



City of Aurora

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Cover Memorandum

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TO: Historic Preservation Commission

FROM: Jill N. Morgan, Planner

DATE: January 11, 2021

SUBJECT:

An Ordinance Approving a Text Amendment to the Historic Districts and Landmarks Guidelines to modify certain portions being B.2.6 Existing Garages, Carriage Houses and Outbuildings; B. 2.7 Gutters and Downspouts; B.2.14 Satellite Dishes, Antennas, and Solar Panels; B.2.18 Windows; B.2.19 Wood Siding; B.3.3 New Garages and Outbuildings; B.4.1 Fences and Walls; and B.4.5 Parking (City of Aurora - 21-0024/ KDWK-21.005-TXT/HP- JM)

PURPOSE:

Attached is an ordinance amending certain sections of the Historic Districts and Landmarks Guidelines. The proposed amendments are meant to clarify areas of the Guidelines where there is ambiguity or interpretation needed of the official document and to allow for the introduction of new materials where appropriate.

BACKGROUND:

The Aurora Preservation Commission was established by the City Council in 1979 to preserve properties that reflect Aurora's historical, cultural, artistic, social, and ethnic heritage. In October of 1982, the City Council approved the first Historic Districts and Landmarks Guidelines to provide rehabilitation and restoration guidelines for properties within the then locally designated historic district(s) (R82-1043). Those guidelines have been updated from time to time with the latest revision being approved by City Council in 2012 (R12-236).

The proposed amendments are meant to clarify areas of the Guidelines where there is ambiguity or interpretation needed of this official document. The clarifications are based on the review of previous Historic Certificate of Appropriateness to officially incorporate what had been standard procedures in approvals and to codify the variations that the Preservation Commission routinely gave. In addition, the amendments update the Guidelines to follow standard practices in the preservation field by allowing for the inclusion of materials that have been introduced or have greatly improved since the drafting of the original Guidelines in 2006 to allow homeowners additional choices. Since

2006, the building industry has seen the introduction of new materials or technology that better replicate historic fabric. When the historic fabric is not present or too severely deteriorated, the Preservation Commission and staff felt the introduction of new materials would not negatively impact the historic resources as there are new materials that can resemble the original fabric. The revisions also allow for some additional flexibility in areas that would not have a negative impact to the historic resource and will still retain the overall intent of the preservation ordinance.

DISCUSSION:

The amendments include the following:

Section B.2.6 Existing Garages, Carriage Houses and Outbuildings: This text amendment would clarify when replacement doors of substitute material are permitted by staff. The policy over the years has been to allow substitute materials when replacing garage doors as long as they incorporate architectural features found on historic doors, such as raised panels and glass windows.

B. 2.7 Gutters and Downspouts: The use of the word "should" signifies that the Commission will be more flexible on these items. The "Gutters and Downspouts" section states that gutters and downspouts of early hang-on type should be half-round rather than "K" or ogee. This text amendment provides clarification on when half-round gutters shall be required.

B.2.14 Satellite Dishes, Antennas, and Solar Panels: This text amendment allows some additional flexibility by removing the definite shall not be visible statement currently in the guidelines and softens it to allow them when they are minimally visible and then expands that with further clarification taken from the National Park Service guidelines.

B.2.18 Windows: The text amendment would allow alternative material when the original wood window is not present or is beyond repair if the detailing, dimensions, proportions, type, grill pattern, muntin profiles, and styling are consistent with that of other historic windows. In recent years, many historic preservation commissions have begun allowing alternative material for replacement windows. The allowance of alternative materials is due in part to the recognition that modern wood windows may not have the longevity of historic wood windows and that alternative material can match the details of the historic windows.

B.2.19 Wood Siding: The text amendment outlines when cement board siding would be permitted. The Commission and staff found that standard practice for many preservation commissions in the area and the country to allow cement board siding in place of wood clapboard as it has been found to simulate wood siding.

B.3.3 New Garages and Outbuildings: Just like with existing garages, the policy over the years has been to allow substitute materials on new garages as long as they incorporate architectural features found on historic doors.

