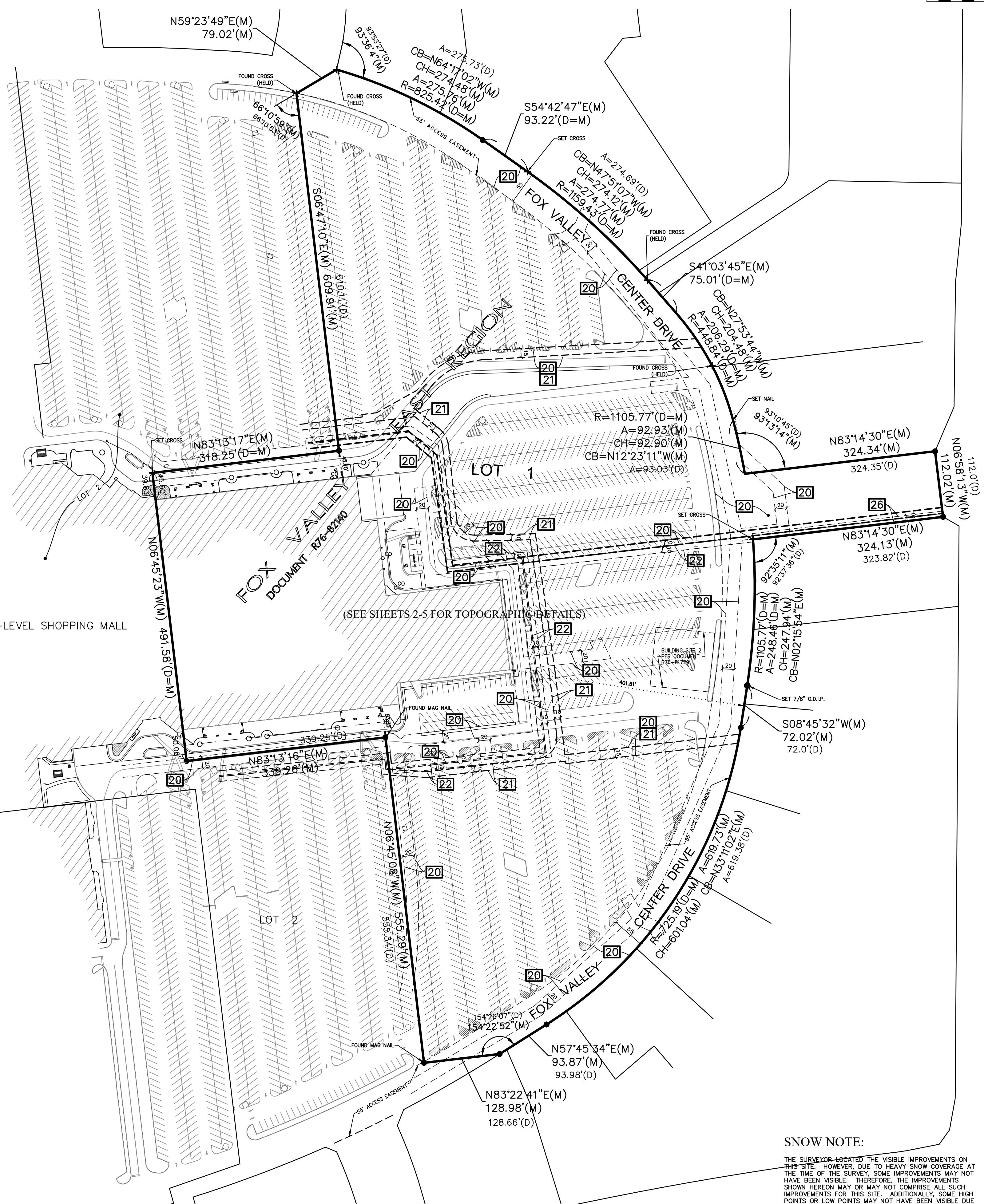
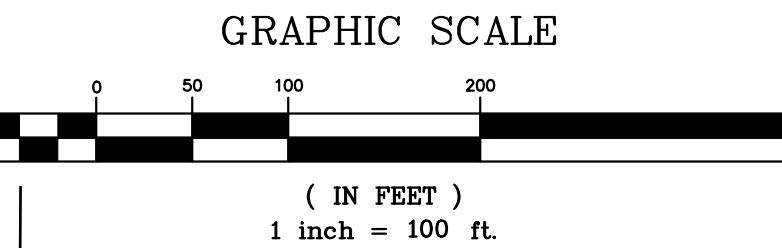


## LEGAL DESCRIPTION

LOT 1 IN FOX VALLEY EAST, REGION 1, UNIT NUMBER 1, BEING A SUBDIVISION IN SECTION 21, TOWNSHIP 38 NORTH, RANGE 10 EAST, DU PAGE COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 12, 1976 AS DOCUMENT NUMBER R76-82140, IN DUPAGE COUNTY, ILLINOIS.

