

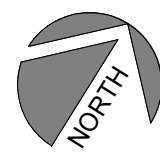
File: C:\Users\RMahoney\Desktop\Revit Files\0319300_R21_ALMC_mahoney\UNVC.rvt
Date: 2/9/2021 8:47:09 AM

- 1 BEDROOM / 1 BATH
- 1 BEDROOM / 1 BATH w/ DEN
- 2 BEDROOM
- 2 BEDROOM / 1-1/2 BA
- 2 BEDROOM DUET
- AL - STUDIO
- COMMUNITY AREAS
- HORIZONTAL CIRCULATION
- MC - STUDIO
- NURSING SUPPORT
- OFFICE AREA
- SUPPORT
- VERTICAL CIRCULATION

RESIDENT UNIT TYPES - FIRST FLOOR			QUANTITY
LEVEL 1			
AL - 1 BR / 1 BA (CLOSED) - ACC			3
AL - 1 BR / 1 BA (CLOSED) - TYPE B			3
AL - 1 BR / 1 BA (OPEN) - ACC			6
AL - 1 BR / 1 BA (OPEN) - TYPE B			6
AL - 1 BR / 1 BA EXTENDED - ACC			2
AL - 1 BR / 1 BA EXTENDED - TYPE B			1
AL - 2 BR / 1-1/2 BA - ACC			1
AL - 2 BR / 1-1/2 BA - TYPE B			2
AL - 2 BR / 2 BA - ACC			1
AL - STUDIO - ACC			2
AL - STUDIO - TYPE B			3
MC - DUET - ACC			2
MC - DUET - TYPE B			2
MC - STUDIO - ACC			11
MC - STUDIO - TYPE B			11

GROSS FLOOR AREA
FIRST FLOOR : 61,197 SF
SECOND FLOOR : 29,196 SF
TOTAL : 90,393 SF

1 LEVEL 1 - OVERALL PLAN
SCALE: 1/16" = 1'-0"



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MELODY LIVING: ASSISTED LIVING & MEMORY CARE

75TH STREET
AURORA, IL. 60504

ISSUE DATE
PLANNING & ZONNIG 02/04/2021

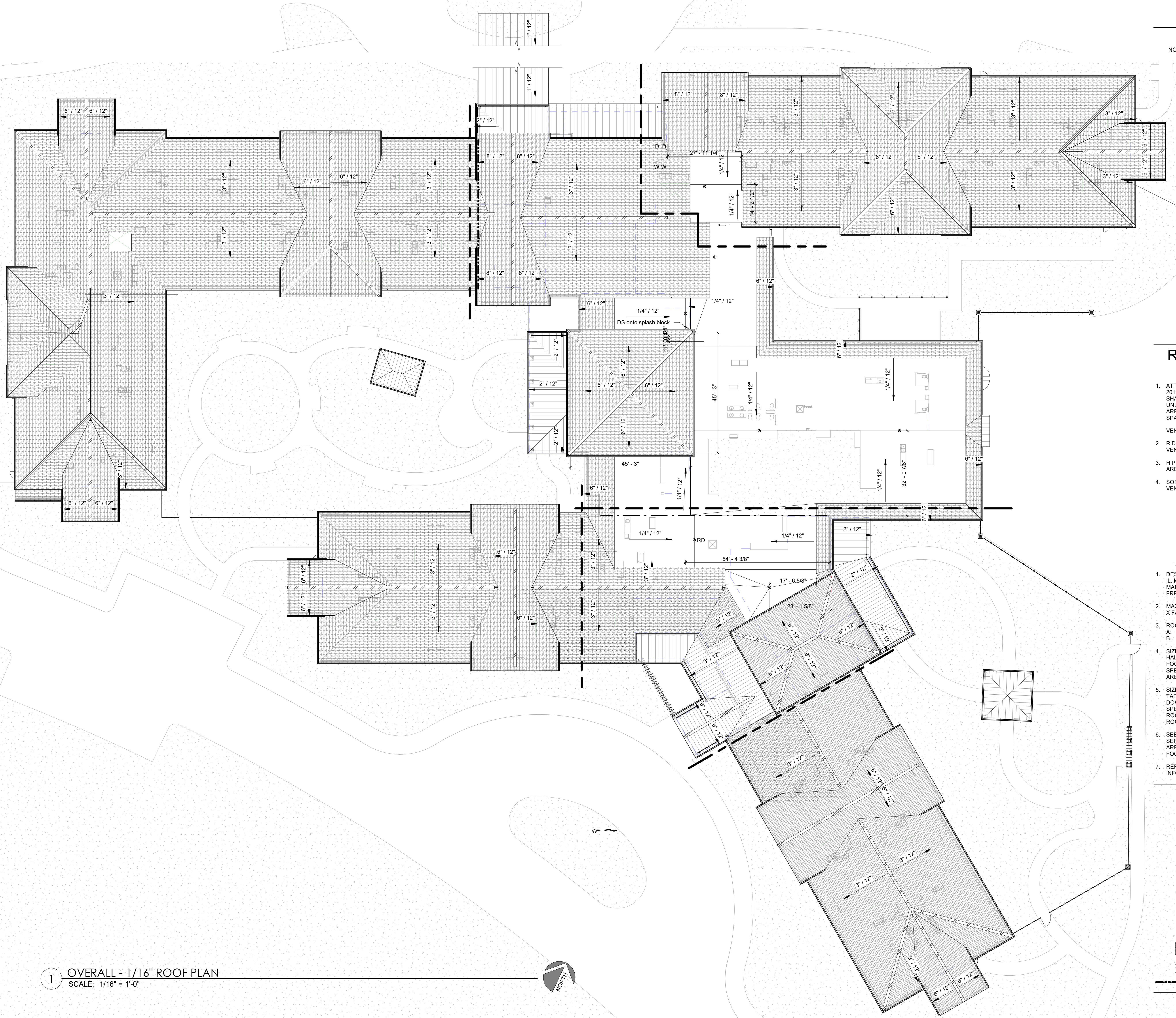
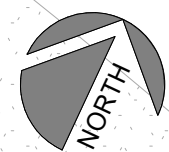
JOB NUMBER 03-19-0300
LEVEL 1 - OVERALL FIRST
FLOOR PLAN

PL-01



File: C:\Users\RMahoney\Desktop\Revit Files\0319300_R21_ALMC_mahoney\UNVC.rvt
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1 OVERALL - 1/16" ROOF PLAN
SCALE: 1/16" = 1'-0"



KEYNOTES

NOTE: ALL KEYNOTES MAY NOT OCCUR ON EVERY SHEET



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ROOF VENTILATION REQUIREMENTS

- ATTIC AREA VENTILATION CALCULATIONS ARE BASED ON IBC 2015 SECTION 1203.2 - AN AIRSPACE NOT LESS THAN 1 INCH SHALL BE PROVIDED BETWEEN INSULATION AND THE UNDERSIDE OF ROOF SHEATHING. NET FREE VENTILATION AREA SHALL BE NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.

