevations



M/I HOMES

Future Land Use



M/I HOMES

Future Land Use

Medium Density Residential Recommendations (MDR)

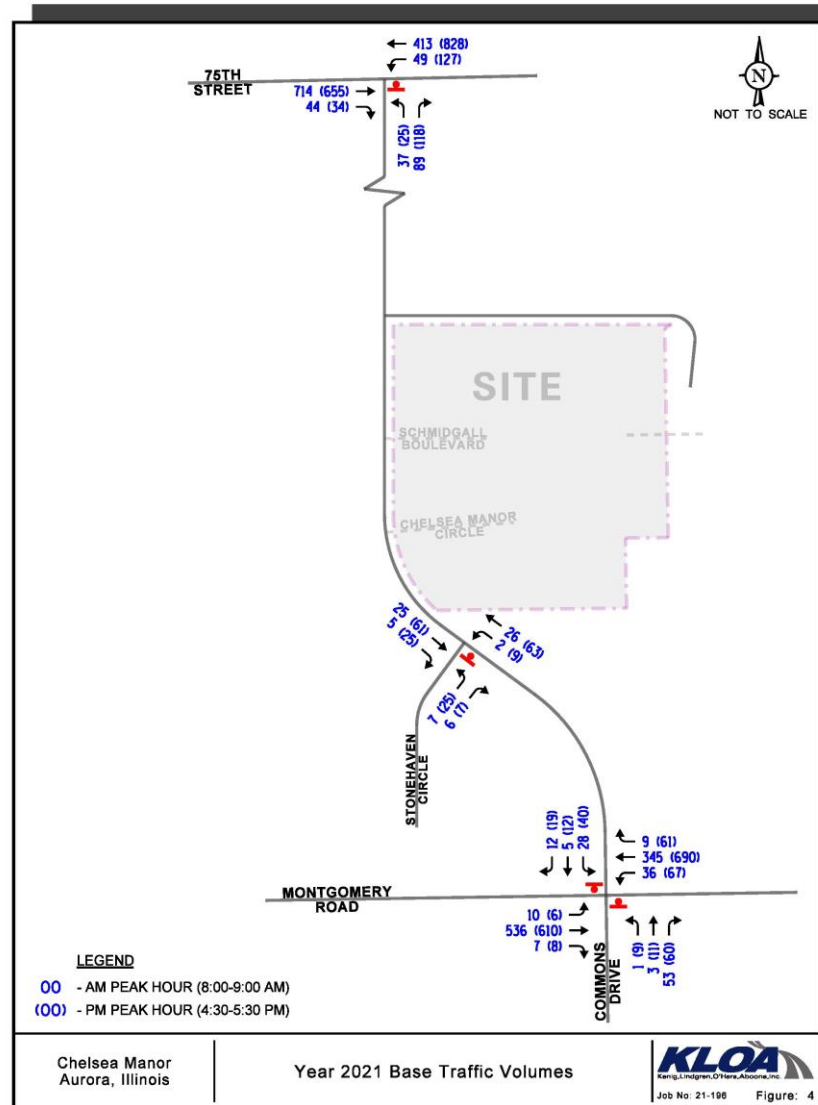
Characterized by attached single-family and multi-family units, developments in this land use category range in density from 6 to 12 units per acre and are not intended to be mixed with other uses. Traditionally, these types of medium density residential uses are constructed close to commercial uses, major transportation corridors, or higher density residential areas to provide a logical buffer between these uses and lower intensity uses such as single family residential development.

The Future Land Use Plan reflects a combination of both existing medium density residential projects comprised primarily of single-family attached/townhome units as well as areas for future medium density residential development. The majority of existing medium density residential uses are located in the west section of the study area, generally from New York Street on the north to Ogden Avenue on the south. An additional area of townhomes is located south of 75th Street slightly east of its intersection with Ogden Avenue.

Four new medium density residential pockets are recommended in the study area, all located south of the 75th Street corridor. The rationale for designating these areas as medium density residential includes several factors:

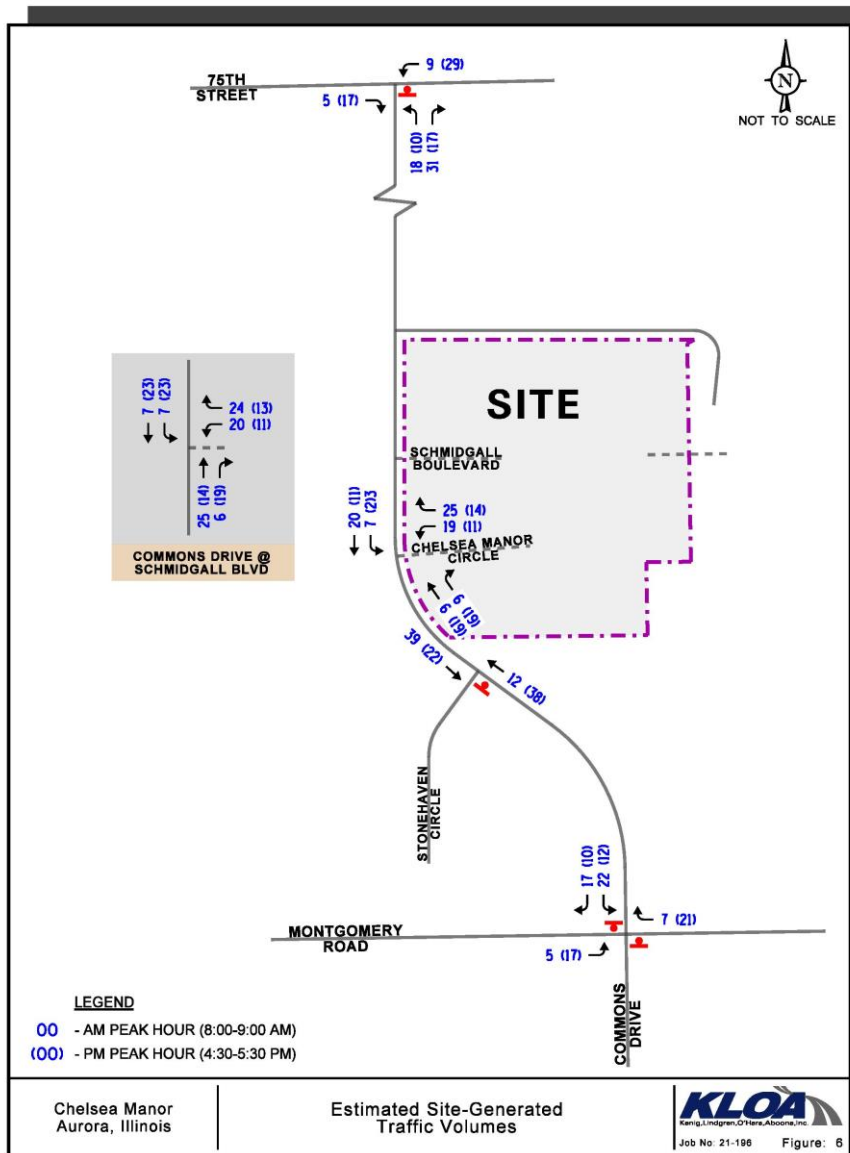
- Proximity to the heavily traveled 75th Street corridor;
- Proximity to adjacent and existing similar or higher density residential and commercial uses;
- Proximity to recommended future uses of similar or greater land use intensity; and
- Existing entitlement agreements.





