

Property Research Sheet

Location ID#(s): 61574-61579

As of: 12/21/2016

Researched By: Steve Broadwell

Address: Southeast Corner of Hafenrichter Road and Farnsworth Avenue

Current Zoning: R-5(S) Multiple Family Dwelling

Parcel Number(s): 03-01-252-018

Comp Plan Designation: Medium Density Residential

Subdivision: Lot 317 of Deerbrook Unit Five

Size: 4.53 Acres / 197,327 Sq. Ft.

School District: SD 308 -Oswego School District

Park District: OPD - Oswegoland Park District

Ward: 9

Overall Development Name: Deerbrook Place

Current Land Use

Current Land Use: Vacant Land/Open Space

AZO Land Use Category:

Zoning Provisions

Setbacks and Other Bulk Standards:

Requirements are pursuant to the Aurora Zoning Ordinance Section(s) 5 and Section 7.10.

Setbacks are typically as follows:

Front Yard Setback: Front and Rear Loaded: 25 ft

Side Yard Setback: See building separations

Exterior Side Yard Setback: Front and Rear

Loaded: 20 ft **Exterior Side Yard Reverse**

Corner Setback: Front and Rear Loaded: 20 ft

Rear Yard Setback: See building separations

Exterior Rear Yard Setback: Front and Rear

Loaded: 40 ft

Setback Exceptions:

Interior Drive Yard Setback:

Other bulk standards are typically as follows:

Building Separations: Front Loaded:

Front to Front – 60 ft parking

Side to Rear - 30 ft green;

Front to Rear - 80 ft green;

Rear to Rear - 50 ft green - there shall be a minimum separation of 50 ft. However, if the structures are arranged in any way other than a parallel arrangement, a separation of 40 ft shall be allowed at the closest point between the structures as long as the average separation between the structures is 50 ft.

Rear Loaded:

Front to Front – 50 ft - there shall be a minimum separation of 50 ft. However, if the structures are arranged in any way other than a parallel

arrangement, a separation of 40 ft shall be allowed at the closest point between the structures as long as the average separation between the structures is 50 ft.

Side to Side – 20 ft green

Side to Rear - 60 ft green

Rear to Rear - 60 ft parking

Rear to Front - 80 ft combined

Minimum Lot Width and Area: None

Maximum Lot Coverage: 40%

Maximum Structure Height: 35 ft

Floor Area Ratio: 1.0

Minimum Primary Structure Size: None

Minimum Dwelling Unit Size: Minimum of 900 sq ft (one-story) and 1,000 sq ft (two-story)

Maximum Density: 8.5 du/ac

Parking and Loading:

The Parking and Loading requirements are pursuant to the Aurora Zoning Ordinance Table Two: Schedule of Off-street Parking Requirements and Section(s) 5 and Section 7.10.

Permitted Uses:

Permitted Uses are pursuant to the Aurora Zoning Ordinance Table One: Use Categories and Section(s) 4.2 and Section 7.10 Permitted Exceptions:

Special Uses:

Special Uses are pursuant to the Aurora Zoning Ordinance Table One: Use Categories and Section(s) 4.3 and Section 7.10.

Limited But Permitted Uses:

Limited but Permitted Uses are pursuant to the Aurora Zoning Ordinance Table One: Use Categories and Section(s) 4.3 and Section 7.10.

Miscellaneous Notes on History

None

Legislative History

The known legislative history for this Property is as follows:

O1998-111 approved on 11/24/1998: PROVIDING FOR THE EXECUTION OF AN ANNEXATION AGREEMENT PROVIDING FOR R-1(S) AND R-5(S) ZONING WITH THE OWNERS OF RECORD OF TERRITORY WHICH MAY BE ANNEXED TO THE CITY OF AURORA AND WHICH IS LOCATED AT THE SOUTHEAST CORNER OF HAFENRICHTER AND FARNSWORTH EXT

O2000-018 approved on 2/22/2000: ANNEXING TERRITORY LOCATED NEAR THE SOUTHEAST CORNER OF FARNSWORTH AVENUE AND HAFENRICHTER ROAD BEING VACANT LAND LOCATED IN OSWEGO TOWNSHIP

R2001-353 approved on 7/10/2001: RESOLUTION ACCEPTING THE DEDICATION OF AN EASEMENT FOR UTILITIES IN DEERBROOK ESTATES.

PDFNL2002-004 approved on 1/31/2002: RESOLUTION APPROVING THE FINAL PLAT AND PLAN FOR UNIT 5 OF DEERBROOK SUBDIVISION BEING VACANT LAND LOCATED AT THE SOUTHEAST CORNER OF HAFENRICHTER ROAD AND FARNSWORTH AVENUE IN THE CITY OF AURORA, IL.

