

January 26, 2022



Del Webb®

Love life to the fullest.

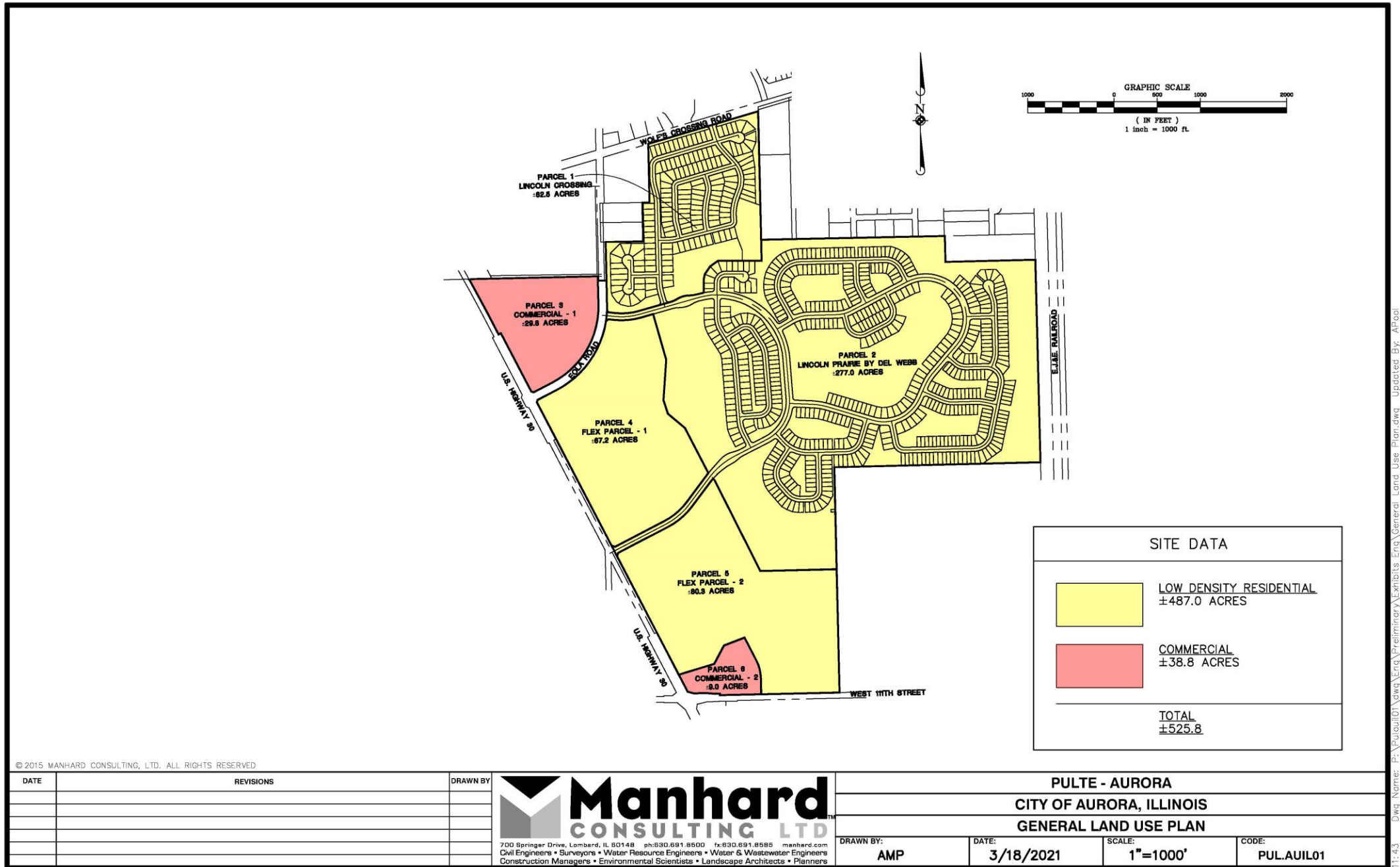
A
50
YEAR
CELEBRATION

PRESENTATION FOR

**Building, Zoning, and
Economic Development
Committee**

General Land Use Plan

Lincoln Prairie





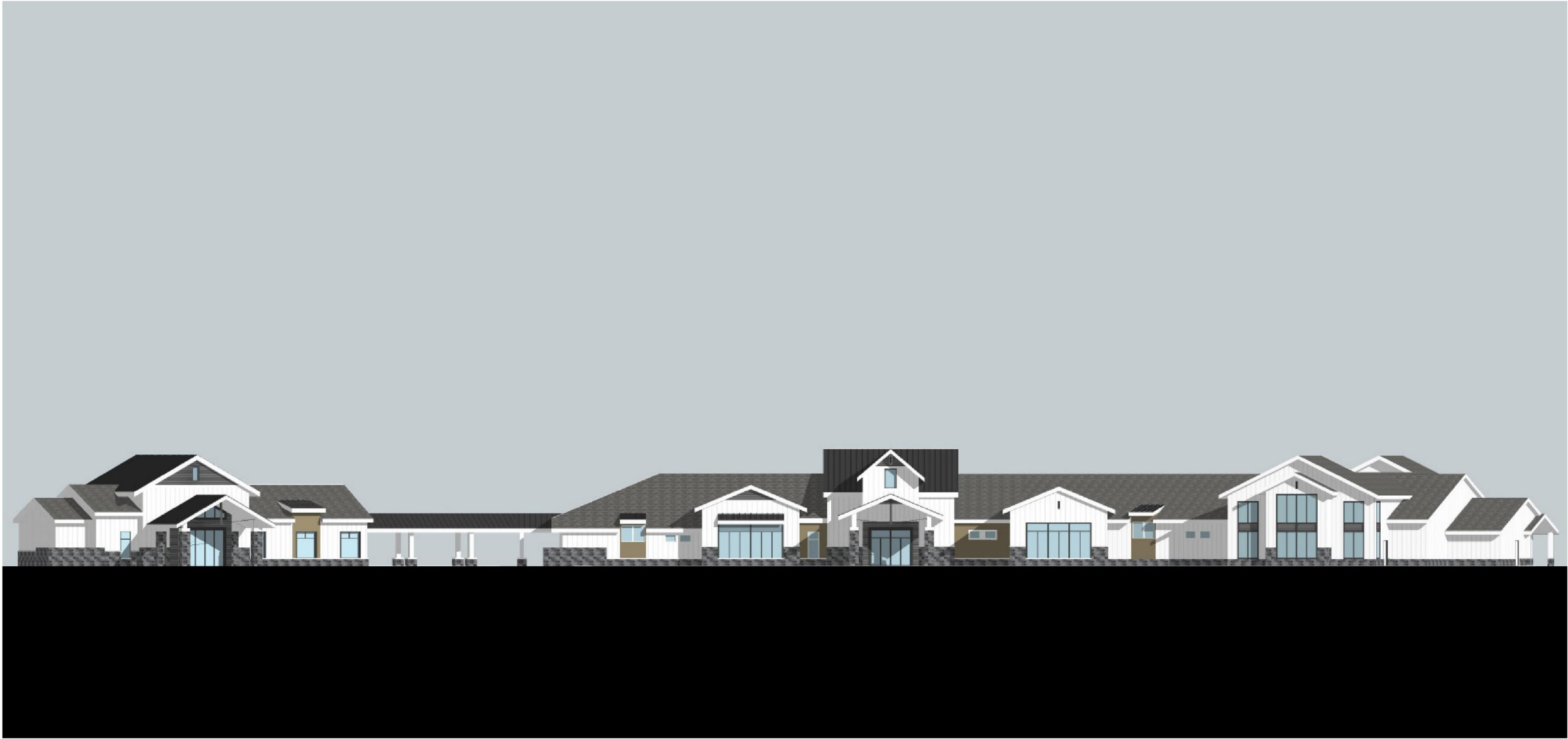
Lincoln Prairie by Del Webb





Lincoln Prairie by Del Webb












Clubhouse Entry - Material Study





Lot Summary

Del Webb

Product Type	Typ. Lot Size	Phase 1
 Scenic	44' x 120'	60 units
 Distinctive	50' x 120'	70 units
 Echelon	64' x 120'	39 units
		169 units