ESTIMATED SITE-GENERATED TRAFFIC VOLUMES

ITE Land Use Code	Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour		
		In	Out	Total	In	Out	Total
220	Townhomes (250 Units)	26	88	114	84	49	133



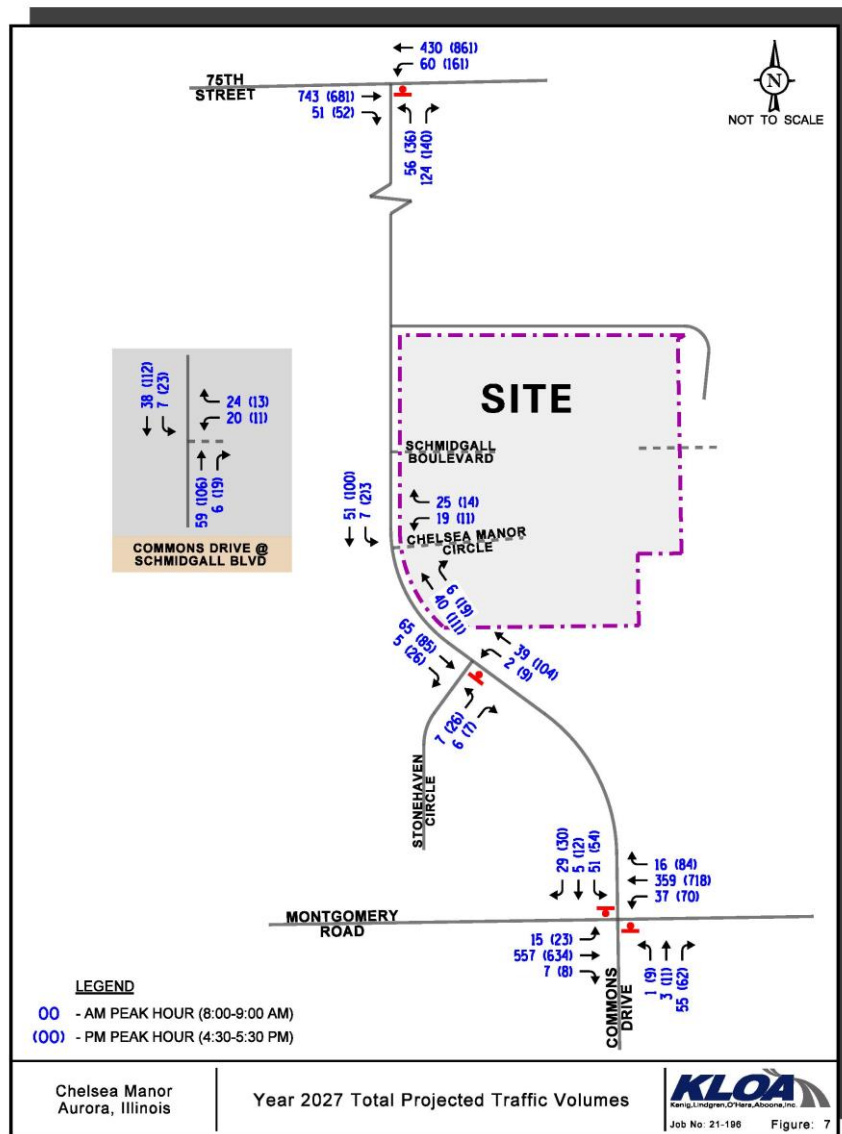
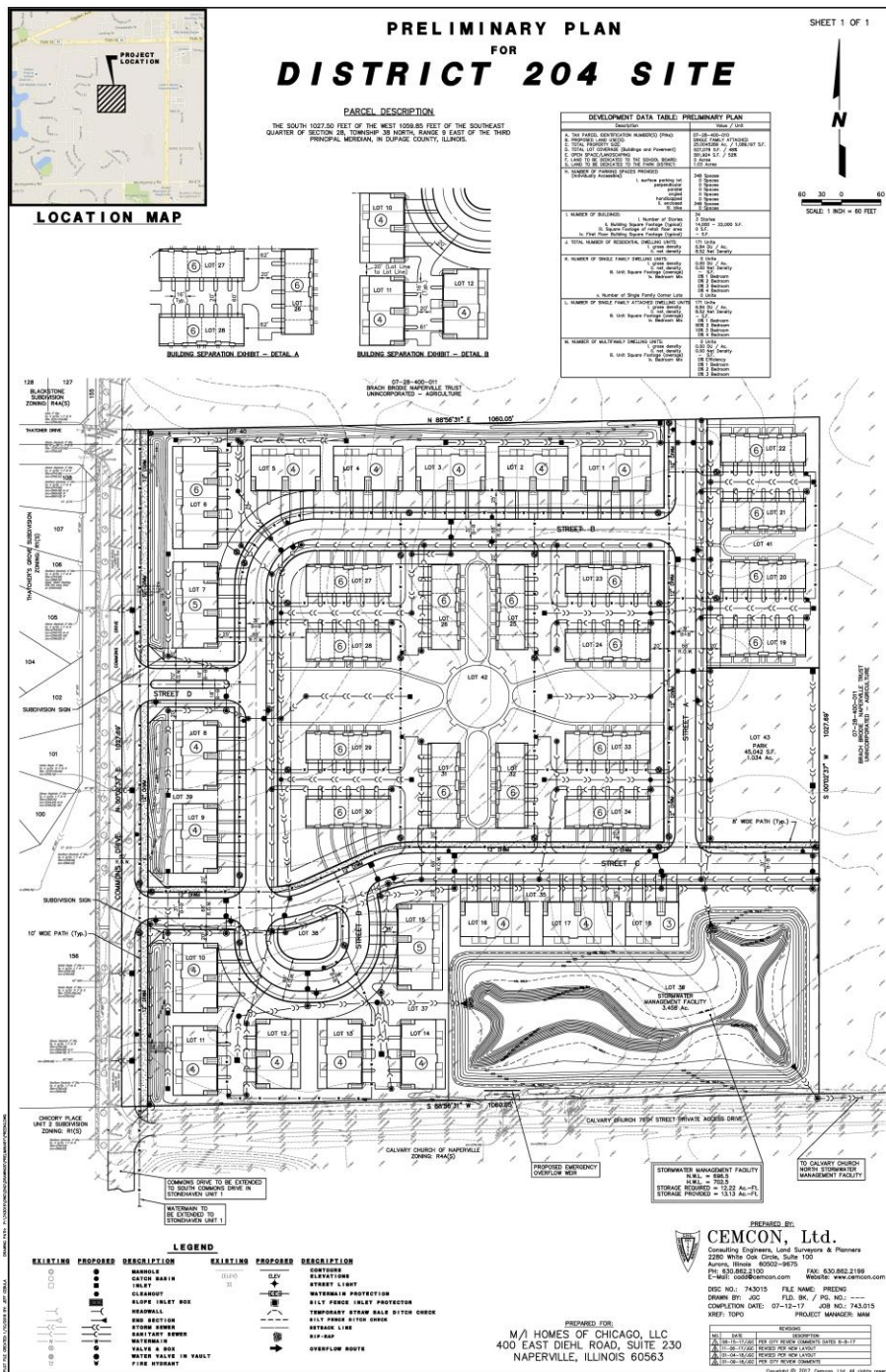