VENTILATION SHALL BE AS FOLLOWS:

- RIDGE VENTILATION: 18 NET SQUARE INCHES FREE VENTILATION AREA PER LINEAL FOOT OF RIDGE VENT.
- HIP VENTILATION: 9 NET SQUARE INCHES FREE VENTILATION AREA PER LINEAL FOOT OF HIP VENT.
- SOFFIT VENTILATION: 5 NET SQUARE INCHES FREE VENTILATION AREA PER LINEAL FOOT OF VENTED SOFFIT

ROOF DRAINAGE CALCULATIONS

- DESIGN LOAD: RAINFALL AT 100 YEAR STORM PER AURORA IL MUNICIPAL CODE, SECTION IV STORM WATER MANAGEMENT: DESIGN RAINFALL FOR THE 100 - YEAR FREQUENCY FOR 1 - HOUR = 3.95 INCHES PER HOUR
- MAXIMUM ROOF AREA PER GUTTER: RAINFALL INTENSITY 3.95 X FACTOR 0.0104 = 0.04108 GPM
- ROOF AREA CALCULATION WITH ROOF SLOPE:
A. 1 TO 3 IN 12 PITCH = ROOF AREA X 1.0 MULTIPLIER
B. 6 TO 8 IN 12 PITCH = ROOF AREA X 1.1 MULTIPLIER
- SIZE OF ROOF GUTTERS PER 2015 IPC TABLE 1106.6: 6-INCH HALF ROUND GUTTER (14.13 SQ. IN. AREA) AT 1/8 INCH PER FOOT SLOPE CAPACITY = 110 GPM. NOTE ACTUAL GUTTER SPECIFIED: 5-INCH K STYLE = 14.4 SQ. IN. AREA MAX ROOF AREA PER GUTTER: 110 GPM / 0.04108 = 2,700 SF ROOF AREA
- SIZE OF VERTICAL LEADERS (DOWNSPOUTS) PER 2015 IPC TABLE 1106.3: 2.5 INCH X 3 INCH (7.50 SQ. IN AREA) DOWNSPOUT = 90 GPM NOTE ACTUAL DOWNSPOUT SPECIFIED: 2.37 INCH X 3.25 INCH = 7.52 SQ. IN. AREA MAX ROOF AREA PER DOWNSPOUT 90 GPM / 0.04108 = 2,200 SF ROOF AREA
- SEE ROOF PLAN FOR ROOF DRAINAGE TRIBUTARY AREAS SERVED BY GUTTERS AND DOWNSPOUTS. TRIBUTARY AREAS ARE DEPICTED BY DASHED BOUNDARY LINES. THE SQUARE FOOTAGE IS INDICATED FOR EACH TRIBUTARY AREA.
- REFER TO PLUMBING DRAWINGS FOR INTERIOR ROOF DRAIN INFORMATION

LEGEND

1000 S.F.	TRIBUTARY ROOF DRAINAGE AREA PER GUTTER AND DOWNSPOUT
	RIDGE VENT & HIP VENT
	GUTTER
E.J.	E.J. - GUTTER EXPANSION JOINT
D.S.	D.S. - DOWN SPOUT
R.D.	R.D. - ROOF DRAIN
O.R.D.	O.R.D. - OVERFLOW ROOF DRAIN
	WALKWAY PADS
	TAPERED INSULATION
	ADDITIONAL LAYER OF PLAYWOOD AND BLOCKING IN ROOF ASSEMBLY
	2 HOUR FIRE BARRIER AT FLOOR BELOW

MELODY LIVING: ASSISTED
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ROOF PLAN

PL-03



4 MEMORY CARE - FRONT ENTRY
SCALE:



3 ASSISTED LIVING - MAIN ENTRY
SCALE:



2 MEMORY CARE - MAIN ENTRY
SCALE:



1 ASSISTED LIVING - EAST WING
SCALE:

ELEVATIONS

KEYNOTES

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LEGEND

- HARDIE BOARD - LAP SIDING - DARK
- HARDIE BOARD - LAP SIDING - ACCENT COLOR
- HARDIE BOARD - LAP SIDING - LIGHT
- BRICK - JUMBO 4x12 - PRIMARY
- BRICK - JUMBO 4x12 - SECONDARY
- HARDIE BOARD - BOARD AND TRIM
- HARDIE BOARD - BOARD AND TRIM (ACCENT COLOR)

GENERAL NOTES

1. FOR TYPICAL MATERIAL TRANSITION ELEVATION DETAILS, REFER TO A3.03 - A3.06

MELODY LIVING: ASSISTED LIVING & MEMORY CARE

75TH STREET
AURORA, IL. 60504

ISSUE DATE
PLANNING & ZONNIG 02/04/2021

JOB NUMBER 03-19-0300
EXTERIOR ELEVATIONS

PL-05

- T.O. ROOF 38' - 7 1/4"
- T.O. ROOF EAVE 26' - 5"
- LEVEL 2 14' - 0"
- FLAT ROOF TRUSS BEARING 12' - 0"
- MC ROOF BEARING 9' - 1 1/8"
- LEVEL 1 0"

4 WEST ELEVATION
SCALE: 1/16" = 1'-0"

- T.O. ROOF 38' - 7 1/4"
- T.O. ROOF EAVE 26' - 5"
- LEVEL 2 14' - 0"
- FLAT ROOF TRUSS BEARING 12' - 0"
- MC ROOF BEARING 9' - 1 1/8"
- LEVEL 1 0"