Scenic – 34’ Product

Style	Minimum Size (sf)	Bed	Bath	Garage	Options	Elevations
Vista	1,502	2-3	2-3	2	Loft/Sunroom	6
Meadow	1,504	2-3	2-3	2 + Storage	Loft/Sunroom	6
Mirage	1,595	2-3	2-3	2	Loft/Sunroom	6

Distinctive – 40’ Product

Style	Minimum Size (sf)	Bed	Bath	Garage	Options	Elevations
Prosperity	1,646	2-4	2-3	2	Basement / Loft/Sunroom	6
Mystique	1,841	2-4	2-3	2 + Storage	Basement / Loft/Sunroom	6
Palmary	1,892	2-4	2-3	2	Basement / Loft/Sunroom	6
Prestige	2,060	2-4	2-3	2	Basement / Loft/Sunroom	6

Echelon – 54’ Product

Style	Minimum Size (sf)	Bed	Bath	Garage	Options	Elevations
Stardom	2,213	2-4	2-3	3	Basement / Loft/Sunroom	5
Stellar	2,421	2-4	2-3	3	Basement / Loft/Sunroom	5
Renown	2,754	2-4	2-3	3	Basement / Loft/Sunroom	5

Product Matrix
– Del Webb

Sample Elevations - Scenic



Sample Elevations – Distinctive



Sample Elevations – Echelon

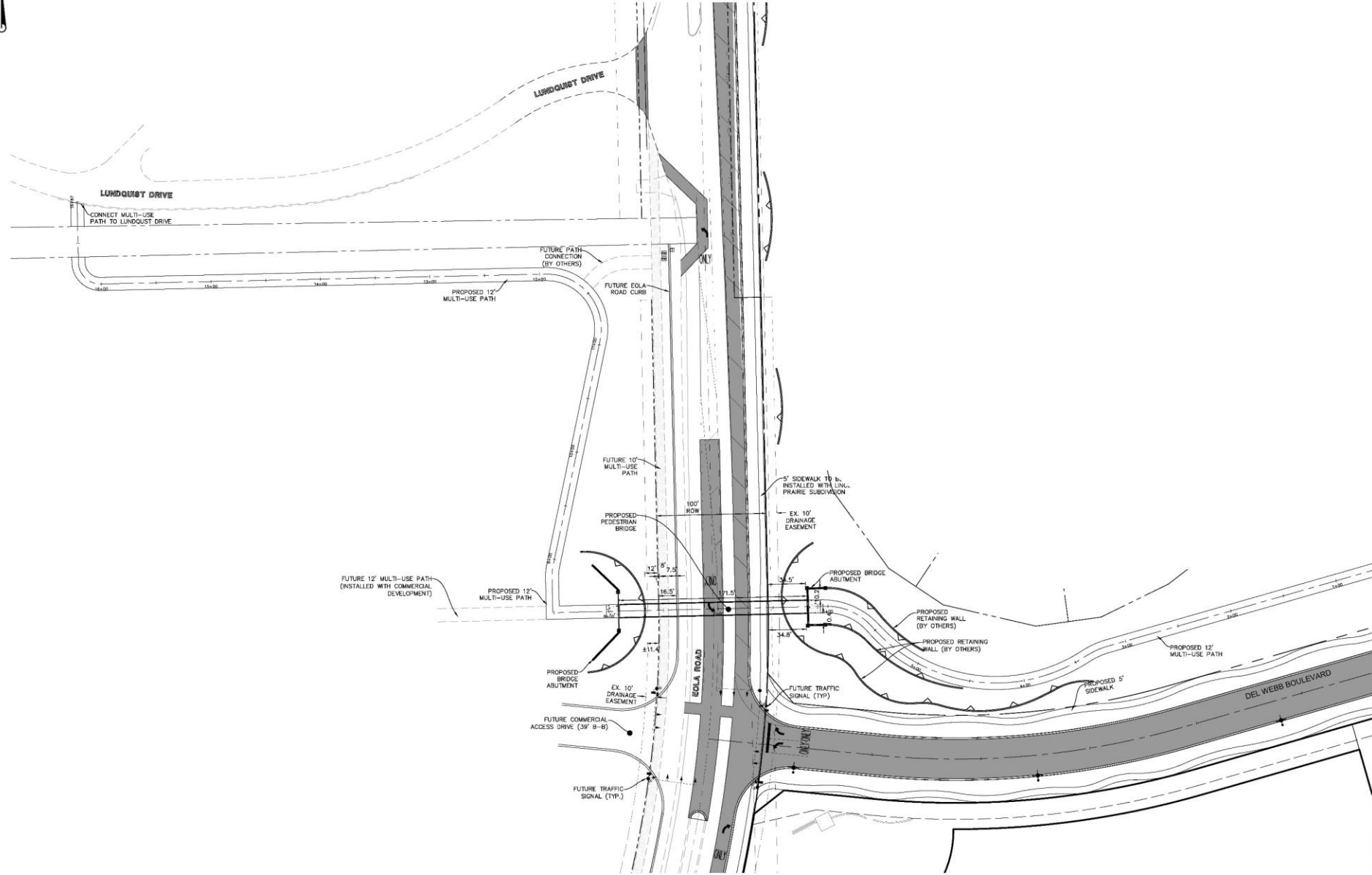
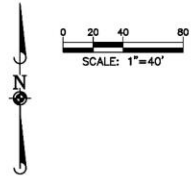