Table 3
CAPACITY ANALYSIS RESULTS – YEAR 2021 EXISTING CONDITIONS¹

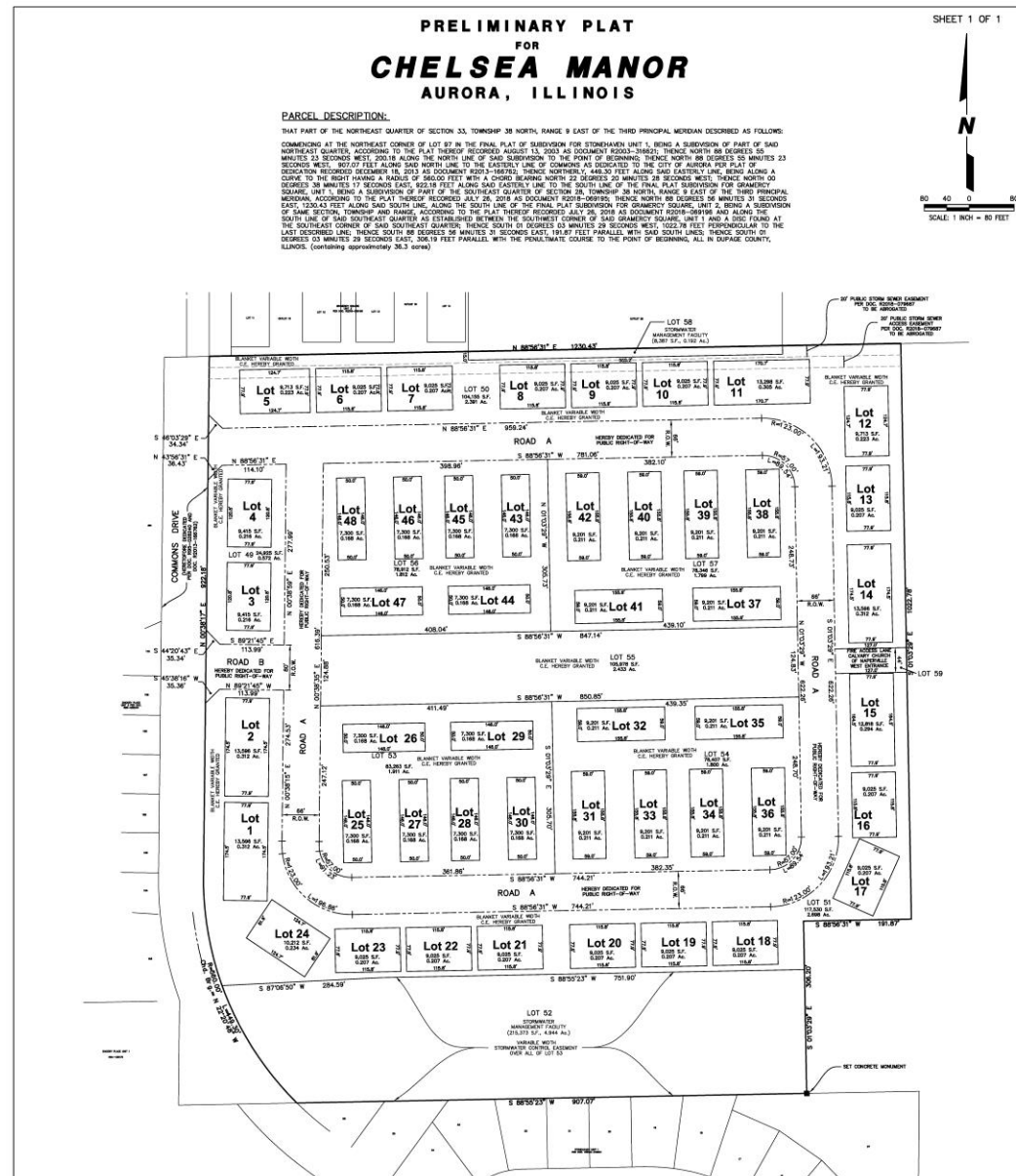
Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
Commons Drive with 75th Street				
• Northbound Approach	B	13.1	B	12.9
• Westbound Left Turn	A	9.9	A	9.8
Commons Drive with Stonehaven Circle				
• Eastbound Approach	A	8.8	A	9.6
• Northbound Left Turn	A	7.3	A	7.4
Commons Drive with Montgomery Road				
• Northbound Approach	B	14.0	E	39.9
• Southbound Left Turn	D	32.1	F	99+
• Southbound Through/Right Turn	B	14.3	D	30.4
• Eastbound Left Turn	A	8.2	A	9.5
• Westbound Left Turn	A	8.1	A	9.3
LOS = Level of Service 1 – All Intersections are Two-Way Stop Controlled Delay is measured in seconds				

Table 4
CAPACITY ANALYSIS RESULTS – YEAR 2027 PROJECTED CONDITIONS¹

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
Commons Drive with 75th Street				
• Northbound Approach	B	14.0	B	14.0
• Westbound Left Turn	B	10.2	B	10.3
Commons Drive with Stonehaven Circle				
• Eastbound Approach	A	9.1	B	10.2
• Northbound Left Turn	A	7.4	A	7.5
Commons Drive with Montgomery Road				
• Northbound Approach	B	14.5	F	54.9
• Southbound Left Turn	E	42.8	F	99+
• Southbound Through/Right Turn	B	13.1	D	32.0
• Eastbound Left Turn	A	8.3	A	9.9
• Westbound Left Turn	A	9.0	A	9.4
Commons Drive with Chelsea Manor Circle				
• Westbound Approach	A	9.0	A	9.6
• Southbound Left Turn	A	7.3	A	7.5
Commons Drive with Schmidgall Boulevard				
• Westbound Approach	A	9.0	A	9.6
• Southbound Left Turn	A	7.4	A	7.5
LOS = Level of Service Delay is measured in seconds. 1 – All Intersections Are Two-Way Stop Controlled				



Chelsea Manor Preliminary Plat



Chelsea Manor Fire Access Plan



Landscape Plan

Preliminary Landscape Plan
CHELSEA MANOR
Aurora, Illinois
May 21, 2021

CONSULTANTS:



LANDSCAPE ARCHITECT:
GARY R. WEBER ASSOCIATES, INC.
402 W. LIBERTY DRIVE
WHEATON, ILLINOIS 60187



CIVIL ENGINEER:
CEMCON, Ltd.
CONSULTING ENGINEERS AND SCIENTISTS & PLANNERS
2280 WHITE OAK CIRCLE, SUITE 100
AURORA, IL 60502-9675

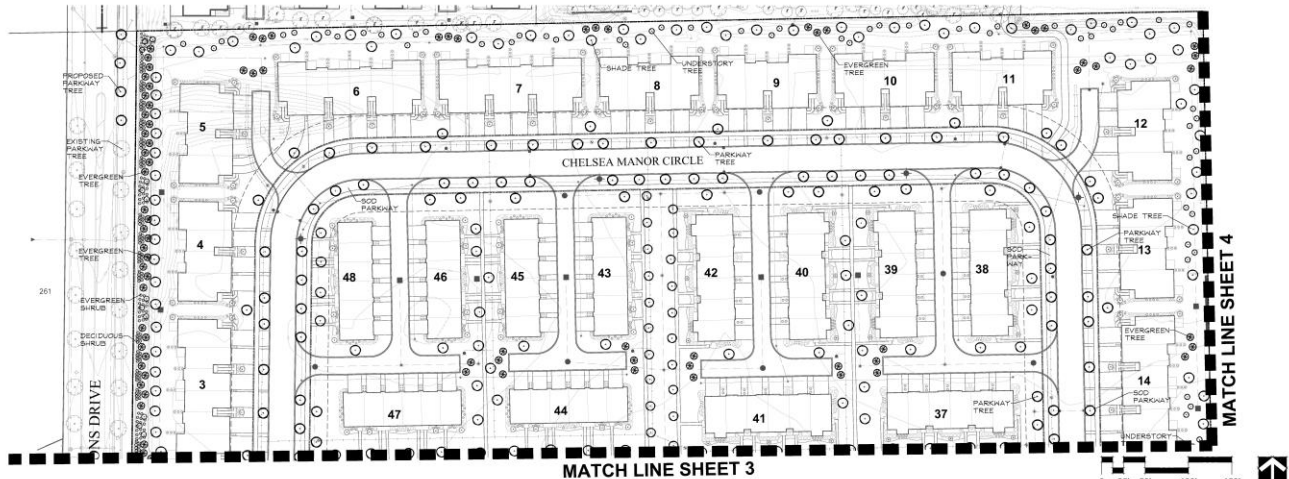


LOCATION MAP
SCALE: 1"=300'