3 EAST ELEVATION
SCALE: 1/16" = 1'-0"

- T.O. ROOF 38' - 7 1/4"
- T.O. ROOF EAVE 26' - 5"
- LEVEL 2 14' - 0"
- FLAT ROOF TRUSS BEARING 12' - 0"
- MC ROOF BEARING 9' - 1 1/8"
- LEVEL 1 0"

2 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

- T.O. ROOF 38' - 7 1/4"
- T.O. ROOF EAVE 26' - 5"
- LEVEL 2 14' - 0"
- FLAT ROOF TRUSS BEARING 12' - 0"
- MC ROOF BEARING 9' - 1 1/8"
- LEVEL 1 0"

1 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

Elevation Data Table: Elevations		
Description	Value	Unit
a) Building Height in feet (typical)	37.50	feet
b) Total Building Square Footage (typical)	90,393.00	Square Feet
c) First Floor Building Square Footage (typical)	61,197.00	Square Feet
d) Number of building stories (typical)	2.00	Square Feet
e) Exterior Material List (including colors) for all buildings and accessory strutures:		
5" Cement Board Lap Siding - SW 7549 Studio Taupe; 5" Cement Board Lap Siding -SW 6194 Basil;		
8" Cement Board Lap Siding - SW 7514 Foothills; Cement Board Siding - SW 7549 Studio Taupe;		
Cement Board Siding - SW 6194 Basil; 4" x 12" Jumbo Brick - Belden Brick; Canyon Full Range		
Velour; 4" x 12" Jumbo Brick - Belden Brick; Modular Blend No.671, Smooth; Asphalt shingle- Grey;		
Standing Seam Metal Roofing- Grey; Cementitious trim - SW 7614 Silverplate; Aluminum Fence -		
Black, Composite Fence - Bifftech Galveston 6" Fence Natural Clay		



ASSISTED LIVING (ENTRY)

ASSISTED LIVING (WEST WING)
WEST ELEVATION, NO REQUIREMENT FOR BRICK
WALL AREA: 4,044 SQ. FT. AREA
BRICK AREA: 2,333 SQ. FT. AREA (57%)

MEMORY CARE (WEST WING)

MEMORY CARE (ENTRY)



MEMORY CARE (EAST WING)

MEMORY CARE COURTYARD

SERVICE COURTYARD

ASSISTED LIVING (EAST WING)



ASSISTED LIVING (WEST WING):
WALL AREA: 1,427 SQ. FT.
BRICK AREA: 495 SQ. FT.

ASSISTED LIVING COURTYARD

WEST WING:
WALL AREA: 1,445 SQ. FT.
BRICK AREA: 877 SQ. FT.

MEMORY CARE (ENTRY)

ENTRY:
WALL AREA: 829 SQ. FT.
BRICK AREA: 829 SQ. FT.

WEST WING:
WALL AREA: 1,445 SQ. FT.
BRICK AREA: 877 SQ. FT.

WEST WING:
WALL AREA: 607 SQ. FT.
BRICK AREA: 360 SQ. FT.

SOUTH ELEVATION:
WALL AREA: 5,753 SQ. FT.
BRICK AREA: 3,438 SQ. FT. (59%)



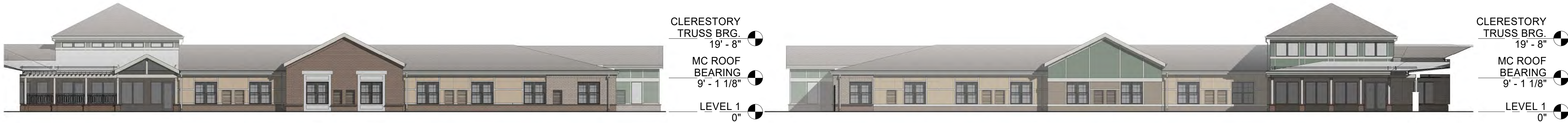
ASSISTED LIVING (EAST WING)

ASSISTED LIVING (ENTRY)
NORTH ELEVATION: 12,891 SQ. FT AREA
BRICK MASONRY: 8,140 SQ. FT. AREA (63%)

ASSISTED LIVING (WEST WING)