## BOUNDARY AND TOPOGRAPHIC SURVEY



## EASEMENT NOTES

20 GRANT OF EASEMENT, MADE BY AND BETWEEN LASALLE NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED OCTOBER 1, 1973, KNOWN AS TRUST NUMBER 47700, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 1, 1974, KNOWN AS TRUST NUMBER 47700, TO THE CITY OF AURORA, A MUNICIPAL CORPORATION, AN EASEMENT FOR WATER SERVICE PURPOSES TO CONSTRUCT, OPERATE, ETC. RECORDED NOVEMBER 9, 1976 AS DOCUMENT R76-81739 (AFFECTS THE LAND AND OTHER PROPERTY, ITEM IS PLATED HEREON).

21 GRANT OF EASEMENT, MADE BY AND BETWEEN LASALLE NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED OCTOBER 1, 1973, KNOWN AS TRUST NUMBER 47700, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 1, 1974, KNOWN AS TRUST NUMBER 47899, SEARS ROEBUCK AND COMPANY, A NEW YORK CORPORATION MARSHALL FIELD AND COMPANY, A DELAWARE CORPORATION, ADCOR REALTY CORPORATION, A NEW YORK CORPORATION AND J. C. PENNEY PROPERTIES, INC., A DELAWARE CORPORATION, GRANTING, AMONG OTHER THINGS, TO THE CITY OF AURORA, A MUNICIPAL CORPORATION, AN EASEMENT FOR WATER SERVICE PURPOSES TO CONSTRUCT, OPERATE, ETC. RECORDED NOVEMBER 9, 1976 AS DOCUMENT R76-81739 (AFFECTS THE LAND AND OTHER PROPERTY, ITEM IS PLATED HEREON).

22 GRANT OF EASEMENT, MADE BY AND BETWEEN LASALLE NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED OCTOBER 1, 1973, KNOWN AS TRUST NUMBER 47700, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 1, 1974, KNOWN AS TRUST NUMBER 47899, SEARS ROEBUCK AND COMPANY, A NEW YORK CORPORATION MARSHALL FIELD AND COMPANY, A DELAWARE CORPORATION, ADCOR REALTY CORPORATION, A NEW YORK CORPORATION AND J. C. PENNEY PROPERTIES, INC., A DELAWARE CORPORATION, GRANTING, AMONG OTHER THINGS, TO THE COMMONWEALTH EDISON COMPANY, AN ILLINOIS CORPORATION AND THE ILLINOIS BELL TELEPHONE COMPANY CORPORATION, AN EASEMENT FOR PUBLIC UTILITY PURPOSES RECORDED NOVEMBER 9, 1976 AS DOCUMENT R76-81739 (AFFECTS THE LAND AND OTHER PROPERTY, ITEM IS PLATED HEREON).

23 MUTUAL EASEMENT AGREEMENT MADE BY AND BETWEEN LASALLE NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED OCTOBER 1, 1973, KNOWN AS TRUST NUMBER 47700, SEARS ROEBUCK AND COMPANY, A NEW YORK CORPORATION MARSHALL FIELD AND COMPANY, A DELAWARE CORPORATION, ADCOR REALTY CORPORATION, A NEW YORK CORPORATION AND J. C. PENNEY PROPERTIES, INC., A DELAWARE CORPORATION, RELATING TO AMONG OTHER THINGS, PARKING, RECORDED FEBRUARY 5, 1993 AS DOCUMENT 25342. ITEM IS BLANKET IN NATURE AND IS NOT PLATED.

24 TERMS, PROVISIONS AND CONDITIONS OF THE MUTUAL EASEMENT AGREEMENT, MADE BY AND BETWEEN STEAK N SHAKES, INC., AN INDIANA CORPORATION, LASALLE NATIONAL BANK, SUCCESSOR TRUSTEE TO LASALLE NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED NOVEMBER 1, 1974, KNOWN AS TRUST NUMBER 47899, SEARS, ROEBUCK AND COMPANY, A NEW YORK CORPORATION, MARSHALL FIELD & COMPANY, A DELAWARE CORPORATION, ADCOR REALTY CORPORATION, A NEW YORK CORPORATION AND J. C. PENNEY PROPERTIES, INC., A DELAWARE CORPORATION, RELATING TO AMONG OTHER THINGS, PARKING, RECORDED FEBRUARY 25, 1998 AS DOCUMENT NUMBER R76-81739. ITEM IS BLANKET IN NATURE AND IS NOT PLATED.