INDEX OF SHEETS

<u>SHEET NO.</u>	<u>DESCRIPTION</u>
0	COVER SHEET
1	OVERALL LANDSCAPE PLAN
2	LANDSCAPE PLAN
3	LANDSCAPE PLAN
4	OFF-SITE LANDSCAPE PLAN
5	LANDSCAPE DETAILS
6	TYPICAL FOUNDATION LANDSCAPE PLANS
7	TYPICAL FOUNDATION LANDSCAPE PLANS





LANDSCAPE DATA TABLE : PLANT LIST

Symbol	Qty	Description	Notes
1	1	1) Evergreen Trees	
2	1	2) Deciduous Trees	
3	1	3) Shrubs	
4	1	4) Groundcover	
5	1	5) Mulch	
6	1	6) Fertilizer	
7	1	7) Watering	
8	1	8) Pruning	
9	1	9) Pesticides	
10	1	10) Fertilizer	
11	1	11) Watering	
12	1	12) Pruning	
13	1	13) Pesticides	
14	1	14) Fertilizer	
15	1	15) Watering	
16	1	16) Pruning	
17	1	17) Pesticides	
18	1	18) Fertilizer	
19	1	19) Watering	
20	1	20) Pruning	
21	1	21) Pesticides	
22	1	22) Fertilizer	
23	1	23) Watering	
24	1	24) Pruning	
25	1	25) Pesticides	
26	1	26) Fertilizer	
27	1	27) Watering	
28	1	28) Pruning	
29	1	29) Pesticides	
30	1	30) Fertilizer	
31	1	31) Watering	
32	1	32) Pruning	
33	1	33) Pesticides	
34	1	34) Fertilizer	
35	1	35) Watering	
36	1	36) Pruning	
37	1	37) Pesticides	
38	1	38) Fertilizer	
39	1	39) Watering	
40	1	40) Pruning	
41	1	41) Pesticides	
42	1	42) Fertilizer	
43	1	43) Watering	
44	1	44) Pruning	
45	1	45) Pesticides	
46	1	46) Fertilizer	
47	1	47) Watering	
48	1	48) Pruning	
49	1	49) Pesticides	
50	1	50) Fertilizer	
51	1	51) Watering	
52	1	52) Pruning	
53	1	53) Pesticides	
54	1	54) Fertilizer	
55	1	55) Watering	
56	1	56) Pruning	
57	1	57) Pesticides	
58	1	58) Fertilizer	
59	1	59) Watering	
60	1	60) Pruning	
61	1	61) Pesticides	
62	1	62) Fertilizer	
63	1	63) Watering	
64	1	64) Pruning	
65	1	65) Pesticides	
66	1	66) Fertilizer	
67	1	67) Watering	
68	1	68) Pruning	
69	1	69) Pesticides	
70	1	70) Fertilizer	
71	1	71) Watering	
72	1	72) Pruning	
73	1	73) Pesticides	
74	1	74) Fertilizer	
75	1	75) Watering	
76	1	76) Pruning	
77	1	77) Pesticides	
78	1	78) Fertilizer	
79	1	79) Watering	
80	1	80) Pruning	
81	1	81) Pesticides	
82	1	82) Fertilizer	
83	1	83) Watering	
84	1	84) Pruning	
85	1	85) Pesticides	
86	1	86) Fertilizer	
87	1	87) Watering	
88	1	88) Pruning	
89	1	89) Pesticides	
90	1	90) Fertilizer	
91	1	91) Watering	
92	1	92) Pruning	
93	1	93) Pesticides	
94	1	94) Fertilizer	
95	1	95) Watering	
96	1	96) Pruning	
97	1	97) Pesticides	
98	1	98) Fertilizer	
99	1	99) Watering	
100	1	100) Pruning	

Symbol	Qty	Description	Notes
1	1	1) Evergreen Trees	
2	1	2) Deciduous Trees	
3	1	3) Shrubs	
4	1	4) Groundcover	
5	1	5) Mulch	
6	1	6) Fertilizer	
7	1	7) Watering	
8	1	8) Pruning	
9	1	9) Pesticides	
10	1	10) Fertilizer	
11	1	11) Watering	
12	1	12) Pruning	
13	1	13) Pesticides	
14	1	14) Fertilizer	
15	1	15) Watering	
16	1	16) Pruning	
17	1	17) Pesticides	
18	1	18) Fertilizer	
19	1	19) Watering	
20	1	20) Pruning	
21	1	21) Pesticides	
22	1	22) Fertilizer	
23	1	23) Watering	
24	1	24) Pruning	
25	1	25) Pesticides	
26	1	26) Fertilizer	
27	1	27) Watering	
28	1	28) Pruning	
29	1	29) Pesticides	
30	1	30) Fertilizer	
31	1	31) Watering	
32	1	32) Pruning	
33	1	33) Pesticides	
34	1	34) Fertilizer	
35	1	35) Watering	
36	1	36) Pruning	
37	1	37) Pesticides	
38	1	38) Fertilizer	
39	1	39) Watering	
40	1	40) Pruning	
41	1	41) Pesticides	
42	1	42) Fertilizer	
43	1	43) Watering	
44	1	44) Pruning	
45	1	45) Pesticides	
46	1	46) Fertilizer	
47	1	47) Watering	
48	1	48) Pruning	
49	1	49) Pesticides	
50	1	50) Fertilizer	
51	1	51) Watering	
52	1	52) Pruning	
53	1	53) Pesticides	
54	1	54) Fertilizer	
55	1	55) Watering	
56	1	56) Pruning	
57	1	57) Pesticides	
58	1	58) Fertilizer	
59	1	59) Watering	
60	1	60) Pruning	
61	1	61) Pesticides	
62	1	62) Fertilizer	
63	1	63) Watering	
64	1	64) Pruning	
65	1	65) Pesticides	
66	1	66) Fertilizer	
67	1	67) Watering	
68	1	68) Pruning	
69	1	69) Pesticides	
70	1	70) Fertilizer	
71	1	71) Watering	
72	1	72) Pruning	
73	1	73) Pesticides	
74	1	74) Fertilizer	
75	1	75) Watering	
76	1	76) Pruning	
77	1	77) Pesticides	
78	1	78) Fertilizer	
79	1	79) Watering	
80	1	80) Pruning	
81	1	81) Pesticides	
82	1	82) Fertilizer	
83	1	83) Watering	
84	1	84) Pruning	
85	1	85) Pesticides	
86	1	86) Fertilizer	
87	1	87) Watering	
88	1	88) Pruning	
89	1	89) Pesticides	
90	1	90) Fertilizer	
91	1	91) Watering	
92	1	92) Pruning	
93	1	93) Pesticides	
94	1	94) Fertilizer	
95	1	95) Watering	
96	1	96) Pruning	
97	1	97) Pesticides	
98	1	98) Fertilizer	
99	1	99) Watering	
100	1	100) Pruning	