B.4.1 Fences and Walls: The amendment allows up to a 72 inch fence in an interior side

yard only if the portion of said fence over 60 inches is more than 50% open. The amendment is to differentiate between front yards and side yards, to codify what was often being varied by the Preservation Commission, and to balance privacy concerns with the visibility of the historical structure(s).

B.4.5 Parking: This amendment would clarify that asphalt is permitted for repaving driveways. After review staff found that it had been standard practice to approve asphalt and the Commission believed that asphalt does not detract from the houses themselves and that concrete is often cost prohibited.

POLICIES AND GUIDELINES:

The Staff's Evaluation and Recommendation are based on the following section(s) of the City of Aurora Historic Districts and Landmarks Guidelines:

B.2.6 Existing Garages, Carriage Houses and Outbuildings

B. 2.7 Gutters and Downspouts

B.2.14 Satellite Dishes, Antennas, and Solar Panels

B.2.18 Windows

B.2.19 Wood Siding

B.3.3 New Garages and Outbuildings

B.4.1 Fences and Walls

B.4.5 Parking

RECOMMENDATIONS:

Staff would recommend APPROVAL of An Ordinance Approving a Text Amendment to the Historic Districts and Landmarks Guidelines to modify certain portions being B.2.6 Existing Garages, Carriage Houses and Outbuildings; B. 2.7 Gutters and Downspouts; B.2.14 Satellite Dishes, Antennas, and Solar Panels; B.2.18 Windows; B.2.19 Wood Siding; B.3.3 New Garages and Outbuildings; B.4.1 Fences and Walls; and B.4.5 Parking.

ATTACHMENTS:

Exhibit "A" Text Amendment to Historic Districts and Landmarks Design Guidelines - REDLINE

cc: Edward T. Sieben, Zoning & Planning Director
John P. Curley, Chief Development Services Officer

CITY OF AURORA, ILLINOIS

ORDINANCE NO. _____
DATE OF PASSAGE _____

An Ordinance Approving a Text Amendment to the Historic Districts and Landmarks Guidelines to modify certain portions being B.2.6 Existing Garages, Carriage Houses and Outbuildings; B. 2.7 Gutters and Downspouts; B.2.14 Satellite Dishes, Antennas, and Solar Panels; B.2.18 Windows; B.2.19 Wood Siding; B.3.3 New Garages and Outbuildings; B.4.1 Fences and Walls; and B.4.5 Parking

WHEREAS, the City of Aurora has a population of more than 25,000 persons and is, therefore, a home rule unit under subsection (a) of Section 6 of Article VII of the Illinois Constitution of 1970; and

WHEREAS, subject to said Section, a home rule unit may exercise any power and perform any function pertaining to its government and affairs for the protection of the public health, safety, morals, and welfare; and

WHEREAS, the Aurora City Council approved the Aurora Preservation Ordinance in 1979 as Section 37 of the Aurora Code of Ordinances; and

WHEREAS, in accordance with Section 37-3 of the Aurora Preservation Ordinance, design guidelines may be approved and modified by the Aurora Preservation Commission with the approval of the Aurora City Council;

WHEREAS, said the Historic Districts and Landmarks Guidelines were approved by the Aurora City Council on April 10, 2001 and revisions to said guidelines were approved by the Aurora City Council on March 28, 2006 and September 11, 2012;

WHEREAS, the City Council of the City of Aurora has determined that it is necessary and desirable to amend the Historic Districts and Landmarks Design Guidelines in order to update and improve certain Sections of said Guidelines to better carry out the purpose and intent of the Preservation Ordinance; and

WHEREAS, on January 14, 2021 the Aurora Preservation Commission held a meeting on the amendments to said Guidelines and recommended approval of the amendment attached hereto and incorporated herein and hereinafter referred to as Exhibit "A"; and

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Aurora, Illinois, as follows:

Section One: That the City Council of the City of Aurora, Illinois finds as fact all of the preamble recitals of this Ordinance.

Section Two: That this Ordinance shall be in full force and effect, and shall be controlling, upon its passage and approval.

Section Three: That all Ordinances or part of Ordinances in conflict herewith are hereby repealed insofar as any conflict exists.