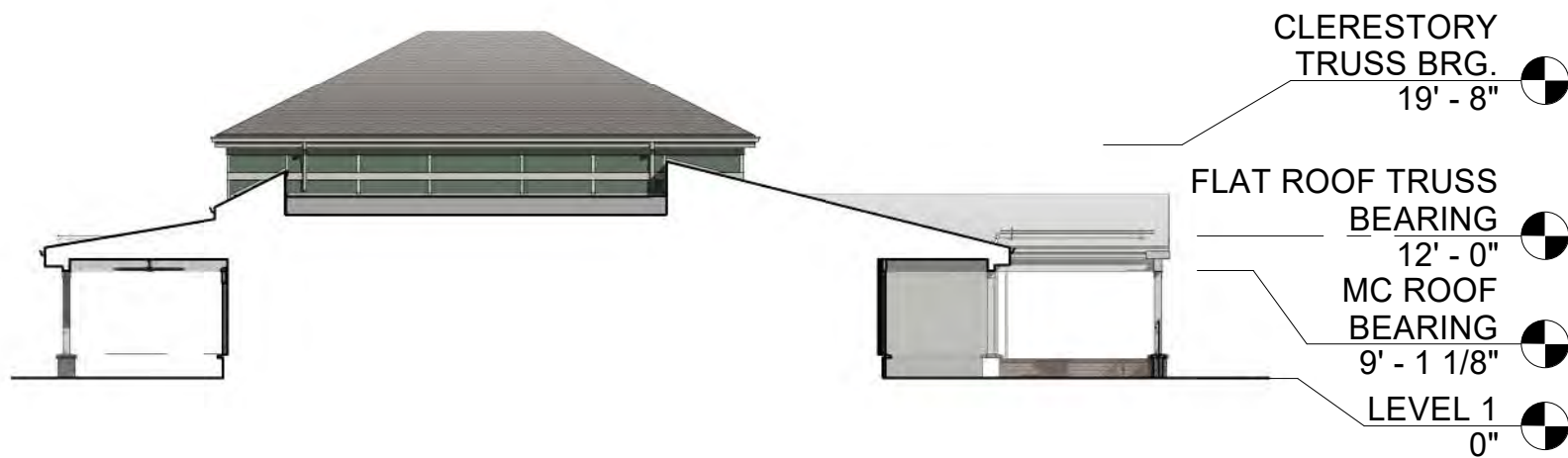


13 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



11 MC SOUTHWEST ELEVATION
SCALE: 1/16" = 1'-0"

10 MC WEST COURTYARD ELEVATION
SCALE: 1/16" = 1'-0"



9 MC PARTIAL SOUTHEAST ELEV
SCALE: 1/16" = 1'-0"



8 MC WEST WING ELEVATION
SCALE: 1/16" = 1'-0"

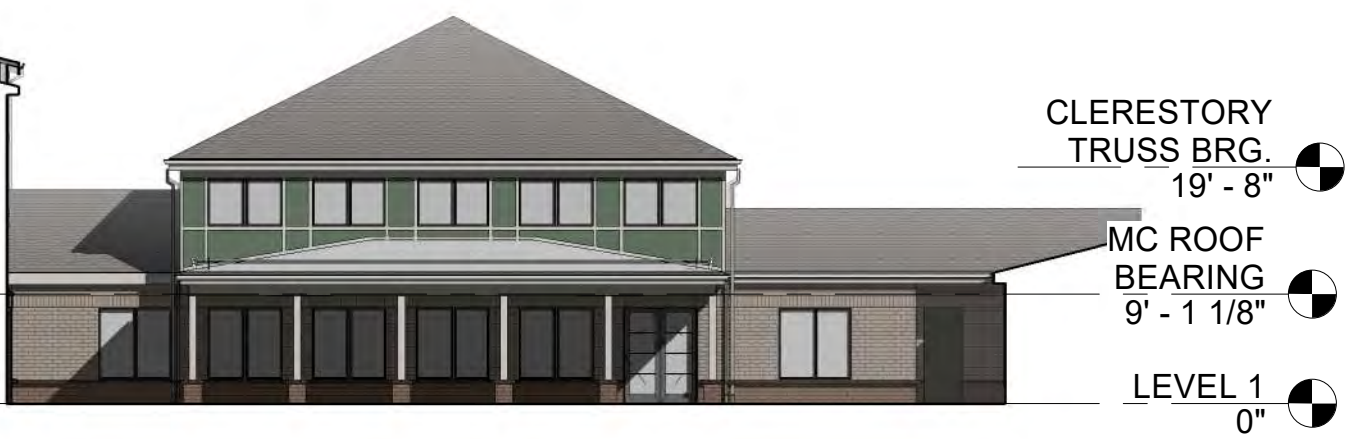


7 MC SOUTHEAST WING ELEV
SCALE: 1/16" = 1'-0"

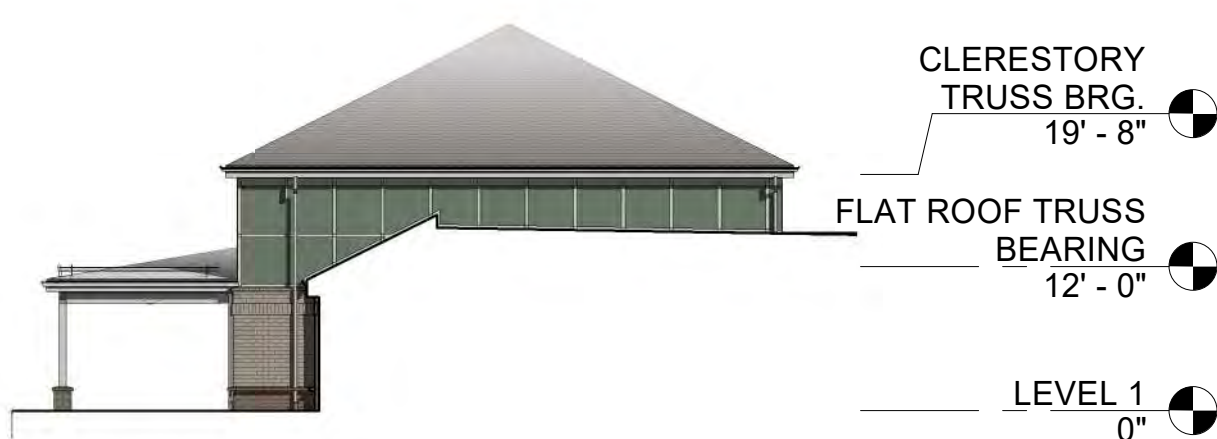
6 MC PARTIAL NORTHWEST ELEV
SCALE: 1/16" = 1'-0"



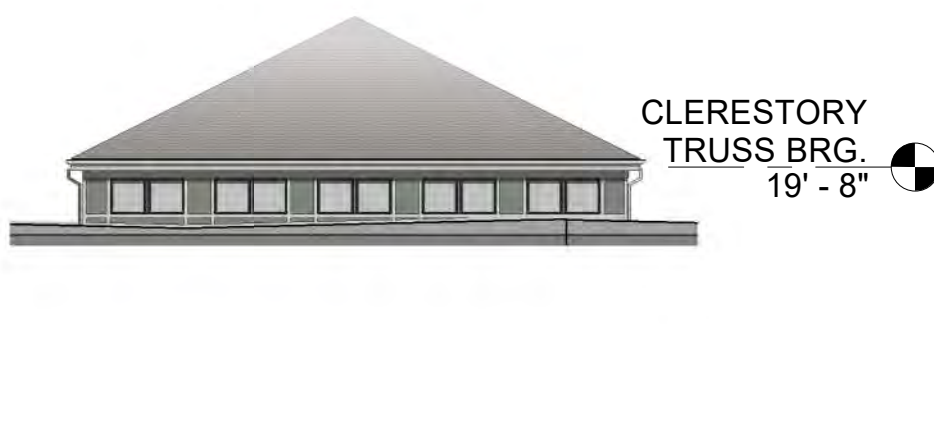
5 COURTYARD SOUTH
SCALE: 1/16" = 1'-0"