Symbol	Qty	Description	Notes
1	1	1) Evergreen Trees	
2	1	2) Deciduous Trees	
3	1	3) Shrubs	
4	1	4) Groundcover	
5	1	5) Mulch	
6	1	6) Fertilizer	
7	1	7) Watering	
8	1	8) Pruning	
9	1	9) Pesticides	
10	1	10) Fertilizer	
11	1	11) Watering	
12	1	12) Pruning	
13	1	13) Pesticides	
14	1	14) Fertilizer	
15	1	15) Watering	
16	1	16) Pruning	
17	1	17) Pesticides	
18	1	18) Fertilizer	
19	1	19) Watering	
20	1	20) Pruning	
21	1	21) Pesticides	
22	1	22) Fertilizer	
23	1	23) Watering	
24	1	24) Pruning	
25	1	25) Pesticides	
26	1	26) Fertilizer	
27	1	27) Watering	
28	1	28) Pruning	
29	1	29) Pesticides	
30	1	30) Fertilizer	
31	1	31) Watering	
32	1	32) Pruning	
33	1	33) Pesticides	
34	1	34) Fertilizer	
35	1	35) Watering	
36	1	36) Pruning	
37	1	37) Pesticides	
38	1	38) Fertilizer	
39	1	39) Watering	
40	1	40) Pruning	
41	1	41) Pesticides	
42	1	42) Fertilizer	
43	1	43) Watering	
44	1	44) Pruning	
45	1	45) Pesticides	
46	1	46) Fertilizer	
47	1	47) Watering	
48	1	48) Pruning	
49	1	49) Pesticides	
50	1	50) Fertilizer	
51	1	51) Watering	
52	1	52) Pruning	
53	1	53) Pesticides	
54	1	54) Fertilizer	
55	1	55) Watering	
56	1	56) Pruning	
57	1	57) Pesticides	
58	1	58) Fertilizer	
59	1	59) Watering	
60	1	60) Pruning	
61	1	61) Pesticides	
62	1	62) Fertilizer	
63	1	63) Watering	
64	1	64) Pruning	
65	1	65) Pesticides	
66	1	66) Fertilizer	
67	1	67) Watering	
68	1	68) Pruning	
69	1	69) Pesticides	
70	1	70) Fertilizer	
71	1	71) Watering	
72	1	72) Pruning	
73	1	73) Pesticides	
74	1	74) Fertilizer	
75	1	75) Watering	
76	1	76) Pruning	
77	1	77) Pesticides	
78	1	78) Fertilizer	
79	1	79) Watering	
80	1	80) Pruning	
81	1	81) Pesticides	
82	1	82) Fertilizer	
83	1	83) Watering	
84	1	84) Pruning	
85	1	85) Pesticides	
86	1	86) Fertilizer	
87	1	87) Watering	
88	1	88) Pruning	
89	1	89) Pesticides	
90	1	90) Fertilizer	
91	1	91) Watering	
92	1	92) Pruning	
93	1	93) Pesticides	
94	1	94) Fertilizer	
95	1	95) Watering	
96	1	96) Pruning	
97	1	97) Pesticides	
98	1	98) Fertilizer	
99	1	99) Watering	
100	1	100) Pruning	

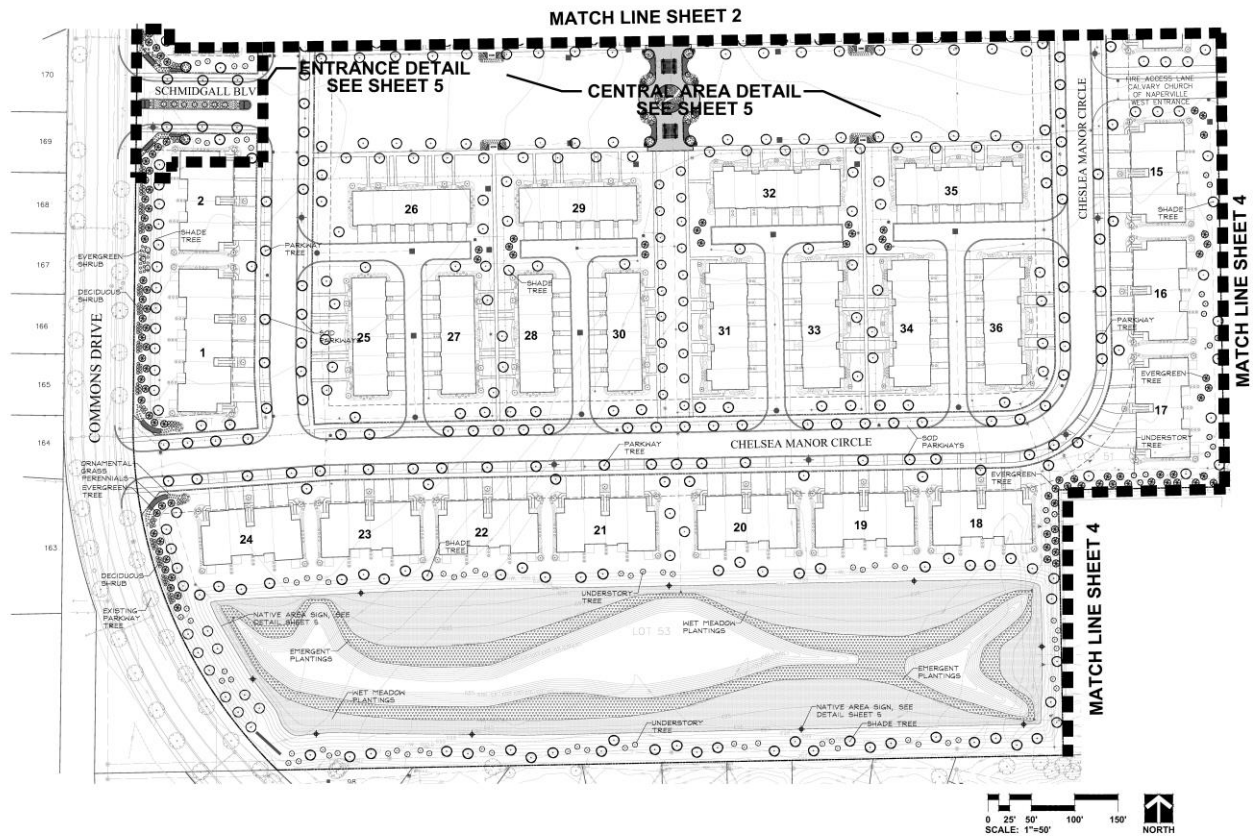
NOTE 1: PLANT PERCENTAGES AND QUANTITIES TO BE PROVIDED AT FINAL.
NOTE 2: OFF-SITE LANDSCAPING AND FOUNDATION PLANTINGS ARE NOT INCLUDED IN THE OVERALL PLANT QUANTITIES

GRWA
GARY R. WEBER
ASSOCIATES, INC.
LAND PLANNING
LANDSCAPE ARCHITECTURE
211 SOUTH MAIN STREET
WILMINGTON, ILLINOIS 60491
PHONE: 630.667.7197

M/I HOMES
4815 DIX DRIVE, SUITE 200
NAPERVILLE, IL 60563
CEMCON, LTD.
2200 WHITE OAK CIRCLE
SUITE 100
AURORA, IL 60002

CHELSEA MANOR
AURORA, ILLINOIS
LANDSCAPE PLAN

REVISIONS
DATE: 5/21/21
PROJECT NO.: M20185
DRAWN: M20185
CHECKED: JCB
SHEET NO.:
2 OF 7



GRWA
GARY R. WEBER
ASSOCIATES, INC.
LAND PLANNING
LANDSCAPE ARCHITECTURE
211 SOUTH MAIN STREET
WINSTON, ILLINOIS 60090
PHONE: 630-687-7197

M/I HOMES
4815 DIX ROAD, SUITE 200
BURNINGHAM, ILLINOIS 60015
CEMCON, LTD.
2200 WHITE OAK CIRCLE
SUITE 100
AURORA, IL 60002