Section Four: That any section, phrase or paragraph of this Ordinance that is construed to be invalid, void or unconstitutional shall not affect the remaining sections, phrases or paragraphs of this Ordinance which shall remain in full force and effect.

Section Five: That the amendments to the Historic Districts and Landmarks Design Guidelines are hereby adopted as set forth in said Exhibit "A".

B.2.6 Existing Garages, Carriage Houses and Outbuildings

Some historic properties contain outbuildings including servant's quarters, sheds, carriage houses, and automobile garages. These were often built with construction techniques and materials to match the primary dwelling. Although some are not original, many have architectural significance. These buildings should be preserved and maintained.

NOTE: For new garages see New Construction Guidelines

A. Garages, carriage houses or outbuildings that contribute to a property's historic character, ~~or are original to a property~~ shall be preserved and maintained. Original features should be repaired to match the original.

B. Garages, carriage houses or outbuildings original to a property should not be moved or relocated to another part of the lot.

C. Original doors on buildings that contribute to the property's historic character should be maintained, but may be retrofitted with modern hardware and custom garage door openers.

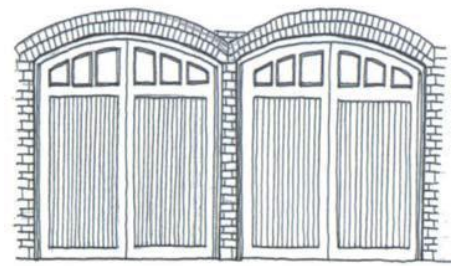
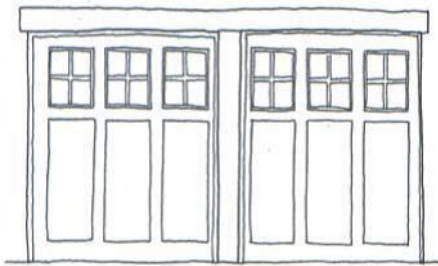
D. Doors on buildings that do not contribute to the property's historic character or doors that are deteriorated beyond repair may be replaced with new doors. These should match original doors with features such as raised panels and glass window sections. Many styles appropriate for historic buildings are available with overhead opening, but the look of original swing doors.

If the garage is located in the rear yard, being set behind the rear corner of the house, staff may approve substitute material as the garage door is not readily visible from the street.

In general, flush metal doors are not appropriate. Translucent doors should not be used.

E. For architectural features visible from the street on garages, carriage houses, and outbuildings, refer to appropriate sections of this guide.

F. Non-original doors: If the door to be replaced is not original to the secondary structure, a door that is appropriate to the architectural period should be selected. If the garage is located in the rear yard, being set behind the rear corner of the house, staff may approve substitute material as the garage door is not readily visible from the street.



Appropriate garage doors for historic properties

B.2.7 Gutters and Downspouts

A. Gutter and downspout installation shall not result in the removal of any existing eave features.

B. Gutters and downspouts of boxed, built-in type, and/or copper should be preserved, and repaired rather than replaced if possible.

C. Gutters and downspouts of early hang-on type should be half-round rather than “K” or ogee. Half-round gutters shall be required under the following circumstances:

- When staff or the Preservation Commission determines that the gutters are an important feature to maintaining or enhancing the historic character of the home. This could include being original to the home; being easily visible from the street; containing a distinctive or unique design; and being a prominent feature that stands out.
- When 51% or more of the existing gutters visible from the right-of-way are half-round gutters then the half-round gutters shall be retained and new gutters shall be half-round to match the existing half-round gutters.

If the gutters are not readily visible, ogee gutters of aluminum ~~or vinyl~~ are acceptable. In addition, ogee or K-style gutters may be allowed under the following circumstances:

- When over 51% of the existing gutters are K-style and the retaining K-style gutters would not negatively impact the historic character of the home, as determined by staff or the Preservation Commission.
- When rooflines and crown molding and other architectural features are not removed or altered in order to install K-style gutters.