O2002-111 approved on 10/22/2002: AN ORDINANCE APPROVING REVISIONS TO AURORA'S COMPREHENSIVE PLAN FOR PROPERTY LOCATED GENERALLY SOUTH OF 87TH STREET; WEST OF THE EJ&E RAILROAD; EAST OF ILLINOIS ROUTE 30; AND NORTH OF 111TH STREET.

PDFNL2003-047 approved on 10/2/2003: RESOLUTION APPROVING A REVISION TO THE FINAL PLAT AND PLAN FOR UNIT 5 OF THE DEERBROOK SUBDIVISION BEING VACANT LAND LOCATED AT THE SOUTHEAST CORNER OF FARNSWORTH AVENUE AND HAFENRICHTER ROAD IN THE CITY OF AURORA, ILLINOIS.

Location Maps Attached:

Aerial Overview

Location Map

Zoning Map

Comprehensive Plan Map

Property Research Sheet

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Researched By: Steve Broadwell

Address: Southeast Corner of Hafenrichter Road and Farnsworth Avenue

Current Zoning: R-5(S) Multiple Family Dwelling

Parcel Number(s): 03-01-251-006

Comp Plan Designation: Medium Density Residential

Subdivision: Lot 318 of Deerbrook Place Unit Five

Size: 1.247 Acres / 54,319 Sq. Ft.

School District: SD 308 -Oswego School District

Park District: OPD - Oswegoland Park District

Ward: 9

Overall Development Name: Deerbrook Place

Current Land Use

Current Land Use: Vacant Land/Open Space

AZO Land Use Category:

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Rear to Rear - 60 ft parking

Rear to Front - 80 ft combined

Minimum Lot Width and Area: None

Maximum Lot Coverage: 40%

Maximum Structure Height: 35 ft

Floor Area Ratio: 1.0

Minimum Primary Structure Size: None

Minimum Dwelling Unit Size: Minimum of 900 sq ft (one-story) and 1,000 sq ft (two-story)

Maximum Density: 8.5 du/ac

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Miscellaneous Notes on History

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Legislative History

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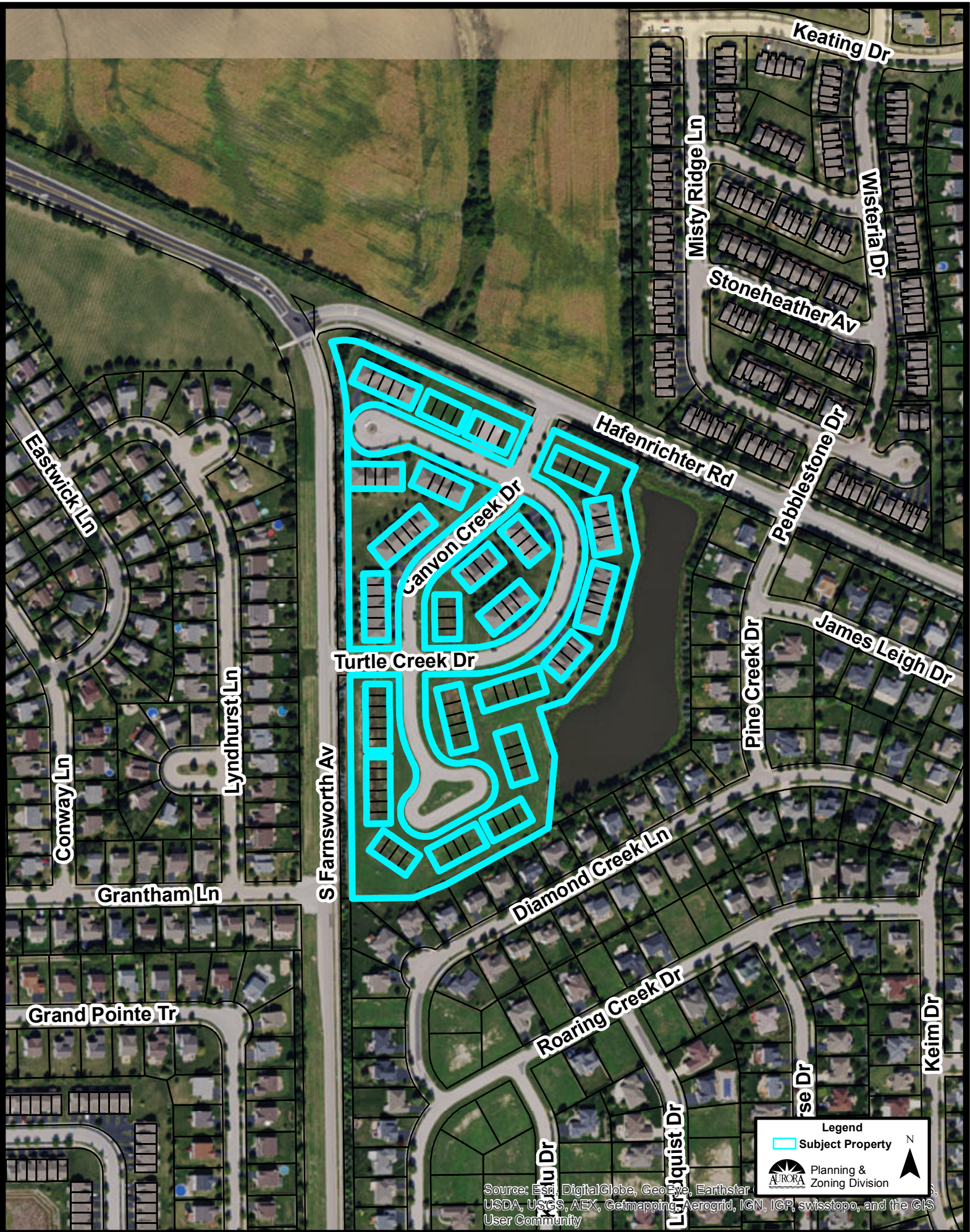
Location Maps Attached:

Aerial Overview

Location Map

Zoning Map


Comprehensive Plan Map



Legend

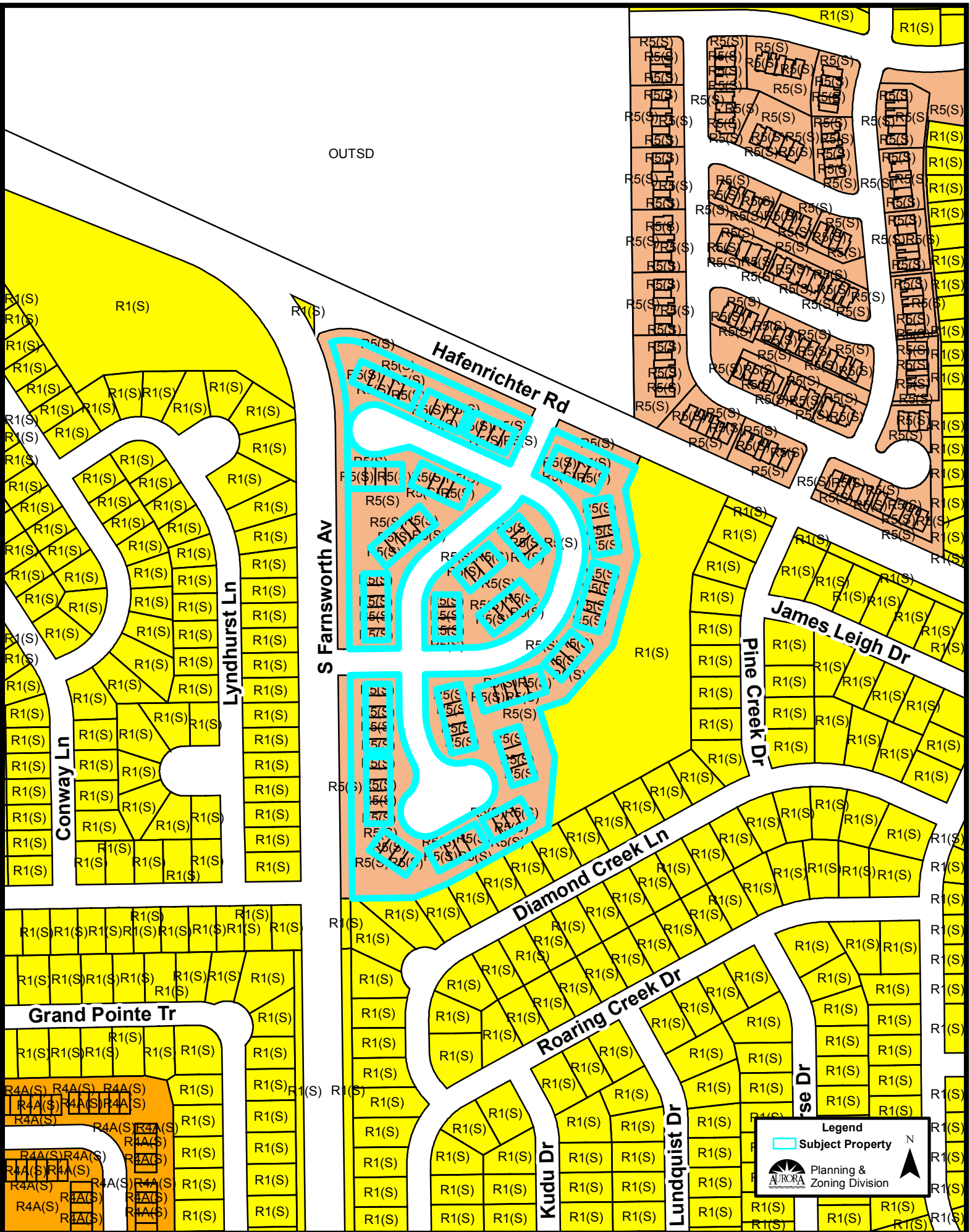
- Subject Property

Planning & Zoning Division

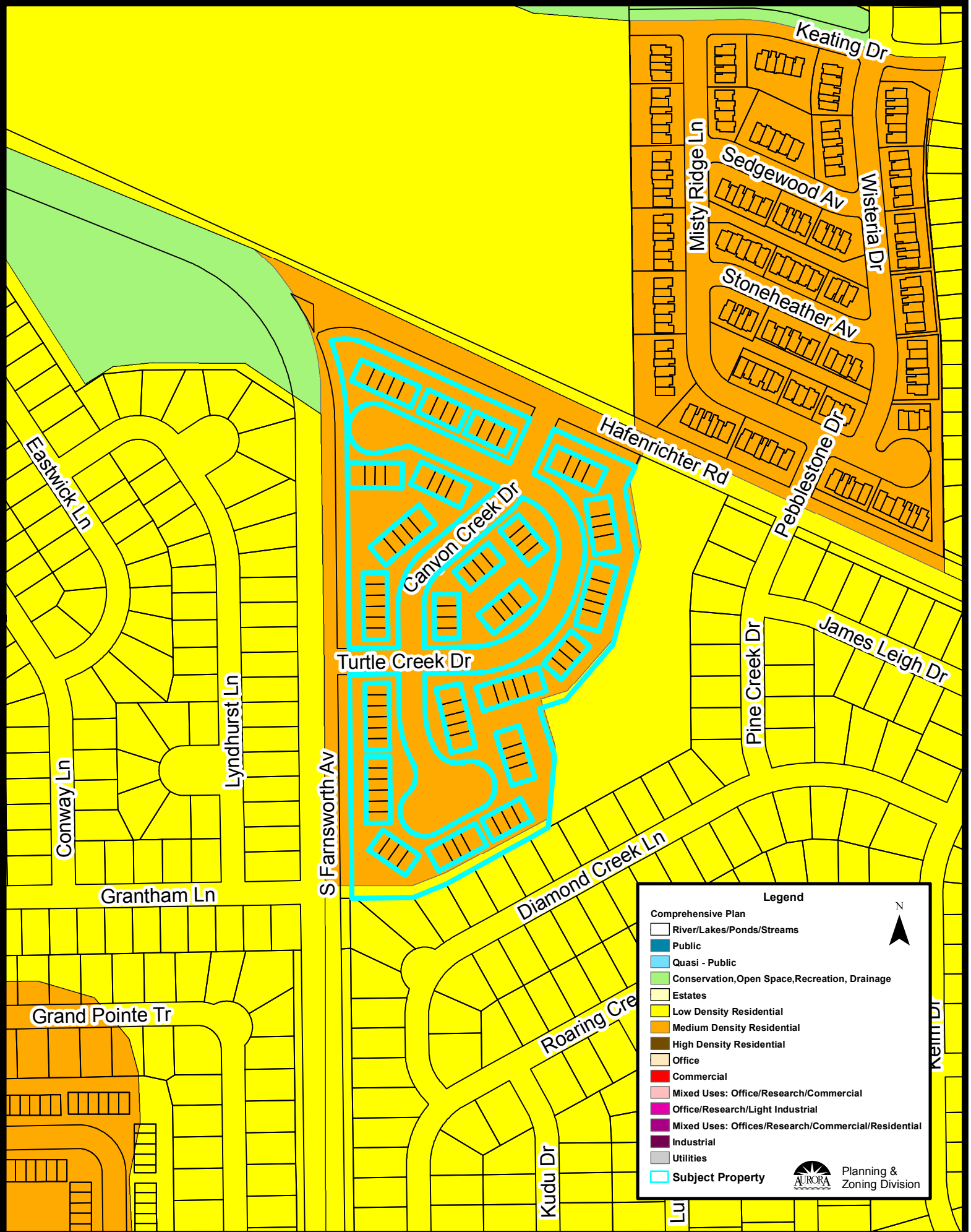


Source: Esri, DigitalGlobe, GeoEye, Earthstar, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

Zoning Map (1:5,000):



Comprehensive Plan (1:5,000):



Legend

Comprehensive Plan

- River/Lakes/Ponds/Streams
- Public
- Quasi - Public
- Conservation, Open Space, Recreation, Drainage
- Estates
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Office
- Commercial
- Mixed Uses: Office/Research/Commercial
- Office/Research/Light Industrial
- Mixed Uses: Offices/Research/Commercial/Residential
- Industrial
- Utilities
- Subject Property

N
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Location Map (1:5,000):