CHELSEA MANOR
AURORA, ILLINOIS
LANDSCAPE PLAN

REVISIONS

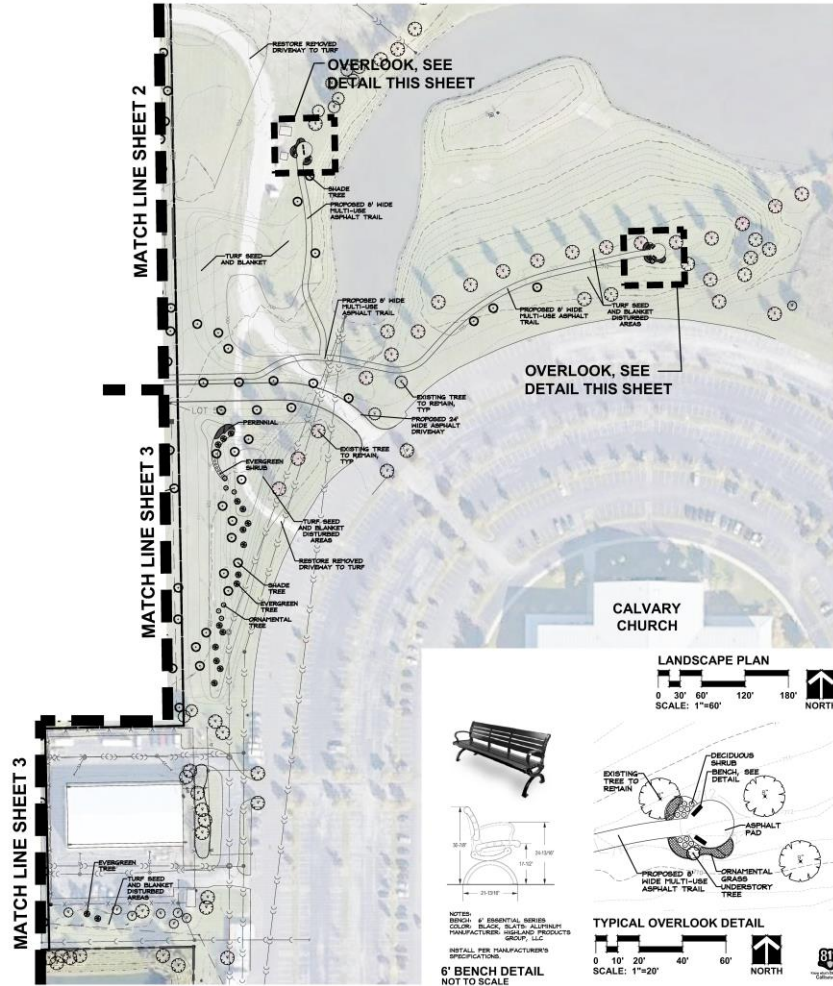
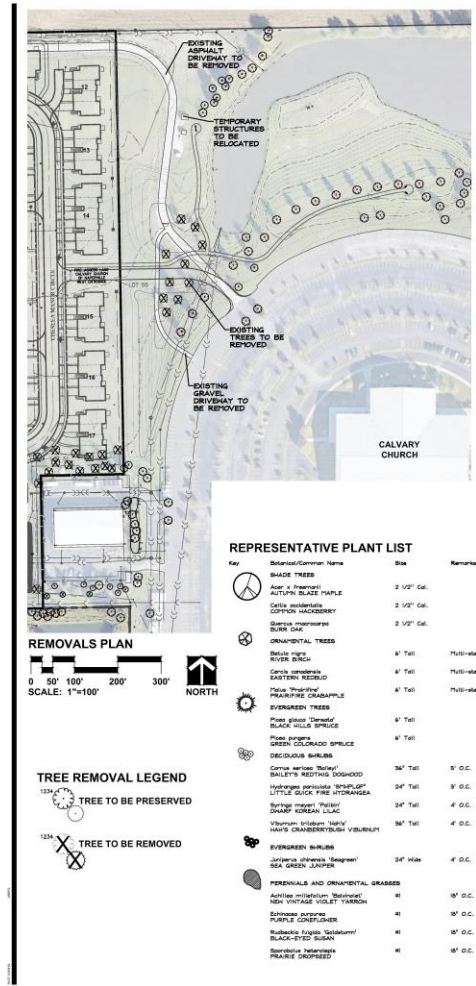
DATE: 5.21.21
PROJECT NO.: M20162
DRAWN: M201
CHECKED: JCB
SHEET NO.:

3 OF 7



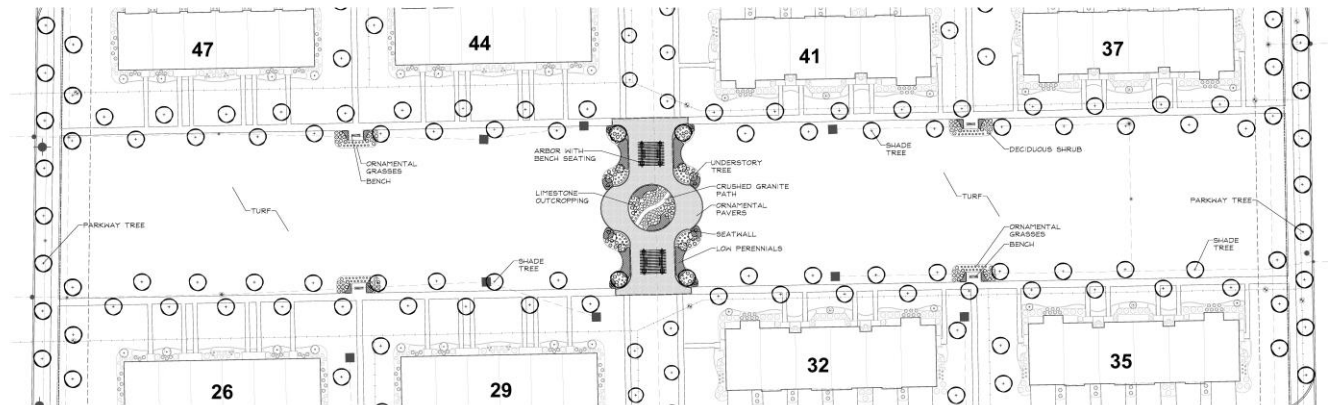
M/I HOMES

Calvary Detention Improvement Plan

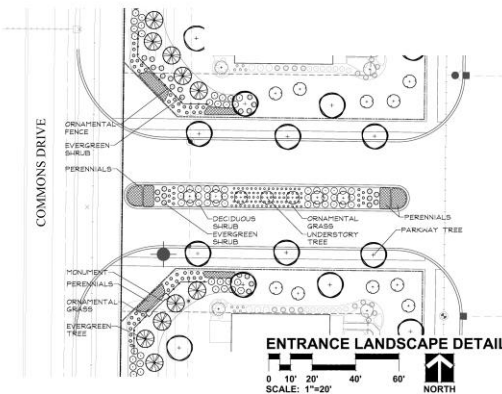


REVISIONS
 DATE 5/21/21
 PROJECT NO. M201A2
 DRAWN MCM
 CHECKED GFB
 SHEET NO.
4 OF 7





CENTRAL AREA LANDSCAPE DETAIL

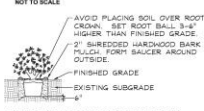


ENTRANCE LANDSCAPE DETAIL

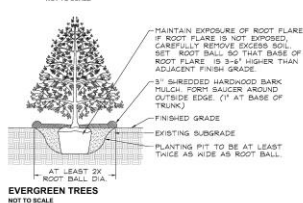
PLANTING DETAILS



PERENNIALS AND GROUNDCOVERS

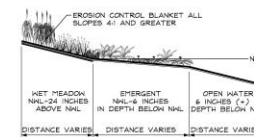


DECIDUOUS AND EVERGREEN SHRUBS



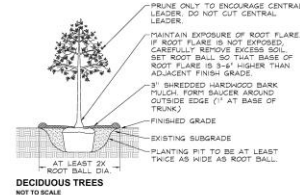
EVERGREEN TREES

NOT TO SCALE



PLANT COMMUNITY SECTION

NOT TO SCALE



DECIDUOUS TREES

NOT TO SCALE



NATURALIZED AREA SIGN DETAIL

NOT TO SCALE

GRWA
GARY R. WEBER
ASSOCIATES, INC.
LAND PLANNING
ECOLOGICAL CONSULTING
LANDSCAPE ARCHITECTURE
211 SOUTH MAIN STREET
WHEATON, ILLINOIS 60187
PHONE: 630.667.1777