D. Gutters and downspouts should be located away from significant architectural features on the front of the building.

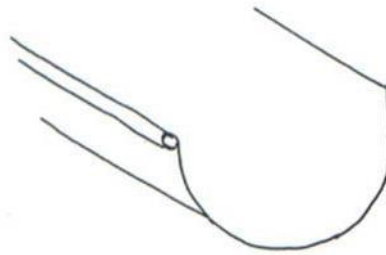
E. Gutters and downspouts should be designed and installed to provide proper drainage and to channel the water as far away from the dwelling as possible. Downspouts should extend at least 4 to 6 feet, or utilize a splash block. Round downspouts are more appropriate than rectangular forms, for half round gutters. Rectangular downspouts are also acceptable.

F. Hanger straps should be nailed under, not on top, of the roofing material. If new roof is installed at same time as the gutters, the straps shall be nailed under the roofing material.

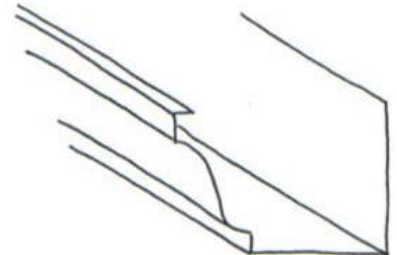
G. Gutters shall match the color scheme of the house. Copper gutters may remain unpainted.

Gutters and downspouts should be regularly cleaned and maintained. If new gutters are required, half-round designs are the most historically accurate for the earlier styles.

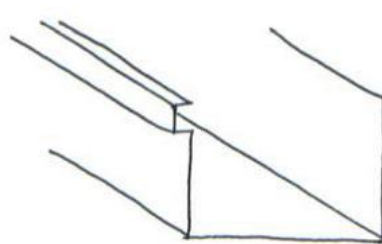
Some later styles; the Romanesque, Colonial, Italian Renaissance, Tudor Revival Styles, and Neoclassical, all typically with enclosed eaves, used the ogee (K profile) gutter. Some styles or designs feature rectangular or bevel profiles or hidden built-in type gutters. Metal used for gutters and downspouts should be compatible with metal used for roof flashing to avoid corrosion.



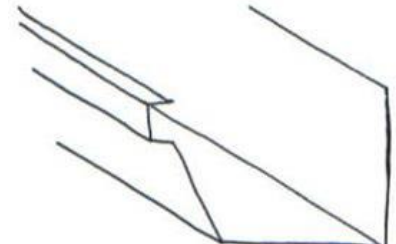
Half Round



Ogee or “K”



Rectangular



Beveled

B.2.14 Satellite Dishes, Antennas, and Solar Panels

Satellite dishes may be installed if they are sited in rear yards or alongside yards that are not visible from the street. As non-historic features, the smaller dishes are preferred to the larger dishes.

When considering locations for solar panels, first consider areas with the least impact to the primary historic resource, such as free standing structures in the rear yard, non-historic buildings or additions, or secondary structures. Then consider rear elevations not visible from the public right-of-way. If none of these options or a combination of these options are feasible, only then consider areas that are minimally visible. Never locate panels where they would result in the alteration of significant features. Also consider other energy efficient options that could provide similar or more energy savings while not impacting the home's historic character, such as insulation, airtight exterior, well-functioning furnace, weatherstripping, and caulking.

New innovations in solar power may be allowed upon the review and approval of the Aurora Historic Preservation Commission.

A. Satellite dishes, antennas, and solar panels shall not be installed in front yards or in side yards visible from the street. Dishes or solar panels should not be installed at visible rooflines.

B. Satellite dishes and antennas in the smaller sizes are more appropriate than the large dishes.

C. Ground-mounted sSatellite dishes, antennas, and solar panels should be mounted as low to the ground as possible and the use of landscaping, lattice panels, or fencing to screen the view is recommended.