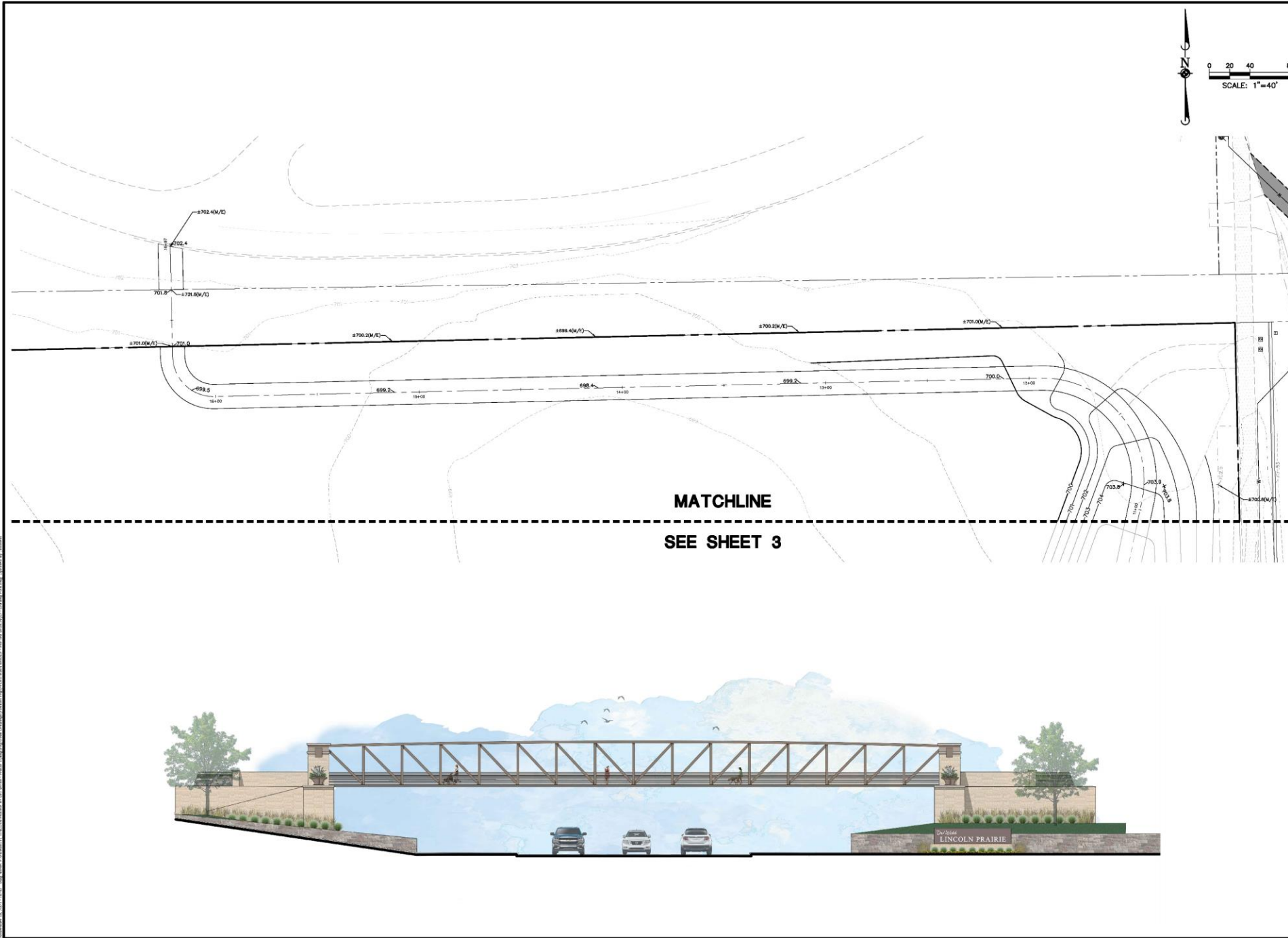
A family of four is in a modern living room. A man and a woman are sitting on a grey sofa, smiling. Two young children are on the floor in front of them; one is crawling and the other is sitting and drawing. A large potted plant is in the background. The entire image has a blue tint.

Thank you

.....

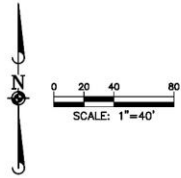
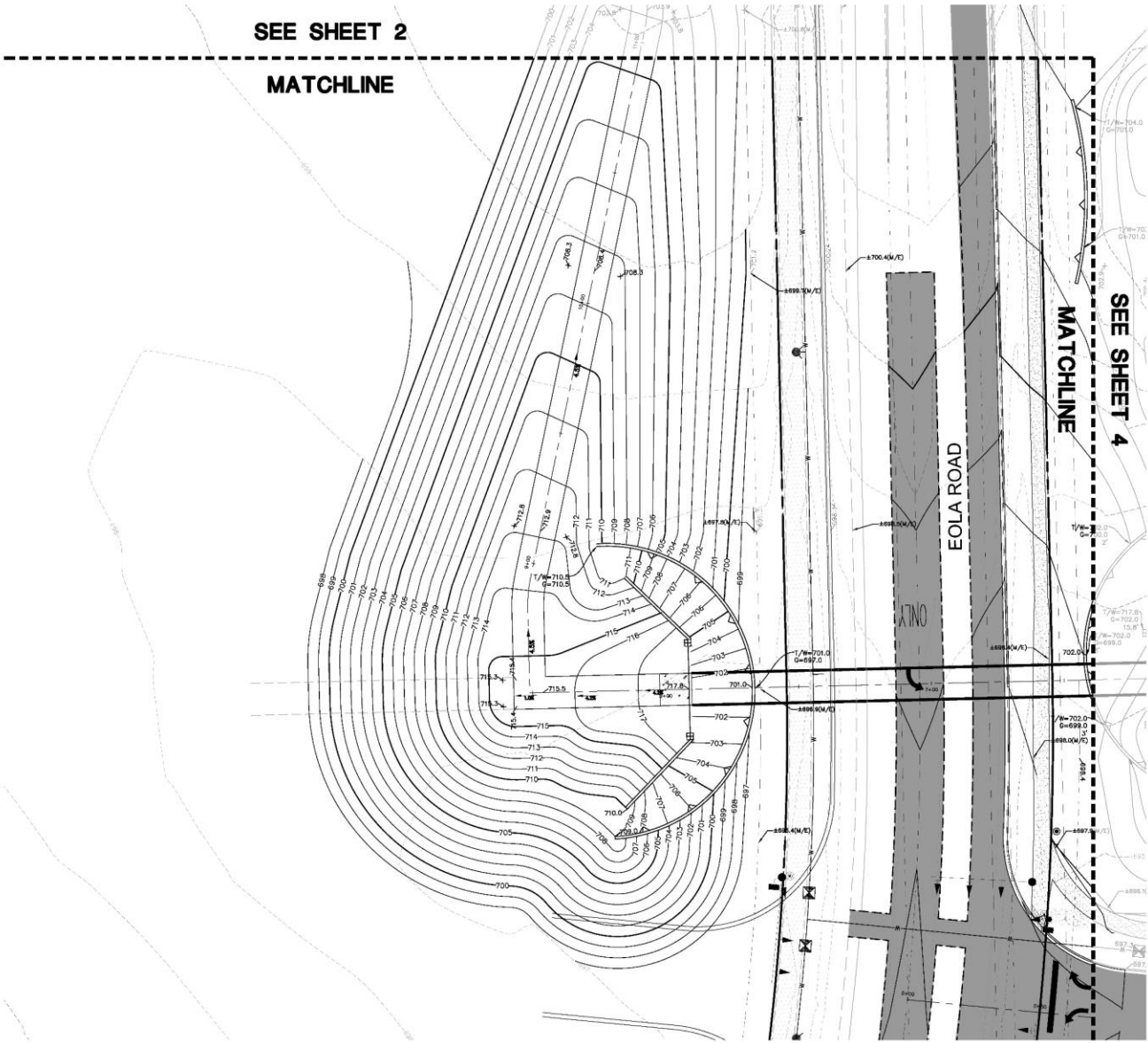