M/I HOMES
401 E. DELAWARE AVE. SUITE 202
AURORA, IL 60009
OFFICE: 630.594.1234
CELL: 630.594.1234
FAX: 630.594.1234

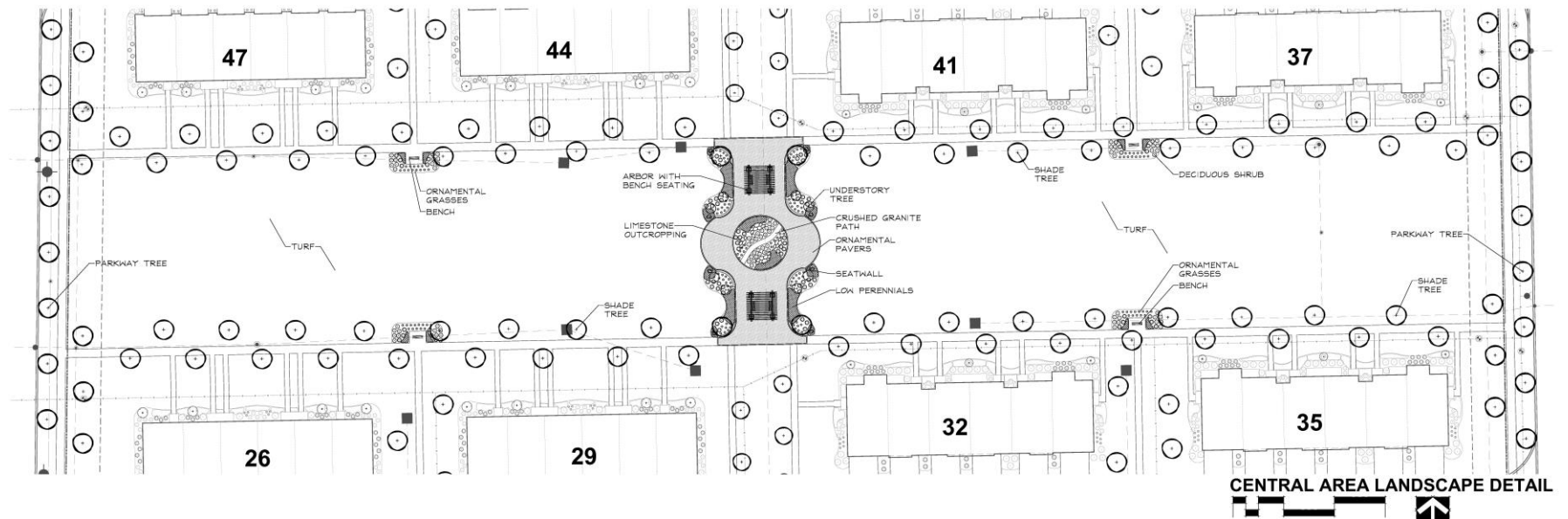
CHELSEA MANOR AURORA, ILLINOIS LANDSCAPE DETAILS

REVISIONS

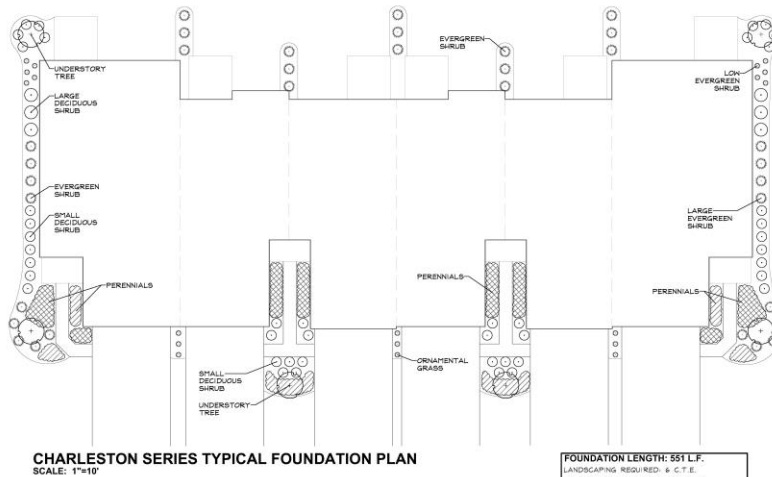
DATE: 8.22.23
PROJECT NO.: M00105
DRAWN: NCM
CHECKED: GFB
SHEET NO.

5 OF 7

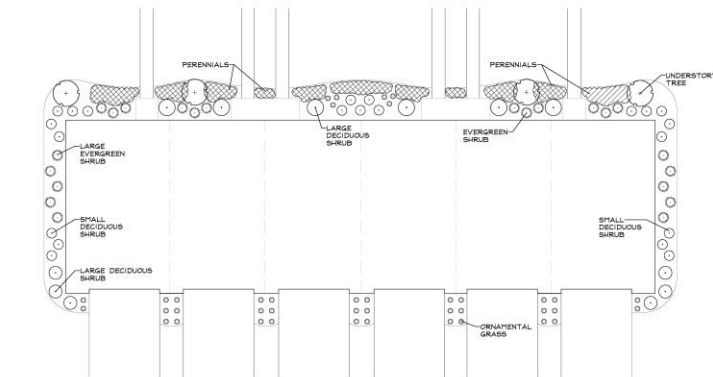
Central Plaza Plan



Foundation Planting Plan



CHARLESTON SERIES TYPICAL FOUNDATION PLAN
SCALE: 1"=10'



TOWN SQUARE SERIES TYPICAL FOUNDATION PLAN
SCALE: 1"=10'

6 UNIT FOUNDATION PLAN (NORTHEAST FACING) PLANT LIST

Key	Botanical/Common Name	Size	Remarks
UNDERSTORY TREES			
071	Cornea rosea	6' Tall	
072	Spring japonica 'Hortia'	6' Tall	
073	Cornea rosea	6' Tall	
074	Cornea rosea	6' Tall	
EVERGREEN TREES			
071	Thuja occidentalis 'Smaragd'	5' Tall	
072	Thuja occidentalis 'Smaragd'	5' Tall	
DECIDUOUS SHRUBS			
081	Cornea rosea 'Hortia'	36" Tall	5' O.C.
082	Cornea rosea 'Hortia'	36" Tall	5' O.C.
083	Hydrangea paniculata 'Vanilla'	36" Tall	4' O.C.
084	Hydrangea paniculata 'Vanilla'	36" Tall	4' O.C.
085	Hydrangea paniculata 'Vanilla'	36" Tall	4' O.C.
086	Hydrangea paniculata 'Vanilla'	36" Tall	4' O.C.
EVERGREEN SHRUBS			
081	Thuja occidentalis 'Smaragd'	24" Wide	4' O.C.
082	Thuja occidentalis 'Smaragd'	24" Wide	4' O.C.
PERENNIALS AND ORNAMENTAL GRASSES			
091	Colostephus acaulis 'Karl Foerster'	18"	24" O.C.
092	Colostephus acaulis 'Karl Foerster'	18"	24" O.C.
093	Colostephus acaulis 'Karl Foerster'	18"	24" O.C.
094	Colostephus acaulis 'Karl Foerster'	18"	24" O.C.
095	Colostephus acaulis 'Karl Foerster'	18"	24" O.C.
096	Colostephus acaulis 'Karl Foerster'	18"	24" O.C.