3 AL EAST COURTYARD ELEV.
SCALE: 1/16" = 1'-0"



2 AL MAIN DINING NORTH ELEV
SCALE: 1/16" = 1'-0"



12 AL DINING EAST ELEV
SCALE: 1/16" = 1'-0"



1 AL WEST COURTYARD ELEV.
SCALE: 1/16" = 1'-0"

KEYNOTES

NOTE: ALL KEYNOTES MAY NOT OCCUR ON EVERY SHEET

LEGEND

- HARDIE BOARD - LAP SIDING - DARK
- HARDIE BOARD - LAP SIDING - ACCENT COLOR
- HARDIE BOARD - LAP SIDING - LIGHT
- BRICK - JUMBO 4x12 - PRIMARY
- BRICK - JUMBO 4x12 - SECONDARY
- HARDIE BOARD - BOARD AND TRIM
- HARDIE BOARD - BOARD AND TRIM (ACCENT COLOR)

GENERAL NOTES

- FOR TYPICAL MATERIAL TRANSITION ELEVATION DETAILS, REFER TO A3.03 - A3.06



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EXTERIOR ELEVATIONS

PL-06

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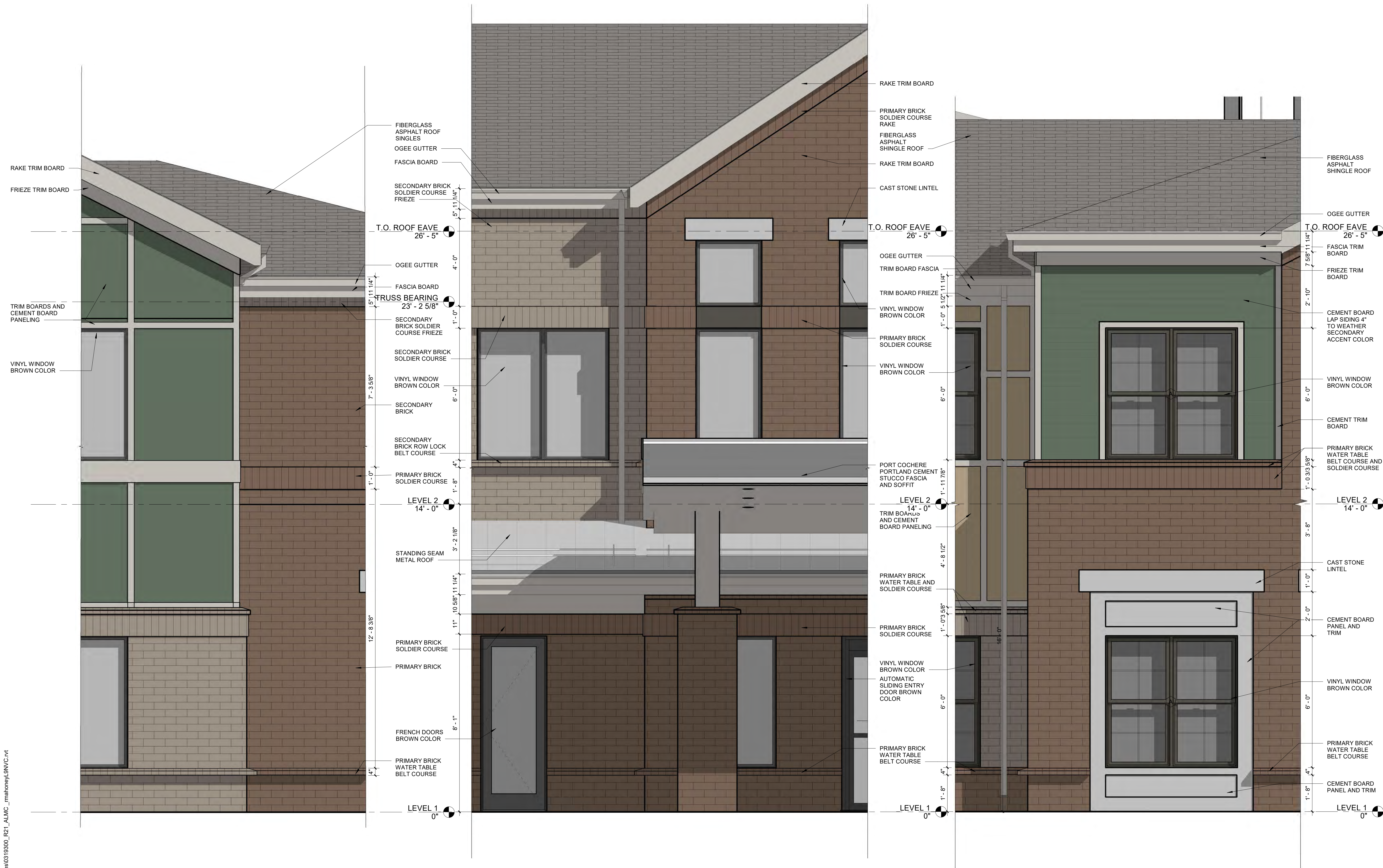
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ENLARGED EXTERIOR
ELEVATIONS

PL-07



3 SUNROOM BOARD & PANEL TO BRICK TRANSITION
SCALE: 1/2" = 1'-0"

2 NORTH ENTRY BRICK DETAIL
SCALE: 1/2" = 1'-0"

1 BRICK TO SIDING TRANSITION B
SCALE: 1/2" = 1'-0"

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ENLARGED EXTERIOR
ELEVATIONS