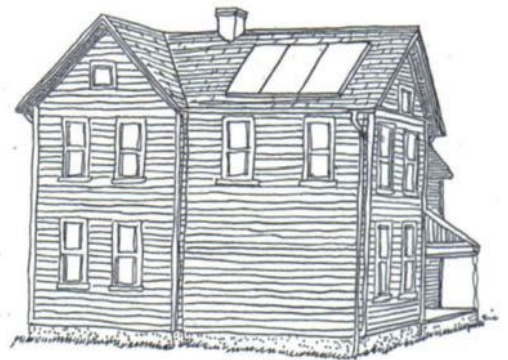
D. Solar panels shall not be added on roofs that are part of the primary facade, street-facing roof slopes, or other locations where they would be easily visible from the public right-of-way. Solar panels should be located where they are not visible from the public right-of-way, or locations where they are minimally visible and do not alter the historic character of the building, such as at rear rooflines, or behind gables and dormers, or on accessory buildings such as garages. Solar panels should be flat or flush with the roofline, and shall not result in the permanent loss of character-defining features of the house or removal of historic fabric. Panels, hardware, supports, conduit, and junction boxes should match the color of materials to which they are mounted to reduce their prominence. Solar panels that are entirely obscured from public view can be approved by staff through a Certificate of Appropriateness. Solar panels that are minimally visible

require the approval of the Preservation Commission.

E. Directly-applied solar shingles or roof tiles which closely match the appearance and color of traditional roofing materials may be acceptable for visible locations where solar panels are not. These installations will be considered by the Preservation Commission on a case-by-case basis, based on the building style and proposed solar product.

F. Satellite dishes and antennas should be located at rear rooflines or preferably in rear yards.

G. Antennas mounted on the roof shall not extend more than three feet higher than the closest roof within ten feet.



Solar Panels on rear roof

B.2.18 Windows

A. Windows shall be preserved in their original location, size, and design and with their original materials and glass pattern.

B. Window openings on front facades or side facades visible from the street shall not be altered to accommodate new windows of different size, proportion or configuration.

C. Character defining window openings on all facades shall not be altered. (For Tanner Historic District refer to the Tanner Historic District Appendix.)

D. Windows that are not original shall not be added to front facades or to side facades where visible.

E. Windows should be repaired rather than replaced. If non-original or beyond repair and replacement is necessary, the replacement shall be in-kind to match the original in material and design. (For Tanner Historic District refer to the Tanner Historic District Appendix.) If the window is original and determined by staff that repair is not feasible, staff can approve the replacement with a solid wood window that replicates exactly in detailing, proportions, operation, material, glazing, grill configuration, etc. for windows located on the front façade, exterior sides, or interior sides that are prominently viewed from the street.

Replacement of original windows on the front façade, exterior sides, or interior sides that are prominently viewed from the street with anything other than solid wood that replicates exactly the

historic window will require approval of the Preservation Commission.

If the window is missing or non-historic or if the window is on the interior side and is not prominently viewed from the street, staff may approve replacement with windows that detailing, dimensions, proportions, type, grill pattern, muntin profiles, and styling are consistent with that of other historic windows found on the building or consistent with the style and period of the building. Replacement window and window frame material shall either replicate historic materials (wood or metal) or be fabricated of a contemporary, alternate material (e.g. aluminum clad, wood windows) that are able to meet the above specifications. Vinyl has of yet not been able to meet the above specifications. If the historic windows had (or likely had) muntins, then new windows must have true, divided-lites or simulated, divided-lites with exterior and interior applied muntins with spacer bars between the panes of glass. Glazing should match the historic character of the glass.

When considering replacing windows, document the following: size of openings, proportions of the frame and sash, frame material, configuration of window panes, muntin profiles, grill pattern, and other details. Please note that failure of the condition of the paint finish, not currently being operable, and cracked glazing should not be mistakenly interpreted as a sign that the wood is in poor condition and is therefore irreparable.

F. Windows should be repaired with materials to match the original and other materials such as consolidants that are appropriate to the original material. (Consultation with a stained glass specialist is recommended for repairs to art glass.)

G. New windows on front facades and sides visible from the street shall not have snap-in or flush muntins. True divided muntins are acceptable.