25 TERMS AND CONDITIONS OF THE EASEMENT AND OPERATING AGREEMENT, FOX VALLEY MALL E, NEW YORK STREET AND JOLET ROAD, AURORA, ILLINOIS RECORDED SEPTEMBER 11, 1975 AS DOCUMENT 48635. AMENDMENT OF EASEMENT AND OPERATING AGREEMENT RECORDED DECEMBER 21, 1976 AS DOCUMENT NUMBER R76-83062. SECOND AMENDMENT OF EASEMENT AND OPERATING AGREEMENT RECORDED DECEMBER 21, 1976 AS DOCUMENT NUMBER R93-025339. THIRD AMENDMENT OF EASEMENT AND OPERATING AGREEMENT RECORDED FEBRUARY 25, 1998 AS DOCUMENT NUMBER R98-034430. ITEM IS BLANKET IN NATURE AND IS NOT PLATED.

26 10 FOOT EASEMENT IN FAVOR OF THE NORTHERN ILLINOIS GAS COMPANY AS CREATED BY THE EASEMENT AGREEMENT DATED JULY 19, 1977 AND RECORDED AUGUST 25, 1977 AS DOCUMENT NUMBER R77-74830. ITEM IS PLATED HEREON.

27 (A) TERMS, PROVISIONS, AND CONDITIONS RELATING TO THE EASEMENTS DESCRIBED AS PARCELS 2, 3 AND 4 CONTAINED IN THE INSTRUMENT CREATING SAID EASEMENTS. (B) RIGHTS OF THE ADJOINING OWNER OR OWNERS TO THE CONCURRENT USE OF SAID EASEMENTS. ITEM IS BLANKET IN NATURE AND IS NOT PLATED.

## LEGEND

- FOUND 7/8" O.D.I.P. UNLESS OTHERWISE NOTED (HELD LOCATION)
- CONCRETE MONUMENT
- CROSS IN CONCRETE
- MANHOLE
- STORM STRUCTURE
- VALVE VAULT
- FIRE HYDRANT
- FLARED END SECTION
- UTILITY POLE
- UTILITY POLE W/LIGHT
- UTILITY POLE W/TSF
- GUY POLE
- OVERHEAD TRAFFIC SIGNAL
- TRAFFIC SIGNAL MANHOLE
- OVERHEAD WIRES
- GAS METER
- ELECTRIC METER
- TRANSFORMER PAD
- TELEPHONE PEDESTAL
- ELECTRIC PEDESTAL
- TELEPHONE MANHOLE
- CABLE TELEVISION PEDESTAL
- ELECTRIC MANHOLE
- VALVE BOX
- B/BOX
- BOLELLD POLE
- LIGHT
- LIGHT POLE
- HAND POLE
- MAILBOX
- GAS MARKER
- ELECTRIC MARKER
- TELEPHONE MARKER

## ABBREVIATIONS

- O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
- TF = TOP OF FOUNDATION
- TEST = TEST SECTION
- VCP = VITRIFIED CLAY PIPE
- DIP = DUCTILE IRON PIPE
- PVC = POLYVINYL CHLORIDE
- RCP = REINFORCED CONCRETE PIPE
- CMP = CORRUGATED METAL PIPE
- (R) = RECORDED BEARING OR DISTANCE
- (M) = METRIC BEARING OR DISTANCE
- (C) = CALCULATED BEARING OR DISTANCE
- (D) = DEAD BEARING OR DISTANCE
- (A) = ARC LENGTH
- R = RADIAL
- CH = CHORD
- CB = CHORD BEARING
- B.S.L. = BURIED SCAFFOLD LINE
- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT
- P.O.C. = POINT OF CONCURRENCE
- P.O.B. = POINT OF BEGINNING
- P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT
- BC = BACK OF CENTER
- BDC = BACK OF DEPRESSED
- FL = FLOW LINE
- C = CENTERLINE
- P = PAVEMENT
- G = GRAVEL
- EW = EDGE OF WALK
- TW = TOP OF WALL
- TP = TOP OF PIPE
- IE = INVERT ELEVATION
- P.L. = PAVEMENT LINE
- DS = DOWNTOWN SPOT
- S.F. = SQUARE FEET
- SL = SHORE LINE
- TSF = TRANSFORMER
- B = PAVERS