PL-08



**MELODY LIVING: ASSISTED
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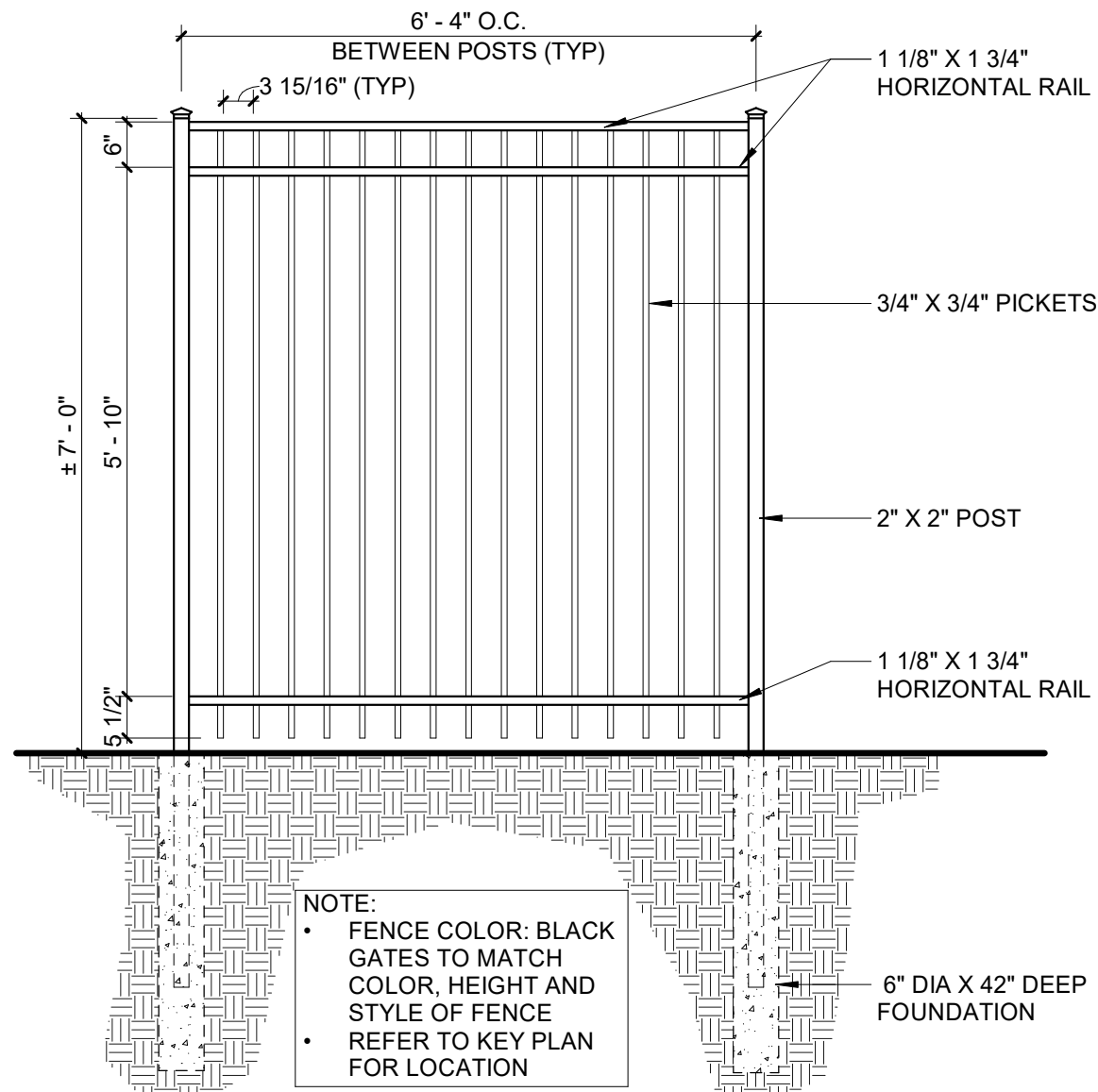
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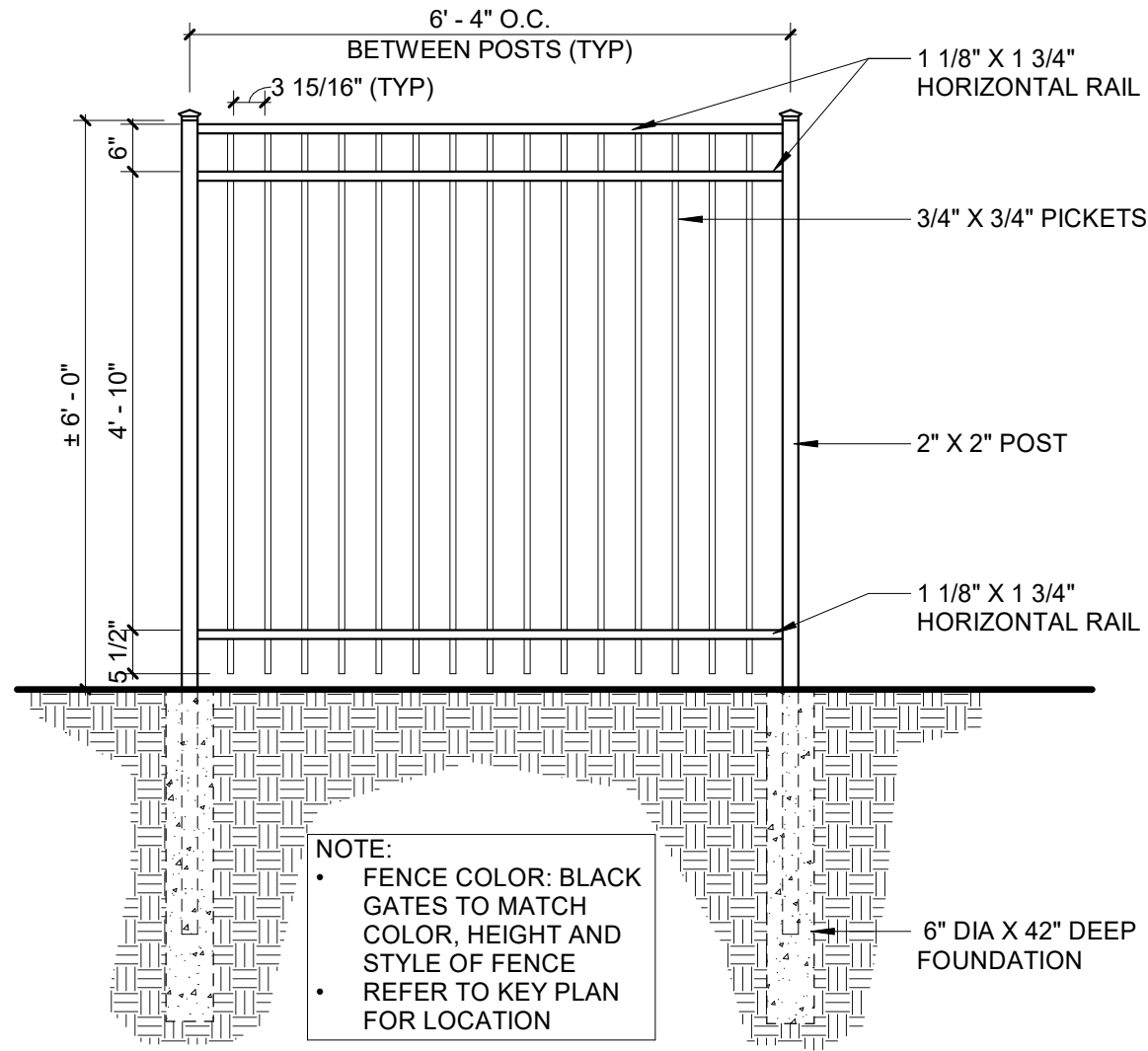
EXTERIOR IMPROVEMENTS

