

# TWO DWELLINGS BUILDING DECONVERSION INTO A SINGLE FAMILY BUILDING INTERIOR AND EXTERIOR REPAIR TO EXISTING TWO FLOOR FRAME BUILDING 260 S LaSALLE ST. AURORA, IL. 60505

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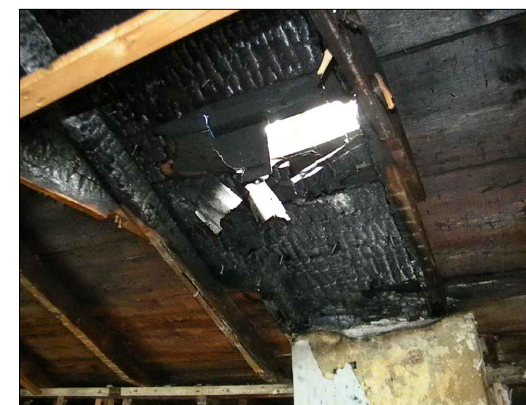
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REAR VIEW



NORTHWEST VIEW



DAMAGED ROOF LIGHTING IMPACT POINT



DAMAGED ROOF

### CONTRACTOR LIABILITY INSURANCE:

PROVIDE LIABILITY INSURANCE (HOLD HARMLESS AGREEMENT): THE CONTRACTOR SHALL MAINTAIN CONTRACTUAL LIABILITY INSURANCE TO COVER LIABILITY ASSUMED UNDER THE FOLLOWING AGREEMENT: THE CONTRACTOR AND ANY SUBCONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS OWNER AND ARCHITECT/ENGINEER (A/E), AND THEIR PARTNERS, AGENTS AND EMPLOYEES AGAINST ANY LOSS, DAMAGE OR EXPENSE FOR WHICH THE OWNER AND A/E MAY BECOME LIABLE ON AN ACCOUNT OF BODILY INJURY INCLUDING DEATH, OR PROPERTY DAMAGE SUSTAINED BY ANYONE WHICH MAY ARISE OUT OF OR RESULT FROM THE OPERATIONS OF THE CONTRACTOR OR OF THOSE EMPLOYED BY HIS AGENTS OR SERVANTS INCLUDING HIS SUBCONTRACTORS, IN THE EXECUTION OF ANY WORK INCLUDED UNDER THIS CONTRACT, WHETHER OR NOT IT SHALL BE CLAIMED THAT THE INJURY OR DAMAGE WAS CAUSED THROUGH A NEGLIGENT ACT OR OMISSION OF THE OWNER AND A/E, THEIR AGENTS, SERVANTS OR EMPLOYEES, OR BY ANY OTHER PERSONS WHOMSOEVER: AND THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, APPEAR, DEFEND, PAY ALL COSTS AND EXPENSES, INCLUDING ATTORNEY'S FEES AND ALL JUDGEMENTS IN CONNECTION WITH LIABILITY ASSUMED HERE UNDER. THE FOLLOWING INDEMNIFICATION SHALL ALSO INCLUDE ALL LIABILITY OF THE OWNER, A/E AND OTHER MENTIONED PERSONS ARISING UNDER THE SO CALLED "STRUCTURAL WORK ACT" (CH. 48 SEC. 60-90 ILLINOIS REVISED STATS.) EACH AND EVERY CONTRACTOR AND SUBCONTRACTOR WHEN ACCEPTING CONTRACTUAL OBLIGATIONS FOR THIS PROJECT SHALL UNDERSTAND THAT A PREREQUISITE TO ANY OPERATION AT PROJECT WHETHER FILED WITH OWNER OR NOT, THAT THEY HAVE IMPLIED AGREEMENT TO THE ABOVE ITEM, (HOLD HARMLESS AGREEMENT AND ITS SPECIFIC WORDING).

### LIMIT OF WARRANTY OF ARCHITECTS WORK PRODUCT

THE ARCHITECT AND HIS CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE WORK BEYOND A REASONABLE DILIGENCE. IF ANY ERRORS, DISCREPANCIES OR OMISSIONS ARE FOUND TO EXIST IN THE WORK PRODUCT, THE ARCHITECT SHALL BE PROMPTLY NOTIFIED SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE THE STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ARCHITECT OF SUCH CONDITIONS SHALL ABSOLVE THE ARCHITECT FROM ANY RESPONSIBILITY OF SUCH FAILURE. ACTION TAKEN WITHOUT KNOWLEDGE AND CONSENT OF THE ARCHITECT OR IN CONTRADICTION TO THE WORK PRODUCT OR THE RECOMMENDATIONS OF THE ARCHITECT SHALL BECOME THE RESPONSIBILITY OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

### LIMIT OF WARRANTY OF ARCHITECTS WORK PRODUCT

THE INFORMATION SHOWN ON THESE DRAWINGS IS BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME TO THE ARCHITECT. THIS INFORMATION CANNOT BE GUARANTEED TO SHOW EVERY EXISTING CONDITIONS. THE CONTRACTORS SHALL READ AND STUDY THE TOTAL SET OF PLANS FOR ALL WORK. CONTRACTOR MUST VISIT THE SITE AND DETERMINE ALL FIELD CONDITIONS. ALL DIMENSIONS SHALL BE FIELD VERIFIED AND ALL DISCREPANCIES SHALL BE REPORTED TO ARCHITECT PRIOR TO BID SUBMISSIONS. THE INFORMATION SHOWN IN THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PROVIDE SHOP DRAWINGS COORDINATED WITH ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL DESIGN FOR REVIEW AND APPROVAL BY THE ARCHITECT OF RECORD.