## LINE LEGEND

- LIMITS OF LAND PER LEGAL DESCRIPTION
- ADJACENT LAND
- PARCEL LINE
- SECTION LINE
- CENTERLINE
- BUILDING SETBACK LINE
- SECTION LINE
- EXISTING CONTOUR

## SNOW NOTE:

THE SURVEYOR LOCATED THE VISIBLE IMPROVEMENTS ON THIS SITE. HOWEVER, DUE TO HEAVY SNOW COVERAGE AT THE TIME OF SURVEY, THE SURFACE IMPROVEMENTS MAY NOT HAVE BEEN VISIBLE. THEREFORE, THE IMPROVEMENTS SHOWN HEREON MAY OR MAY NOT COMPRIZE ALL SUCH IMPROVEMENTS FOR THIS SITE. ADDITIONALLY, SOME HIGH POINTS OR LOW POINTS MAY NOT HAVE BEEN VISIBLE DUE TO DRIFTED SNOW.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. \_\_\_\_\_  
LICENSE EXPIRES 11/30/18

SCALE: 1" = 100'

PROJ. NO.: 18.0037

K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

AREA SUMMARY  
(TO HEAVY LINES)  
1,061,591 SQUARE FEET  
OR  
24.371 ACRES  
(BASED ON MEASURED VALUES)

BENCHMARKS  
REFERENCE BENCHMARK:

CITY OF AURORA CONTROL MONUMENT #32  
MONUMENT DISK LOCATED IN MEDIAN OF ROUTE 34 NEAR COMMONS DRIVE  
DATUM: NAD 83  
ELEVATION = 712.54

SITE BENCHMARKS:

SITE BENCHMARK #1  
NORTHEAST BOLT WITH TAG ON FIRE HYDRANT NEAR NORTHWEST CORNER OF  
MCDONALD'S SITE ON RING ROAD  
ELEVATION = 699.50

SITE BENCHMARK #2  
NORTHEAST BOLT WITH TAG ON FIRE HYDRANT NEAR DENNY'S SITE ON RING ROAD  
ELEVATION = 699.06

SITE BENCHMARK #3  
SOUTHEAST BOLT WITH TAG ON FIRE HYDRANT NEAR BELL TRANSMISSION SITE ON  
RING ROAD  
ELEVATION = 691.79

SITE BENCHMARK #4  
SOUTHEAST BOLT WITH TAG ON FIRE HYDRANT NEAR NORTHEAST CORNER OF  
PRESTON SITE ON RING ROAD  
ELEVATION = 693.20

CERTIFICATION

STATE OF ILLINOIS  
COUNTY OF KANE } SS

THE ABOVE DESCRIBED PROPERTY WAS SURVEYED UNDER THE DIRECTION  
OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR ON  
ALL DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM  
STANDARDS FOR A BOUNDARY SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM  
STANDARDS FOR TOPOGRAPHIC SURVEYS.

COMPASS SURVEYING LTD  
PROFESSIONAL DESIGN FIRM  
LAND SURVEYOR CORPORATION NO. 184.002778  
LICENSE EXPIRES 4/30/19

ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING  
2631 GINGERWOOD PARKWAY, STE. 100  
AURORA, IL 60005-6300 EMAIL: ADMIN@CLSSURVEYING.COM  
PHONE: (630) 830-1000 FAX: (630) 830-1000

2/28/2018 2:59:27 PM, Dwg To PDF

PROJ. NO.: 18.0037

K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

PROJ. NO.: 18.0037

K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

PROJ. NO.: 18.0037

K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

PROJ. NO.: 18.0037

K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

PROJ. NO.: 18.0037

K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

PROJ. NO.: 18.0037

K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

PROJ. NO.: 18.0037

K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

PROJ. NO.: 18.0037

K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

PROJ. NO.: 18.0037

K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

PROJ. NO.: 18.0037

K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

PROJ. NO.: 18.0037

K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

PROJ. NO.: 18.0037

K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

PROJ. NO.: 18.0037

K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

PROJ. NO.: 18.0037

K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

PROJ. NO.: 18.0037

K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

PROJ. NO.: 18.0037

K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

PROJ. NO.: 18.0037

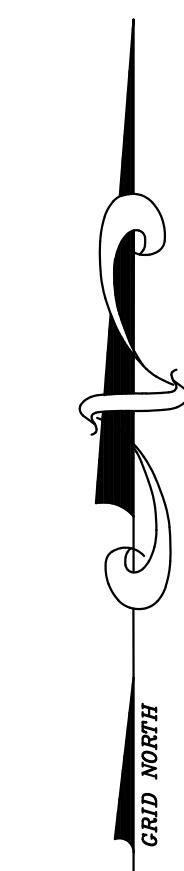
K:\PSDATA\2018 PROJECTS\18.0037\18.0037.BNDY.TOPO.DWG