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Manhard CONSULTING
200 Sprague Drive, Lombard, IL 60148
TEL: 630.951.8800 FAX: 630.951.8805
Construction Managers | Environmental Scientists | Landscape Architects | Planners

DEL WEBB - PEDESTRIAN BRIDGE	
CITY OF AURORA	
GRADING PLAN - NORTHWEST	
DESIGNER:	MANHARD CONSULTING
DRAWN BY:	MANHARD CONSULTING
DATE:	11/18/2021
SCALE:	1"=40'
SHEET	
2 OF 4	
PUL_AUL01	



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760 Springer Drive, Lombard, IL 60148 ph 630.691.8500 fr 630.691.8595 manhard.com

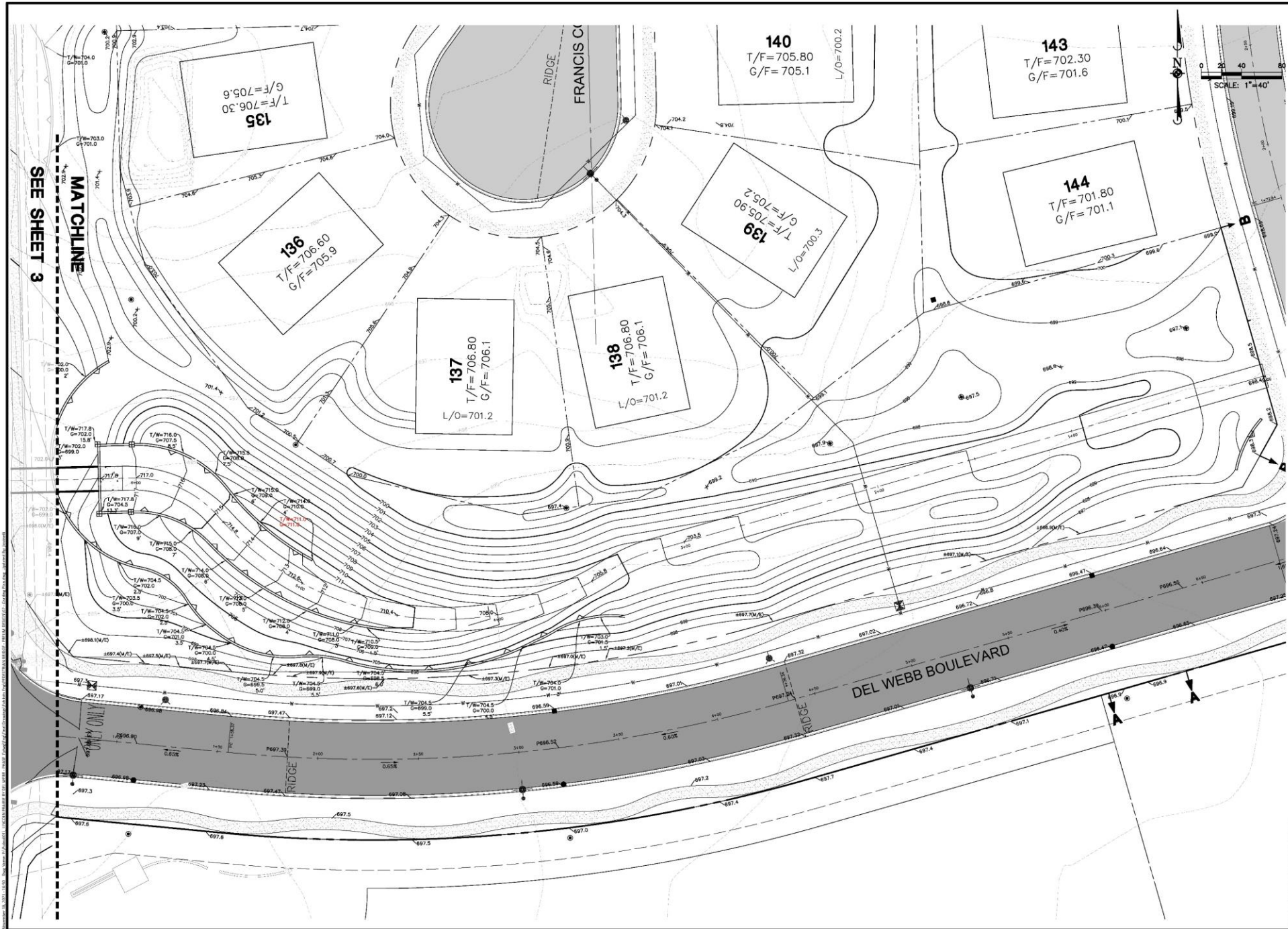
Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers
Construction Managers | Environmental Scientists | Landscape Architects | Planners

DEL WEBB - PEDESTRIAN BRIDGE

PROJECT NO.:
PROJECT ASSOC.:
DRAWN BY:
DATE: 11/18/2021
SCALE: 1"=40'

SHEET
3 OF 4
PUL.AJIL01

PRELIMINARY DESIGN - FOR REVIEW ONLY



Manhard
CONSULTING

DEL WEBB - PEDESTRIAN BRIDGE
CITY OF AURORA
GRADING PLAN - EAST

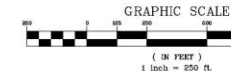
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DESIGNED BY: JH
DATE: 11/18/2021
SCALE: 1"=40'
SHEET
4 OF 4
PUL-AUL01

PRELIMINARY DESIGN - FOR REVIEW ONLY



Lincoln Prairie by Del Webb

FINAL PLAN FOR LINCOLN PRAIRIE BY DEL WEBB, PHASE 1



STANDARD SYMBOLS

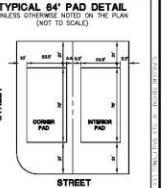
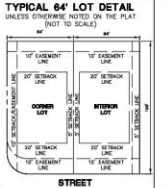
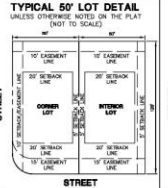
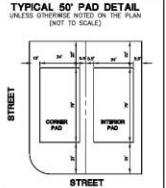
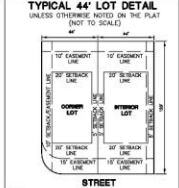
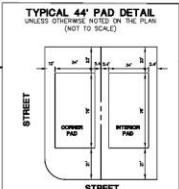
EXISTING