H. Windows may have screens and/or storm windows. See Screen, Storm and Security Windows Section.

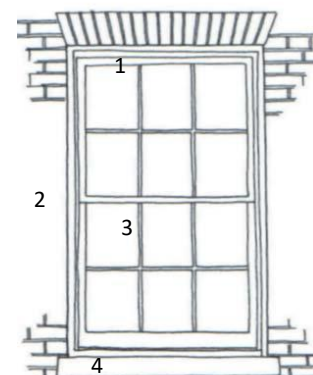
I. Basement windows should not be enclosed or concealed on the exterior, and masonry should be properly re-pointed when repaired.

Historic windows display a wide variety of windows in various designs and sizes. These are important features of the various architectural styles.

Decorative windows include materials such as stained glass, beveled, leaded glass, and etched glass.

Most early windows are made from wood and with proper repair can be made functional.

Window openings original to a dwelling shall not be covered or concealed. New windows may be added at the rear and non-visible sides of a building.



Parts of a window

1. Head
2. Jam
3. Sash
4. Sill

Windows



Appropriate for Greek Revival styles



Appropriate for Italianate, Octagon and Second Empire styles



Appropriate for Queen Anne, Stick and Eastlake styles



Appropriate for Shingle and Prairie styles



Appropriate for Prairie and Bungalow styles



Appropriate for the Tudor Revival style



Appropriate for Colonial Revival and Neoclassical styles



Window cap molding detail



Palladian Window Example

Most non-masonry, pre-1945 dwellings are generally of frame construction clad with wood siding in any of a variety of shapes. These include horizontal weatherboard or clapboard siding, drop siding and wood shingles. They were sometimes used in combination.

Original siding materials are essential components in defining a building's architectural character. The concealment of original wood siding under synthetic sidings is not appropriate. These siding materials do not successfully imitate original wood siding in dimensions or texture.

The use of synthetic sidings also poses potential problems for historic buildings. These materials have a limited life span and may not be cost effective compared to continued maintenance and painting of wood siding. Aluminum and vinyl siding which is 15 to 20 years old becomes faded, chipped, or cracked and may require painting.

If insulation without a vapor barrier is installed, the interior should be painted with an impermeable paint to prevent moisture condensation in the wall.

B.2.19 Wood Siding

A. Wood siding original to a building shall be repaired rather than replaced. If replacement is necessary, wood siding and shingles shall be replaced with new to match the original in size, placement, and design. If considering the replacement of siding, obtain a determination from the Historic Preservation staff on the condition of the existing siding. NOTE: owners may be ineligible for financial assistance for the siding itself if synthetic siding materials are applied.

Cement Board or similar siding that simulates wood siding may be allowed if maintaining the original material characteristics and application techniques when 51% or more of the original wood siding is damaged or missing, and when allowed cement board shall be installed as follows:

1. The reveal and the texture of the original wood siding shall be matched.
2. The cement board materials shall be a minimum of 68% cement, and siding products made from natural and sustainable raw materials are preferable.
3. The cement board shall be primed to be painted, or if available in colors appropriate for the specific architectural style of the home can be ordered pre-painted.
4. The trim work shall be made of wood, unless the color of the cement board trim can match the character and style of the house, and said trim also meets all of the above stated criteria.

B. Wood siding original to a dwelling shall not be concealed beneath synthetic materials such as vinyl, masonite, particle board, or aluminum unless the following conditions are met:

The existing siding is deteriorated or damaged beyond repair. At least 80% of the boards shall have deterioration such as cracking, splitting, rot, or insect damage, and the substitute material can be installed without irreversibly damaging or obscuring the architectural features and trim of the building. The substitute material shall match the historic material in size, profile and finish.

The application of the synthetic materials shall not result in the concealment or removal of original decorative detailing or trim including window and door surrounds and watertable.

The application shall be reversible.

Synthetic siding materials shall match the dimensions and style of the original wood siding as closely as possible.

C. Wood siding that has been concealed beneath synthetic siding should be repaired. Following the removal of synthetic siding, original siding should be repaired to match the original, caulked and painted. When ghosting or outlines of decorative missing features are revealed, these should be replicated and reinstalled. If these features are not replaced the ghosting should be recorded through photographs or drawings for possible future replication.