2/28/2018 2:59:27 PM, Dwg To PDF

# BOUNDARY AND TOPOGRAPHIC SURVEY

GRAPHIC SCALE

30 0 15 30 60 120  
(IN FEET)  
1 inch = 30 ft.



SEE SHEET 3

MULTI-LEVEL SHOPPING MALL

SEE SHEET 4

K:\Pdata\2018 Projects\18.0037\18.0037 BNDY TOPO.dwg

PROJ. NO.: 18.0037

SCALE: 1" = 30'

**COMPASS SURVEYING LTD**  
ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING  
2631 GINGER WOODS PARKWAY, STE. 100  
AURORA, IL 60502  
PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

PROJECT

CLIENT

Fox Valley Mall  
Aurora, IL

**Kimley-Horn**

© 2017 KIMLEY-HORN AND ASSOCIATES, INC.  
1001 WARRENVILLE ROAD, SUITE 350,  
PHONE: 630-222-5550  
WWW.KIMLEY-HORN.COM

DATE: 2-14-18

PC TK/CS

DRAWN BY MRA

CHECKED BY SK

BOOK 530

PG 22-27

REVISIONS

DATE

BY

NO.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM  
VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND  
RECORDS. THE SURVEYOR AND THE CONTRACTOR HEREBY  
GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMprise  
ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR  
ABANDONED. THE SURVEYOR AND THE CONTRACTOR AGREE THAT  
THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION  
INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS  
POSSIBLE. THE SURVEYOR AND THE CONTRACTOR AGREE THAT  
HE HAS NOT PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT  
PHYSICALLY LOCATED THE UNDERGROUND LINES.



Know what's below.  
Call before you dig.

# BOUNDARY AND TOPOGRAPHIC SURVEY



# BOUNDARY AND TOPOGRAPHIC SURVEY

## GRAPHIC SCALE

( IN FEET )