PL-09

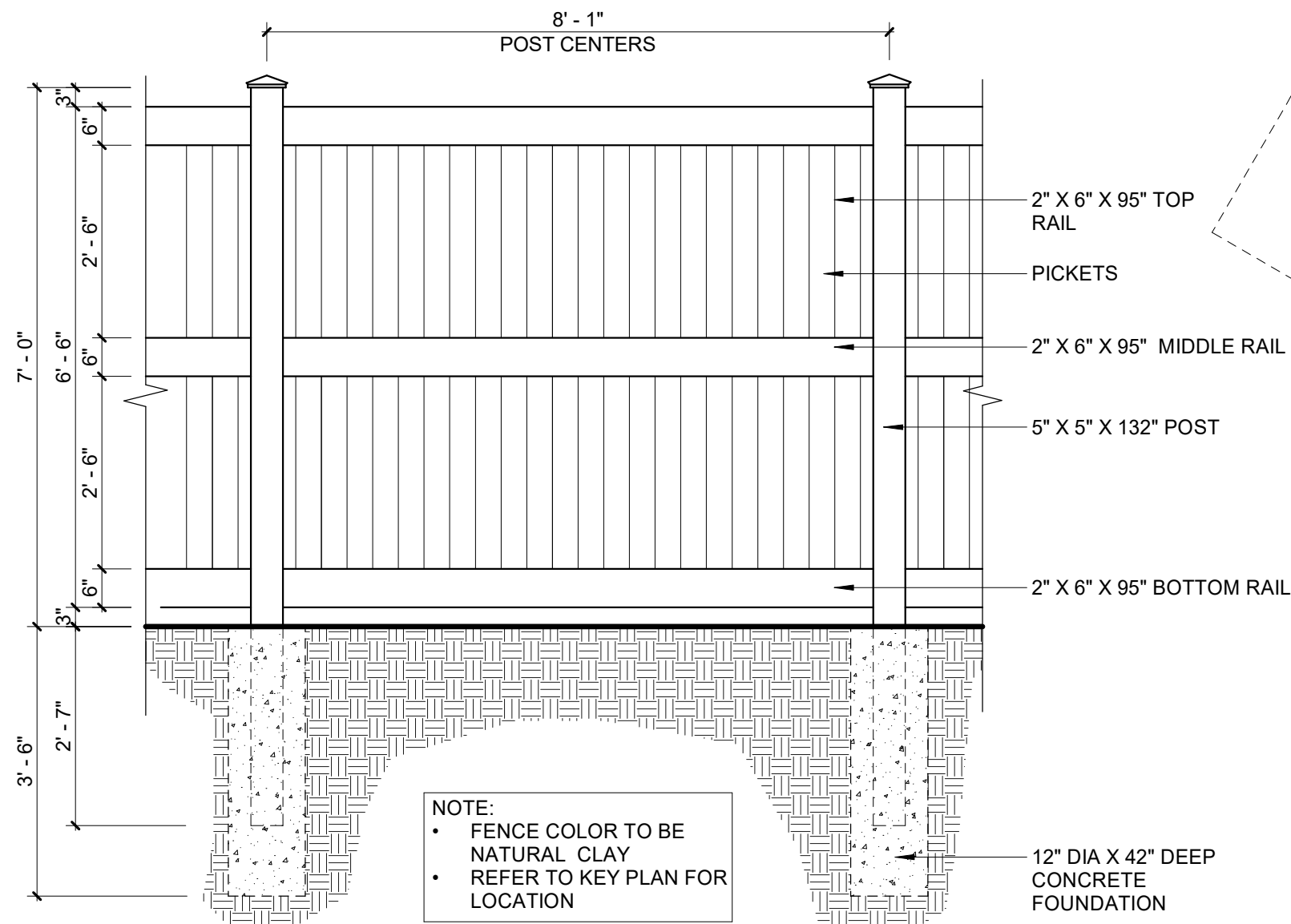
Ground Sign #	Description	Value	Unit	
1	i) Length of street frontage - on which Sign is Located	432	Feet	
	ii) Width of Sign Face	15.00	Feet	
	iii) Height of Sign Face	3.33	Feet	
	vi) Square Footage of Sign Face	50	Square Feet	
	v) Height of Sign (overall)	7	Feet	
	vi) Width of Sign (overall)	19	Feet	
	vii) Type of Sign	Double Sided Illuminated, acrylic faced box sign		
	viii) Type of Sign Base	Masonry		
	ix) Is there a Digital Display		No	
		If Yes then, Location of Digital Display on the sign		
		Height of Digital Display		Feet
	Width of Digital Display		Feet	
	Square Footage of Digital Display	-	Square Feet	
	Percent of Digital Display Sign Coverage		Percent	
Ground Sign #	Description	Value	Unit	
2	i) Length of street frontage - on which Sign is Located	400	Feet	
	ii) Width of Sign Face	15.00	Feet	
	iii) Height of Sign Face	3.33	Feet	
	vi) Square Footage of Sign Face	50	Square Feet	
	v) Height of Sign (overall)	7	Feet	
	vi) Width of Sign (overall)	19	Feet	
	vii) Type of Sign	Double Sided Illuminated, acrylic faced box sign		
	viii) Type of Sign Base	Masonry		
	ix) Is there a Digital Display		No	
		If Yes then, Location of Digital Display on the sign		
		Height of Digital Display		Feet
	Width of Digital Display		Feet	
	Square Footage of Digital Display	-	Square Feet	
	Percent of Digital Display Sign Coverage		Percent	