6 UNIT FOUNDATION PLAN (SOUTHWEST FACING) PLANT LIST

Key	Botanical/Common Name	Size	Remarks
UNDERSTORY TREES			
071	Cornea rosea	6' Tall	
072	Cornea rosea	6' Tall	
073	Cornea rosea	6' Tall	
074	Cornea rosea	6' Tall	
EVERGREEN TREES			
071	Thuja occidentalis 'Smaragd'	5' Tall	
072	Thuja occidentalis 'Smaragd'	5' Tall	
DECIDUOUS SHRUBS			
081	Cornea rosea 'Hortia'	36" Tall	5' O.C.
082	Cornea rosea 'Hortia'	36" Tall	5' O.C.
083	Hydrangea paniculata 'Vanilla'	36" Tall	4' O.C.
084	Hydrangea paniculata 'Vanilla'	36" Tall	4' O.C.
085	Hydrangea paniculata 'Vanilla'	36" Tall	4' O.C.
086	Hydrangea paniculata 'Vanilla'	36" Tall	4' O.C.
EVERGREEN SHRUBS			
081	Thuja occidentalis 'Smaragd'	24" Wide	4' O.C.
082	Thuja occidentalis 'Smaragd'	24" Wide	4' O.C.
PERENNIALS AND ORNAMENTAL GRASSES			
091	Colostephus acaulis 'Karl Foerster'	18"	24" O.C.
092	Colostephus acaulis 'Karl Foerster'	18"	24" O.C.
093	Colostephus acaulis 'Karl Foerster'	18"	24" O.C.
094	Colostephus acaulis 'Karl Foerster'	18"	24" O.C.
095	Colostephus acaulis 'Karl Foerster'	18"	24" O.C.
096	Colostephus acaulis 'Karl Foerster'	18"	24" O.C.



GARY R. WEBER
ASSOCIATES, INC.
LAND PLANNING
ARCHITECTURAL CONSULTING
LANDSCAPE ARCHITECTURE
211 SOUTH MAIN STREET
WHITTON, ILLINOIS 60191
PHONE: 630-667-7197



M/I HOMES
4815 DIX ROAD, SUITE 200
NAPERVILLE, IL 60563
CEMCON, LTD.
220 WHITE OAK CIRCLE
SUITE 10
AURORA, IL 60002

CHELSEA MANOR
AURORA, ILLINOIS

TYPICAL FOUNDATION LANDSCAPE PLANS

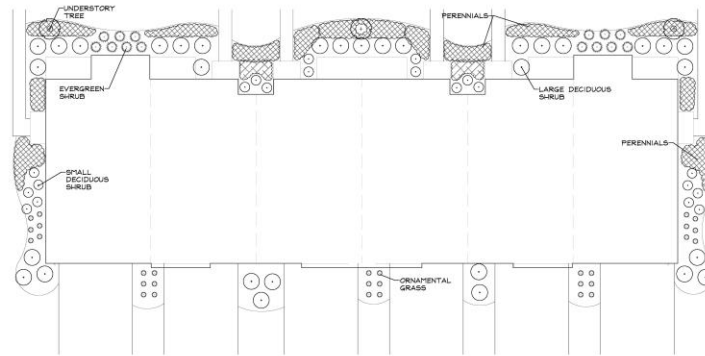
REVISIONS

DATE: 5/21/21
PROJECT NO.: M20192
DRAWN: M2019
CHECKED: JCB
SHEET NO.: 6 OF 7



M/I HOMES

Foundation Planting Plan



LINCOLN SQUARE SERIES TYPICAL FOUNDATION PLAN
SCALE: 1"=10'

FOUNDATION LENGTH: 400 L.F.
LANDSCAPING REQUIRED: 4 C.T.E.
LANDSCAPING PROVIDED: 43 C.T.E.
3 ORNAMENTAL TREES
52 DECIDUOUS SHRUBS
14 EVERGREEN SHRUBS

6 UNIT FOUNDATION PLAN (NORTHEAST FACING) PLANT LIST

Key	Botanical/Common Name	Size	Remarks
UNDERSTORY TREES			
OT1	Cornus mas	6' Tall	
OT2	Spring japonica 'Hortus'	6' Tall	
OT3	Carthagenensis	6' Tall	
EVERGREEN TREES			
ET1	Thuja occidentalis 'Smaragd'	5' Tall	
DECIDUOUS SHRUBS			
DS1	Cornus sericea 'Bailey'	36" Tall	5' O.C.
DS2	Bailey's Redwing Dogwood	24" Tall	5' O.C.
DS3	Amelanchier canadensis 'Hortus'	36" Tall	4' O.C.
DS4	Spring maple 'Pulkin'	24" Tall	4' O.C.
DS5	Viburnum 'Jade'	36" Tall	5' O.C.
EVERGREEN SHRUBS			
ES1	Juniperus horizontalis 'Blue Forest'	24" High	4' O.C.
ES2	Taxus canadensis 'Blue Forest'	24" High	4' O.C.
PERENNIALS AND ORNAMENTAL GRASSES			
OG1	Colostephus auliformis 'Karl Foerster'	18"	24" O.C.
P1	Hamamelis 'Vasey Return'	18"	18" O.C.
P2	Hamamelis 'Vasey Return'	18"	18" O.C.
P3	Hamamelis 'Vasey Return'	18"	18" O.C.
OG2	Hamamelis 'Vasey Return'	18"	24" O.C.

6 UNIT FOUNDATION PLAN (SOUTHWEST FACING) PLANT LIST

Key	Botanical/Common Name	Size	Remarks
UNDERSTORY TREES			
OT1	Amelanchier canadensis	6' Tall	
OT2	Amelanchier canadensis	6' Tall	
OT3	Spring japonica 'Hortus'	6' Tall	
EVERGREEN TREES			
ET1	Thuja occidentalis 'Smaragd'	5' Tall	
DECIDUOUS SHRUBS			
DS1	Forbesia x Intermedia 'New Hampshire Gold'	36" Tall	5' O.C.
DS2	Forbesia x Intermedia 'New Hampshire Gold'	24" Tall	5' O.C.
DS3	Forbesia x Intermedia 'New Hampshire Gold'	24" Tall	5' O.C.
DS4	Forbesia x Intermedia 'New Hampshire Gold'	24" Tall	5' O.C.
DS5	Forbesia x Intermedia 'New Hampshire Gold'	24" Tall	5' O.C.
DS6	Forbesia x Intermedia 'New Hampshire Gold'	24" Tall	5' O.C.
EVERGREEN SHRUBS			
ES1	Juniperus horizontalis 'Blue Forest'	24" High	4' O.C.
ES2	Juniperus horizontalis 'Blue Forest'	24" High	4' O.C.
PERENNIALS AND ORNAMENTAL GRASSES			
OG1	Colostephus auliformis 'Karl Foerster'	18"	24" O.C.
P1	Hamamelis 'Vasey Return'	18"	18" O.C.
P2	Hamamelis 'Vasey Return'	18"	18" O.C.
P3	Hamamelis 'Vasey Return'	18"	18" O.C.
OG2	Hamamelis 'Vasey Return'	18"	18" O.C.



GARY R. WEBER
ASSOCIATES, INC.
LAND PLANNING
LANDSCAPE ARCHITECTURE
211 SOUTH MAIN STREET
WHITESTOWN, KENTUCKY 40086
PHONE: 502/687-7197



M/I HOMES
4815 DIXIE ROAD, SUITE 200
SUPERVILLE, IL 62458
CONTRACTOR
CEMCON, LTD.
2200 WHITE OAK CIRCLE
SUITE 10
AURORA, IL 60002

CHELSEA MANOR
AURORA, ILLINOIS

TYPICAL FOUNDATION LANDSCAPE PLANS

REVISIONS

DATE: 5/21/21
PROJECT NO.: M20182
DRAWN: M201
CHECKED: JCB
SHEET NO.: 7 OF 7



M/I HOMES