### ENERGY CODE COMPLIANCE

I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP.) I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE ATTACHED PLANS FOR: 260 S. LaSALLE ST., AURORA, IL. 60505 DOES NEED TO COMPLY WITH THE REQUIREMENTS, ENERGY CONSERVATION, OF THE MUNICIPAL CODE OF AURORA.  
REASON FOR COMPLIANCE: THE PROJECT CONSISTS OF INTERIOR REMODELING.

*[Signature]*

11-20-2018  
DATE

RADULE TEPAVCEVIC AIA  
EFFECTIVE DATE: 11-20-2018  
EXPIRATION DATE: NOVEMBER/30/2018



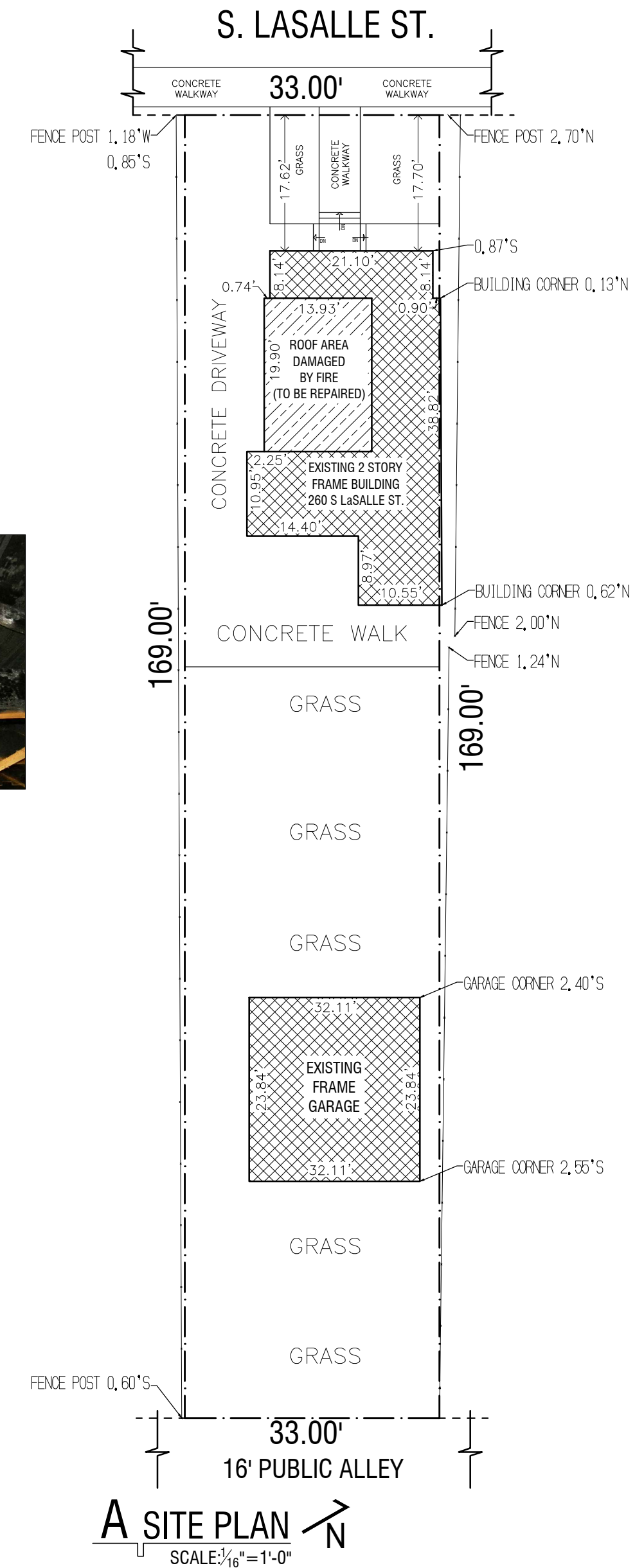
### CERTIFICATION STATEMENT

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE CURRENT EDITION OF THE TOWN OF AURORA BUILDING CODE.

*[Signature]*

11-20-2018  
DATE

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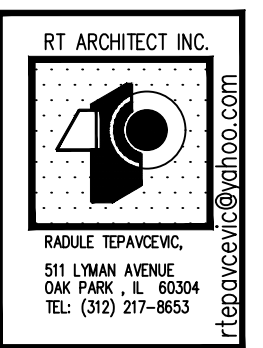


**A SITE PLAN**  
SCALE: 3/16" = 1'-0"

NO.	DATE	DESCRIPTION
1	11-15-18	Owner's Review
2	11-20-18	Permit
3		

DATE: 11/21/18  
SCALE: As Noted

INTERIOR & EXTERIOR REPAIR  
SINGLE FAMILY DWELLING  
260 S LaSalle St. Aurora IL. 60505



PROJECT ARCHITECT:  
RT  
DRAFTSPERSON:  
A.G.  
APPROVED:  
RT  
PREPARED FOR:  
Owner  
Oscar Mordex  
LOCATION:  
260 S LaSalle St.  
Aurora, IL. 60505  
JOB NUMBER:  
11-20-18

SHEET No.  
**G-01**  
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