PROPOSED

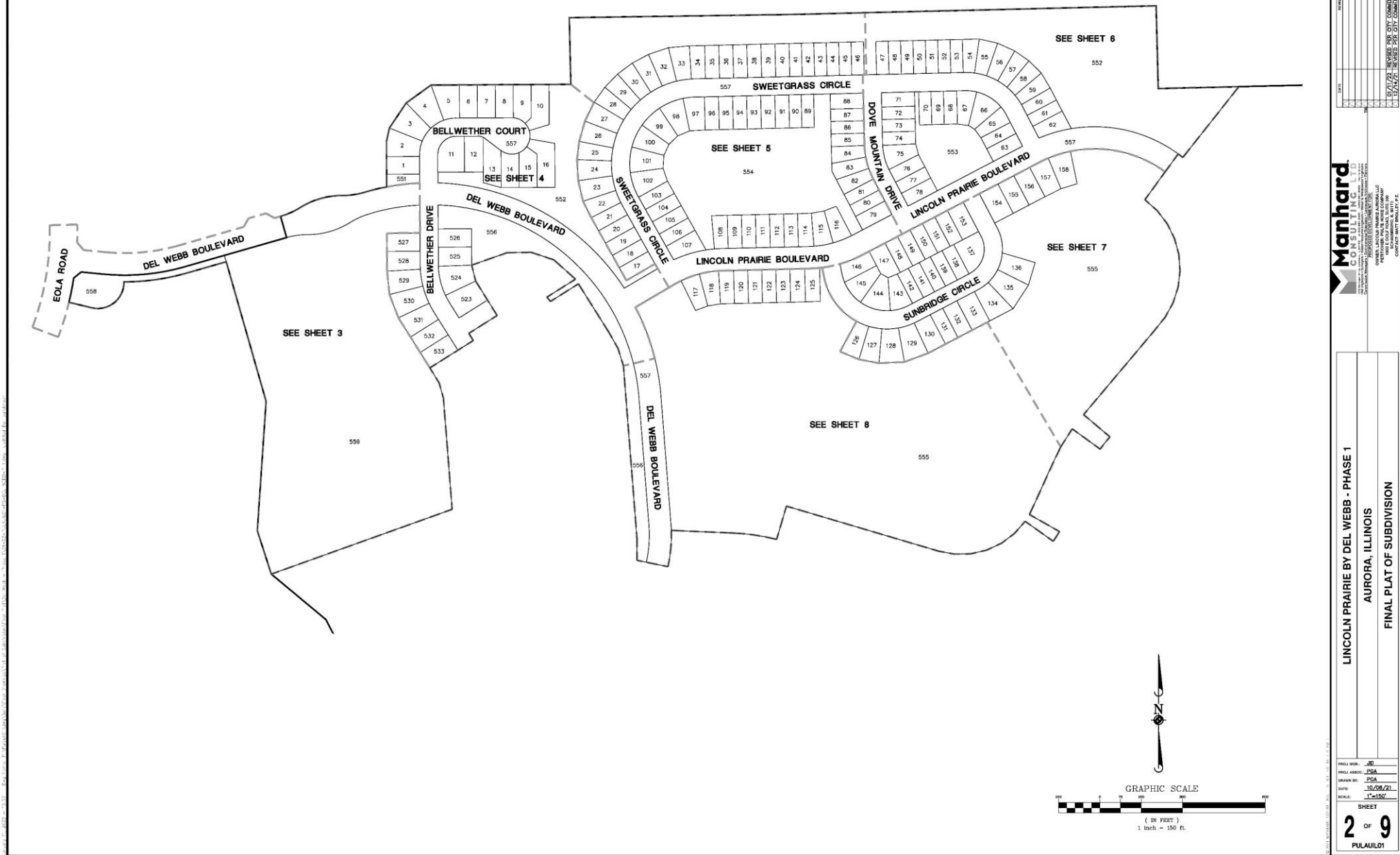
STORM SEWER	WATER MAIN
ELECTRIC	FIBER
OVERHEAD WIRES	SANITARY MANHOLE
CATCH BASIN	STORM INLET
WALK IN VAULT	FIRE HYDRANT
FLARED END SECTION	STREET LIGHT
CURB AND GUTTER	PROPERTY LINE
EASEMENT LINE	SETBACK LINE
POWER POLE	GUY WIRE
TELEPHONE EQUIPMENT	FENCE
RETAINING WALL	WETLAND
AGRICULTURAL DITCH	SHEET MATCHLINES
FORDMAN	STOP SIGN
WETLAND STYLE PLANTINGS	
EXISTING ASPHALT PAVEMENT	
LOCAL ROAD - 8" ROW (CITY OF AURORA SPECIFICATIONS)	
1.5" HMA SURFACE COURSE, MIX "C", N50	
2.5" HMA BINDER COURSE, N50	
10" COMPACTED CA-8 (CRUSHED STONE)	
COLLECTOR ROAD - 8" ROW (CITY OF AURORA SPECIFICATIONS)	
1.5" HMA SURFACE COURSE, MIX "C", N50	
4.5" HMA BINDER COURSE, N50	
10" COMPACTED CA-8 (CRUSHED STONE)	
FIRE ACCESS ROAD (BRICK PAVEMENT, 75,000 LBS. LOADING)	
FIRE ACCESS ROAD (ASPHALT)	
1.5" HMA SURFACE COURSE, MIX "C", N50	
2.5" HMA BINDER COURSE, N50	
10" COMPACTED CA-8 (CRUSHED STONE)	
SIDEWALK	
5" PORTLAND CEMENT CONCRETE (8" AT DRIVEWAYS)	
4" COMPACTED AGGREGATE BASE COURSE, TYPE B	
MULTI-USE PATH	
1.5" HMA SURFACE COURSE, MIX "C", N50	
2.5" HMA BINDER COURSE, N50	
10" COMPACTED CA-8 (CRUSHED STONE)	