D. Walls under wood siding may not be altered with plugholes for the installation of insulation in the walls.

E. Asbestos shingles that are original to a dwelling should be kept stained or painted. If asbestos shingle siding is deteriorated or poses a health hazard, it may be removed and replaced with wood or other substitute siding. Removal of asbestos siding should follow hazardous material guidelines.

B.3.3 New Garages and Outbuildings

A. Secondary buildings shall be smaller in scale than the primary dwelling.

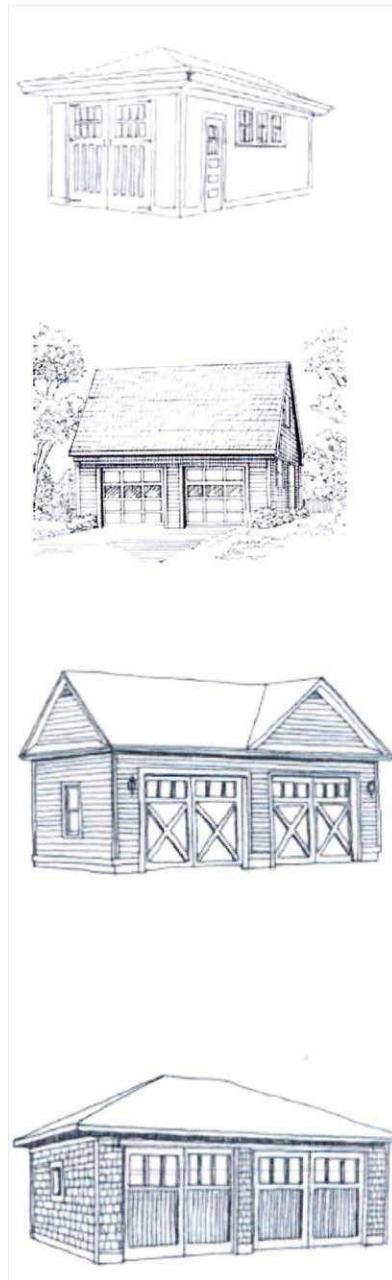
B. Secondary buildings should be built at traditional locations for outbuildings in the locally designated districts. These include at rear lot lines, adjacent to alleys, and at the rear side of a dwelling.

C. Secondary buildings shall be compatible in design, shape, materials, and roof shape with the associated primary building.

D. Exterior materials of secondary buildings should match or be compatible with those of the primary building. If ~~not visible from the street~~ located in the rear yard, being set behind the rear corner of the house, and is partially obscured by the house or a fence, secondary buildings may have exterior substitute siding materials such as aluminum or vinyl.

E. For doors on new garages, refer to appropriate sections of this guide

Secondary buildings include garages, sheds, and other outbuildings. New construction of secondary buildings such as garages and sheds is acceptable as long as they are appropriate in design and sited in traditional locations. Construction materials should be similar to those of the primary dwelling.



Examples of appropriate new garages

B.4.1 Fences and Walls

A. Fences of cast iron or other original materials should be preserved.

B. Fences of cast iron when appropriate to the architectural style of the building may be added.

C. Fences of chain link, poured concrete, concrete block, or wood in basket weave, louver, spilt rails, horizontal board, lattice, stockade or shadowbox designs shall not be visible from the street.

D. Walls of free-standing brick are generally not appropriate in front yards but are acceptable at rear yards and side yards not visible from the street.

E. Traditional plantings such as hedges and shrubs are acceptable as alternatives for fences in historic districts.

B.4.1.1 Fences in Front and Side Yards

F. Fences of wood pickets or balusters are appropriate for front yards. Such fences shall be painted or stained. Pickets or spindles should be no wider than four inches, and be set with top and bottom rails and may have a bottom baseboard. Fences more than 50% open should be no more than 42 inches in height. Fences less than 50% open, should be no more than 36 inches in height.

Solid board fences are not appropriate for use in front and side yards and should be avoided.

Therefore, the Aurora Zoning Ordinance fence provisions notwithstanding, up to a 72 inch

fence may be allowed in an interior side yard only if the portion of said fence over 60 inches is more than 50% open.