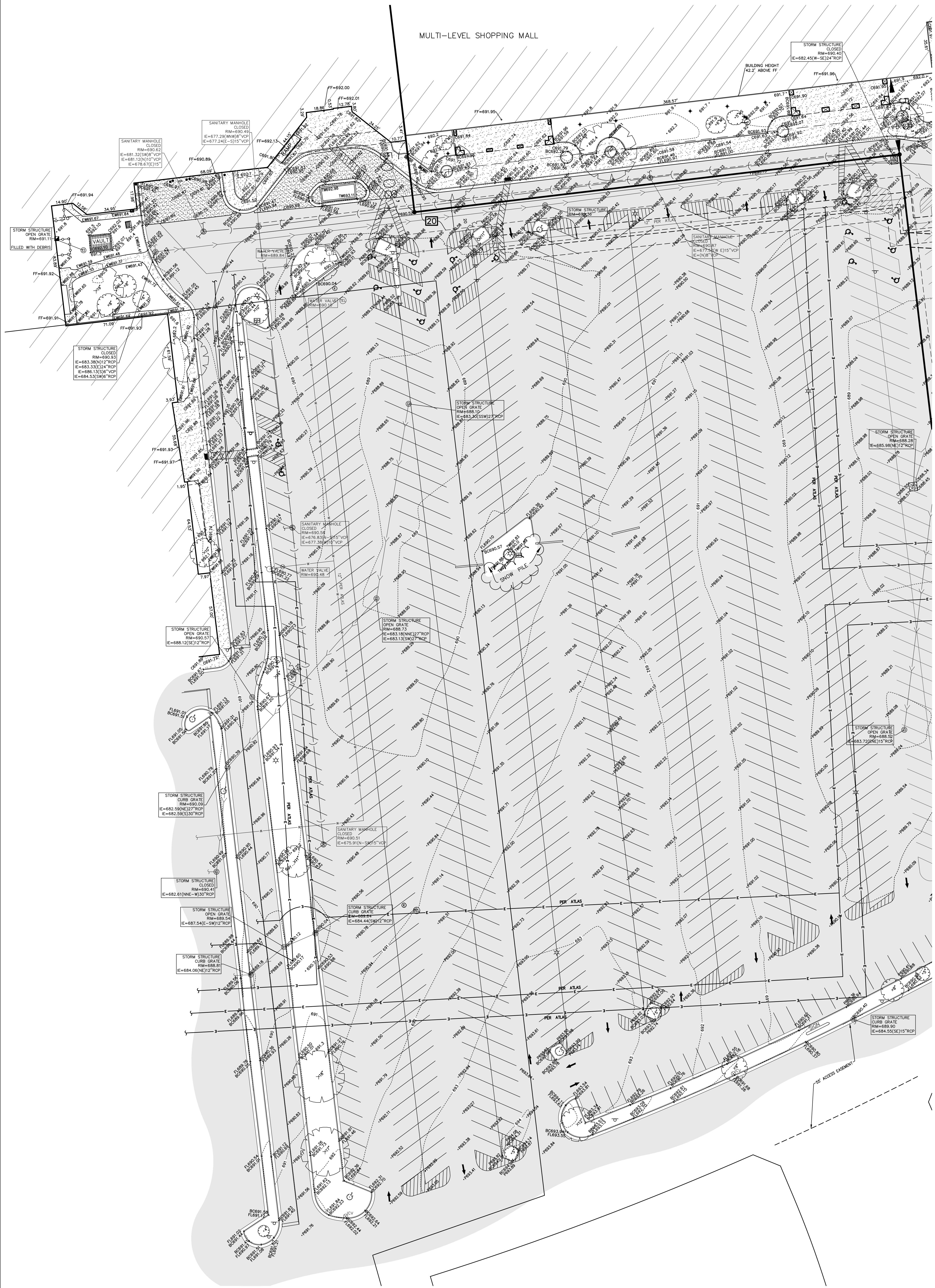
1 inch = 30 ft.

SEE SHEET 2

## MULTI-LEVEL SHOPPING MALL

GRID NORTH

SEE SHEET 5



Know what's **below**.  
**Call** before you dig.

# BOUNDARY AND TOPOGRAPHIC SURVEY

## GRAPHIC SCALE

( IN FEET )

1 inch = 30 mm

SEE SHEET 3

**MULTI-LEVEL SHOPPING MALL**

**STORM STRUCTURE**  
CLOSING RIM  
RIM=691.24  
IE=684.04(E)18"RCP  
IE=684.04(E)18"RCP

**SANITARY MANHOLE**  
CLOSED  
RIM=691.38  
IE=680.98(N-E)8"VCP

**WATER VALVE**  
WATER VALVE  
RIM=691.21  
IE=680.98(N-E)12"RCP

**STORM STRUCTURE**  
CLOSING RIM  
RIM=689.28  
IE=682.48(S)36"RCP  
IE=682.53(N)27"RCP  
IE=682.88(E)30"RCP

**STORM STRUCTURE**  
OPEN GRATE  
RIM=689.71  
IE=684.74(S)15"RCP

**STORM STRUCTURE**  
CLOSING RIM  
RIM=689.71  
IE=683.71(W)30"RCP  
IE=684.21(N)18"RCP

**BUILDING SITE 2**  
PER DOCUMENT  
R76-81729

**STORM STRUCTURE**  
CURB GRATE  
RIM=690.14  
IE=686.49(ESE)6"

**SANITARY MANHOLE**  
CLOSED  
RIM=691.12  
IE=681.72(W-E)10"VCP

**SEE SHEET 4**

**CRD NORTH**

**SITE BENCHMARK #3**

**SITE BENCHMARK #4**

PROJ. NO.: 18.0037

**COMPASS**  
SURVEYING LTD

LTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING  
2631 GINGER WOODS PARKWAY, STE. 100  
AURORA, IL 60502  
PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: [ADMIN@LTSURVEYING.COM](mailto:ADMIN@LTSURVEYING.COM)

---

PROJECT

## Fox Valley Mall Aurora, IL

## CLIENT

# Kimley »» Horn

DATE: 2-14-18 PC TK /CS DRAWN BY MRA CHECKED BY SK BOOK 530 PG 22-27

**UTILITY STATEMENT**

UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMprise ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR DEFUNCT. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT LOCATED THE UNDERGROUND LINES.

**811**  
Know what's below.  
Call before you dig.