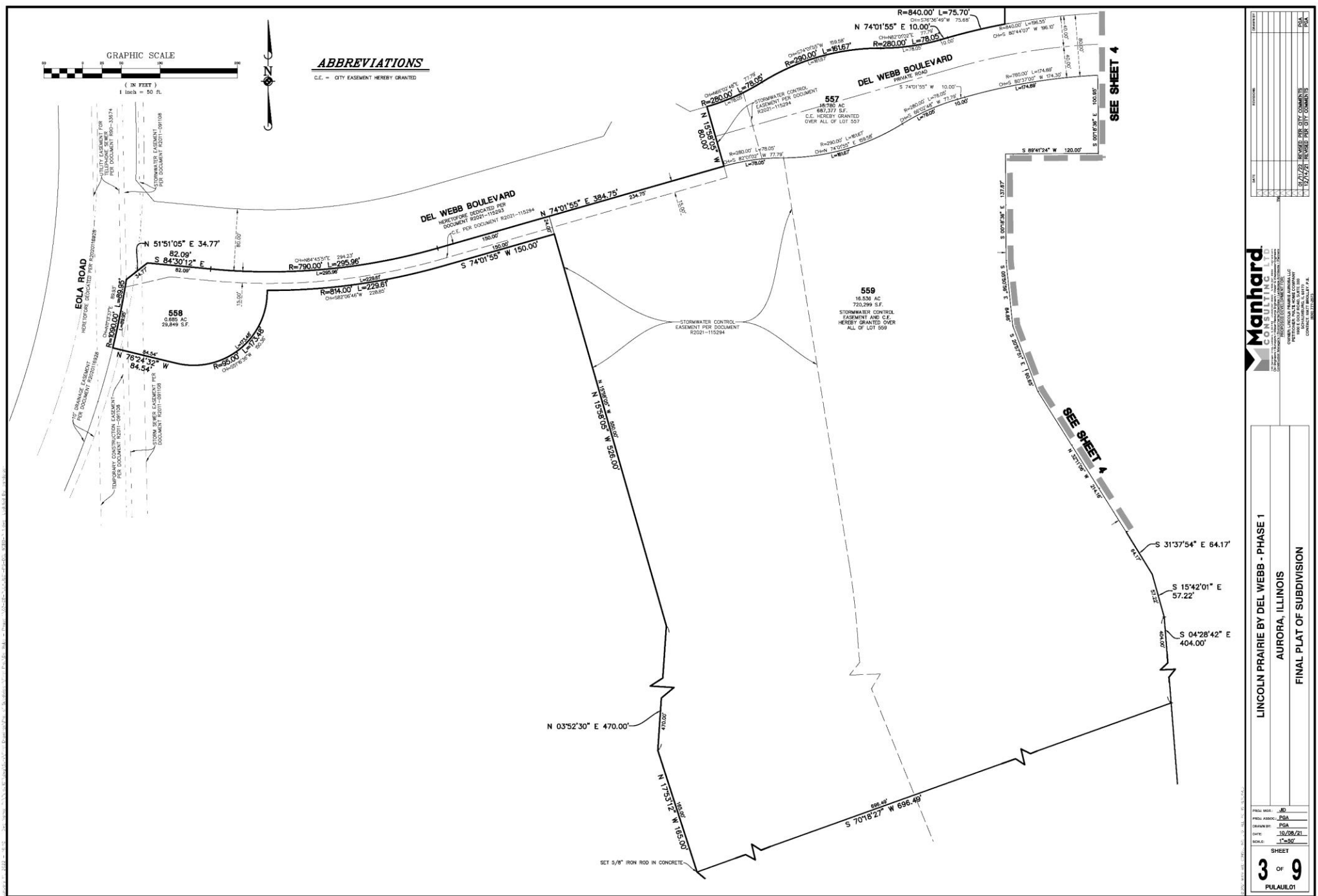
SITE DATA

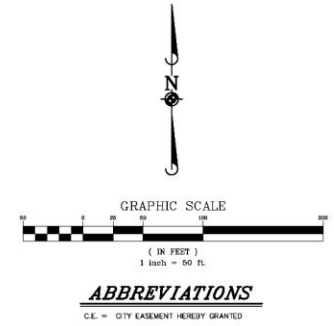
PLAN DESCRIPTION	PARCEL
44' WIDE LOTS	LOTS 41-90, 137-146
50' WIDE LOTS	LOTS 17-40, 91-127, 131-132, 147-153
64' WIDE LOTS	LOTS 1-16, 128-130, 133-136, 154-158, 523-533

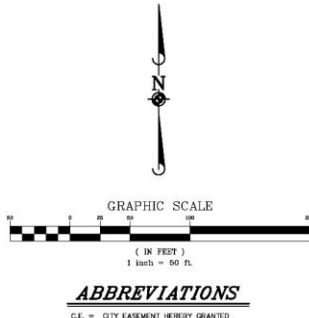


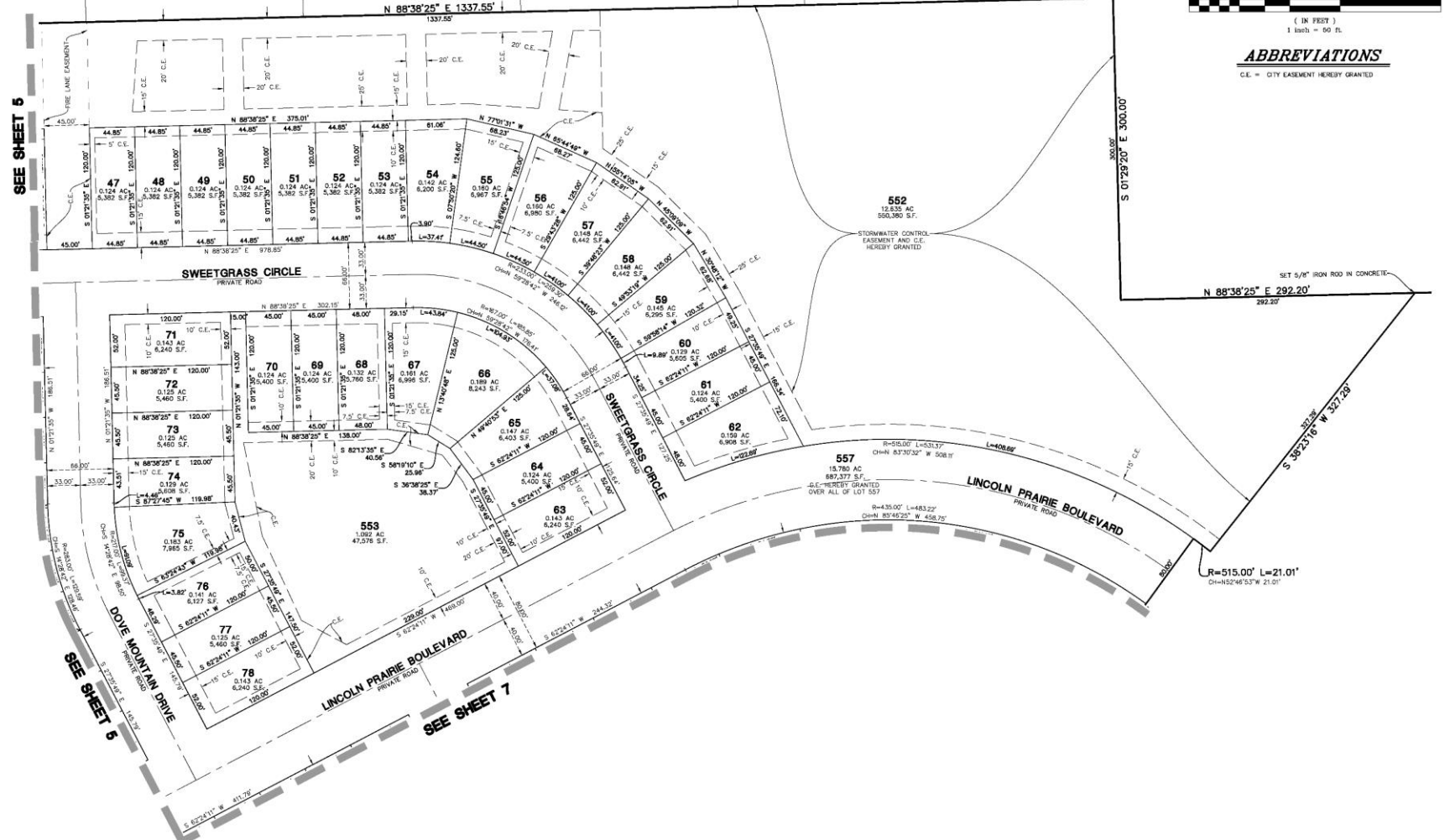
DESCRIPTION	VALUE	UNIT
(a) Tax/Parcel Identification Number(s) (PINs) 01-18-20-001, 01-18-20-002, 01-18-20-003, 01-17-10-021, 01-17-10-023		
(b) Proposed land use(s) Age restricted single family		
(c) Total Property Size	115.527601	Acres
(d) Total Lot Coverage (buildings and pavement)	2032991	Square feet
(e) Open space landscaping	1181234	Square feet
(f) Land to be dedicated to the School District	23%	Percent
(g) Land to be dedicated to the Park District	23%	Percent
(h) Number of parking spaces provided (individually accessible)	203113	Square feet
(i) Number of buildings	1	Count
(j) Number of units	1	Count
(k) Number of single family detached dwelling units	1	Count
(l) Number of single family attached dwelling units	1	Count
(m) Number of multifamily dwelling units	1	Count
(n) Number of townhome units	1	Count
(o) Number of mobile home units	1	Count
(p) Number of accessory dwelling units	1	Count
(q) Number of other units	1	Count
(r) Number of other units	1	Count
(s) Number of other units	1	Count
(t) Number of other units	1	Count
(u) Number of other units	1	Count
(v) Number of other units	1	Count
(w) Number of other units	1	Count
(x) Number of other units	1	Count
(y) Number of other units	1	Count
(z) Number of other units	1	Count