B.4.1.2 Fences in Rear Yards

G. Fences can be constructed in the same low fence design found in the front yard.

H. Fences of wood boards or planks for privacy should be located in rear yards and should be no taller than six feet. Boards should be no more than six inches wide. Privacy fences of flat, vertical boards with flat tops are most appropriate for the historic districts. Vertical boards topped with lattice or pickets are also appropriate.

Wood picket and plank fences and cast iron fences were widely used in residential areas before 1945 to separate lots, outline front yards, and enclose domestic animals and pets. However, few original cast iron fences remain standing.

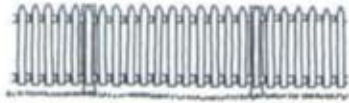
More recently chain link fences and other designs in wood have become popular but these are non-historic fence materials and are not acceptable.

Historic fences should be preserved and maintained. The construction of new fences based upon historic designs and materials is appropriate.

In addition to the Fence Provisions of the Aurora Zoning Code the following apply

Fences and Walls

Appropriate Front Yard Fences:



▪ Simple picket



▪ Tulip-top picket



▪ Balusters and spindles

Fences appropriate for rear yards:



▪ Vertical board



▪ Vertical board with lattice top



▪ Vertical board with top rail

*Fence styles **NOT** allowed if visible from the street*



▪ Horizontal basket weave



▪ Louver



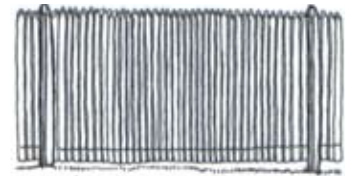
▪ Split-rail with bracing



▪ Horizontal board



▪ Lattice



▪ Stockade



▪ Shadowbox

B.4.5 Parking

Aurora's Historic Districts were largely platted and developed in the days of horse drawn vehicles and in the early days of the automobile. Some streets were laid out with rear alleys. Garages and carriage houses were generally located directly adjacent to the alleys or in rear yards served by a driveway.

Many of these original early outbuildings were replaced or converted to garages. Today, vehicular access to historic houses is by driveways off the street or through rear alleys.

The addition of garages and parking places in areas other than rear yards is not consistent with traditional streetscape design. Rear yards were not paved for unenclosed parking areas. The intent of these Guidelines is to provide for residential and commercial parking without altering the historic streetscape, or creating situations where historic side and rear yards are eliminated. By limiting the paved areas, damage to historic buildings due to storm water runoff is also mitigated.



Appropriate perimeter landscaping of parking area

A. Front yard areas shall not be paved, covered with blacktop or transformed into an area for surface parking lots. Unpaved areas of a lot shall not be paved without the submission of an acceptable plan approved by the Aurora Preservation Commission. New parking lots incompatible with the character of the neighborhood shall not be introduced.

B. New off-street parking areas, for residential and commercial properties shall be landscaped around the perimeter of the parking area for screening purposes, and a landscape plan shall be submitted for approval indicating the species, age, and location of the planting material.

C. When existing off-street parking areas are resurfaced, they shall comply with the provisions of the above new off- street parking areas.

D. Driveways shall be limited to a single lane where visible from the street, and allowed to increase towards the rear of the lot where it shall be screened with landscaping or other approved materials. Exceptions are if the driveway was originally two-lane, or if the length does not allow the curvature from one land lane to two. The historic original driveway design, material, and placement, where known, should be preserved. It is preferred that older brick or concrete driveways should remain as brick or concrete driveways; however, repaving with asphalt is not prohibited.

E. It is preferred that driveways in the front or side yard ~~should~~ be of brick, concrete, or concrete tracks (two parallel narrow strips of concrete with grass in between - also called "ribbon drives"). ~~Asphalt and~~ Textured concrete designed to look like brick pavers and black asphalt are also appropriate-permitted materials for all driveways.

F. Driveways shall not be poured closer than six inches to foundation walls unless an expansion joint is provided as ~~it causes~~ direct contact may cause damage to foundations and walls.

G. Driveway approaches shall be limited to single lane widths to increase the parkway landscaping. Widths at sidewalks shall not exceed 10 feet, and the taper to the road shall not exceed 14 feet.