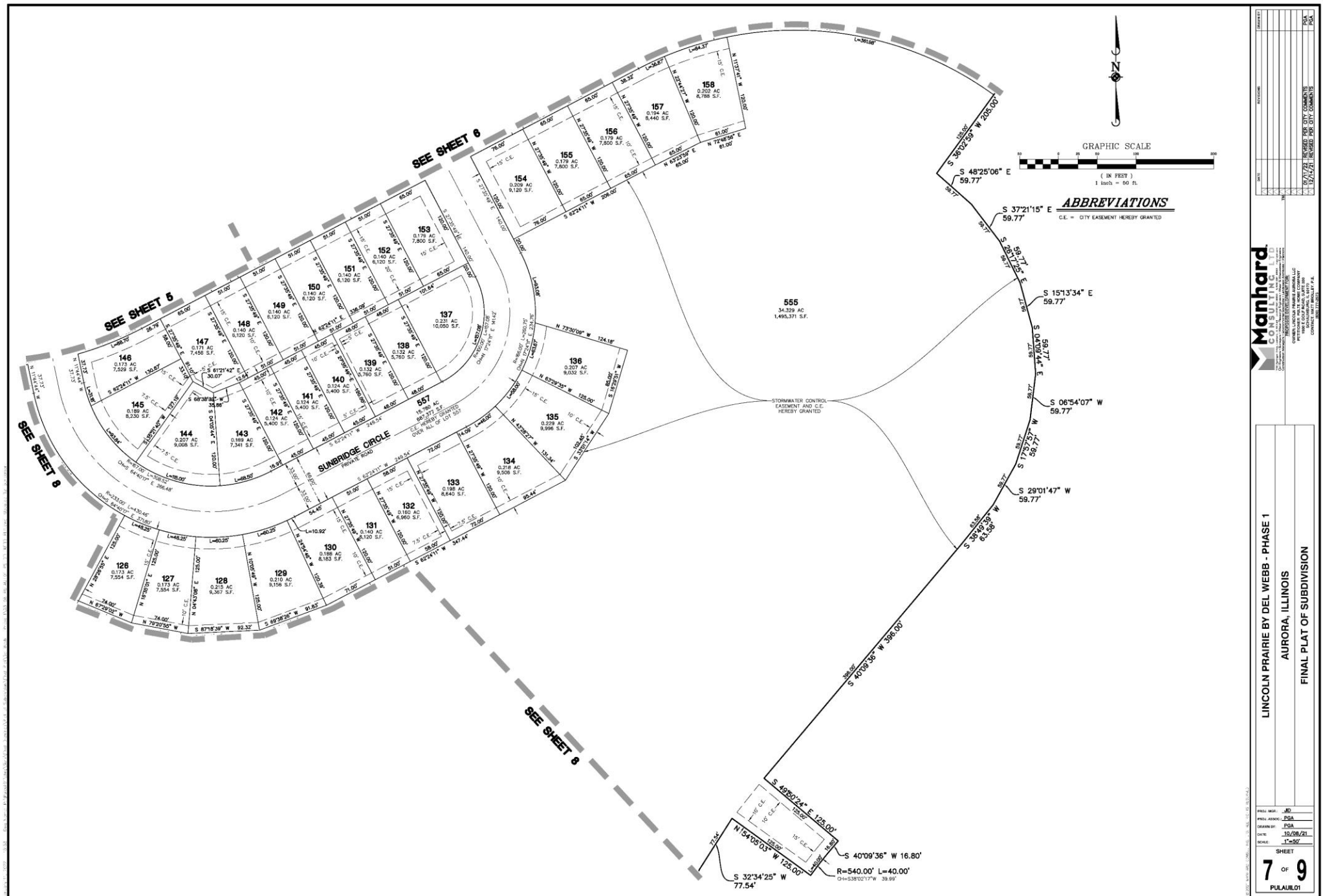


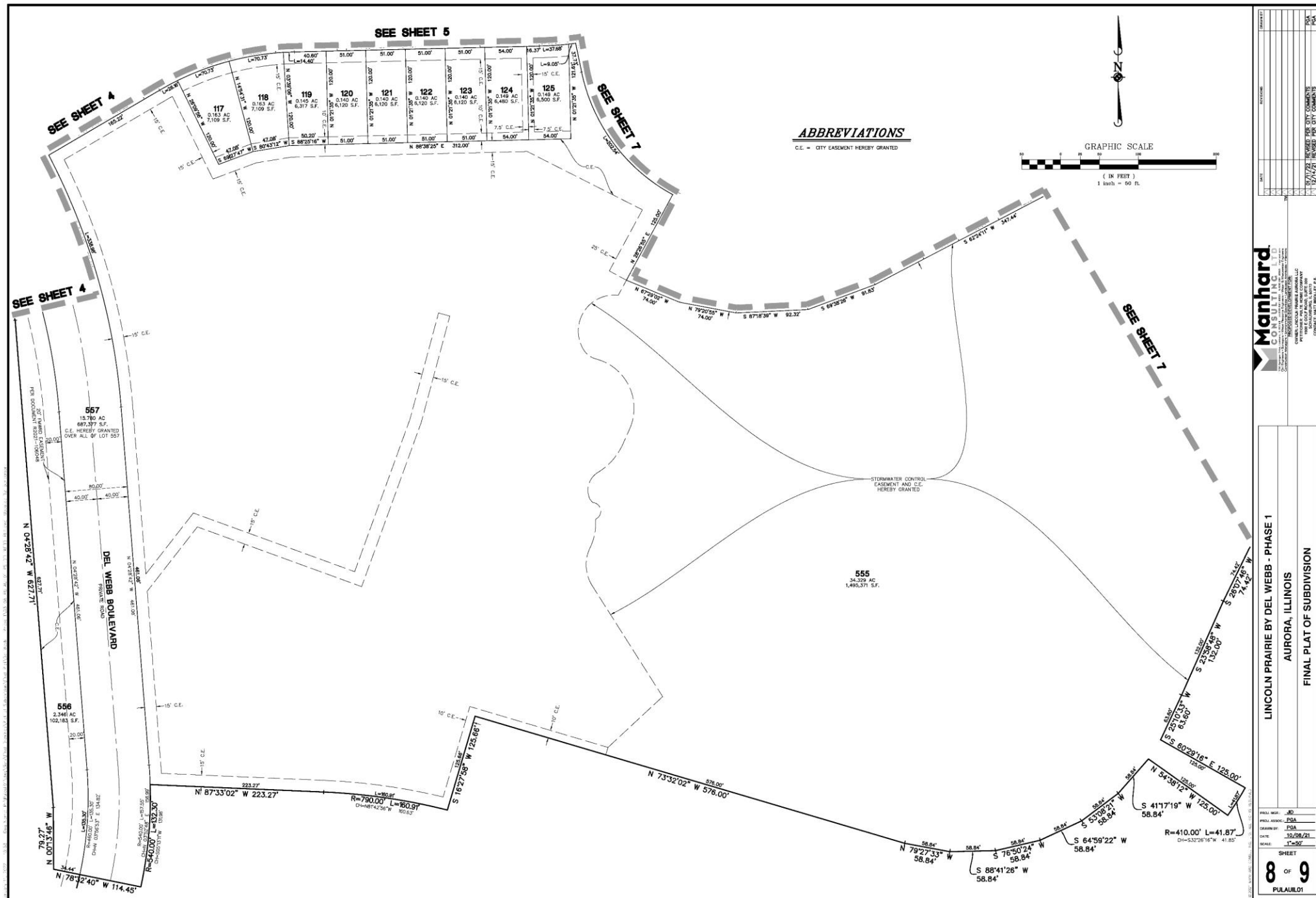






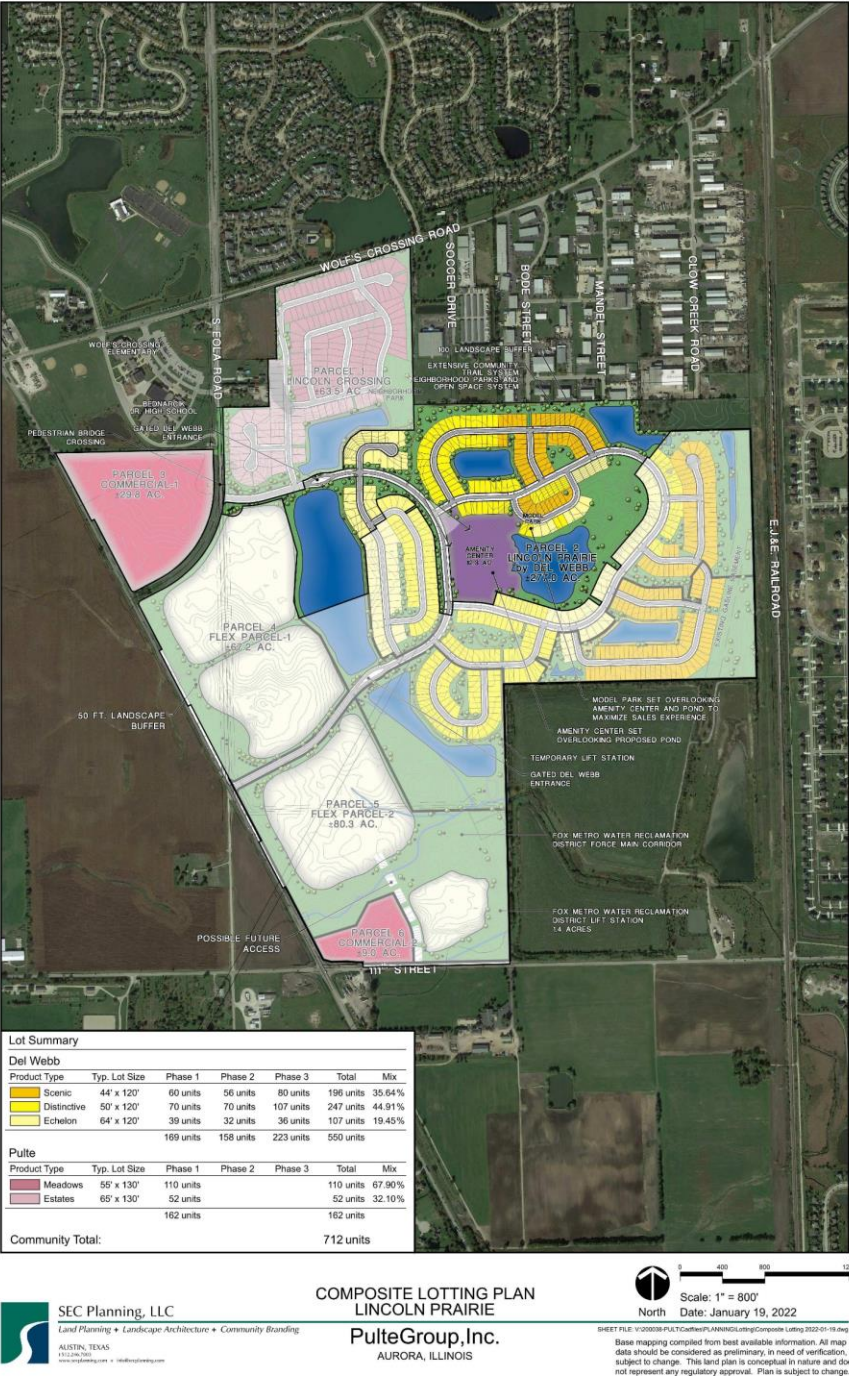






Composite Lotting

Lincoln Prairie



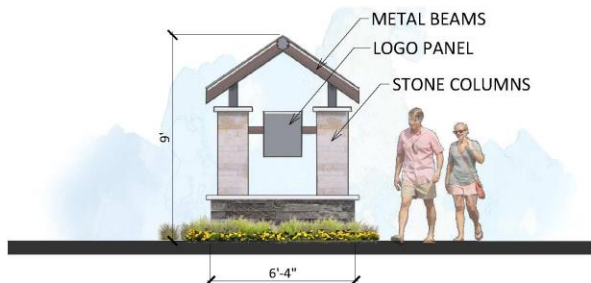


TOWER AND SIGN CONCEPT - FRONT ELEVATION

Scale: 3/16" = 1'

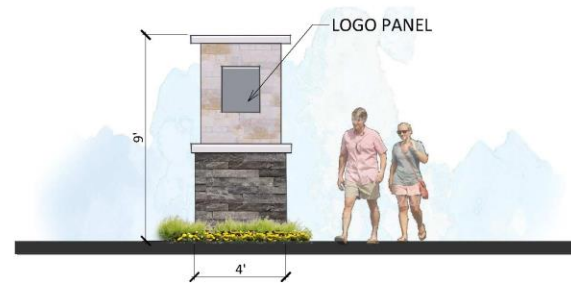
TOWER AND SIGN CONCEPT - SIDE ELEVATION

Scale: 3/16" = 1'



COMMUNITY MARKER - OPTION 1

Scale: 3/16" = 1'



COMMUNITY MARKER - OPTION 2

Scale: 3/16" = 1'

Monument Signage - For Reference



Guard House Elevations



Guard House Perspectives



Sales Center - West Elevation



Sales Center - East Elevation



East Elevation/Perspective





Perspective View