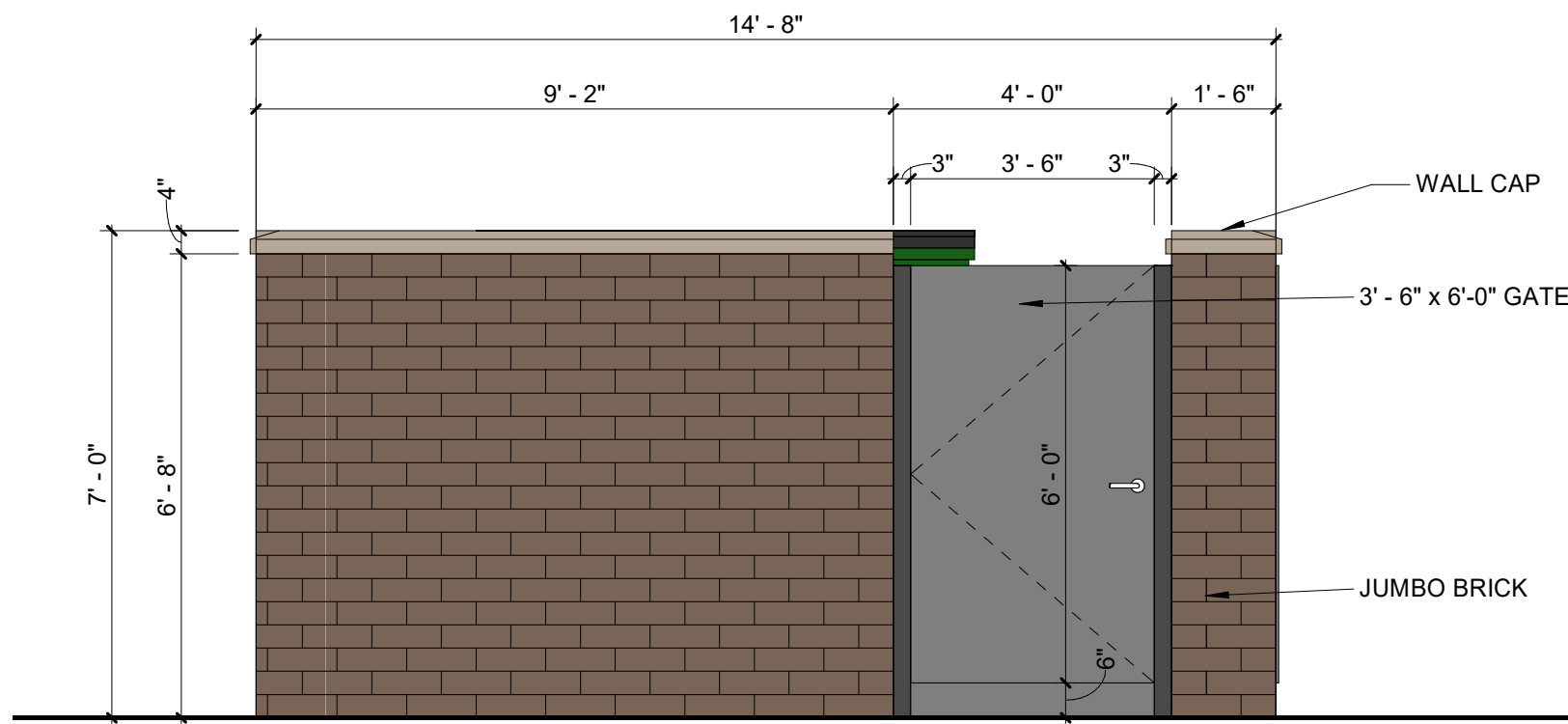
7' ALUMINUM FENCE ELEVATION @ MEMORY CARE COURTYARD
SCALE: 1/2" = 1'-0"



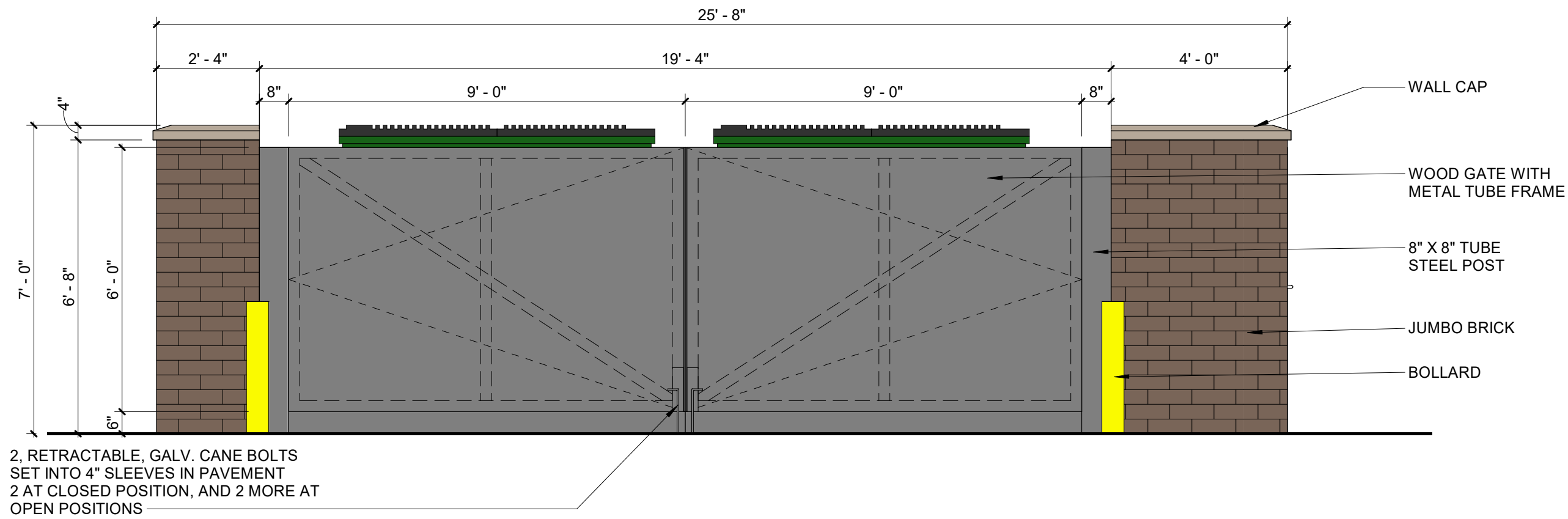
6' ALUMINUM FENCE ELEVATION @ ASSISTED LIVING COURTYARD
SCALE: 1/2" = 1'-0"



7' PRIVACY FENCE ELEVATION @ MEMORY CARE COURTYARD & SERVICE AREAS
SCALE: 1/2" = 1'-0"



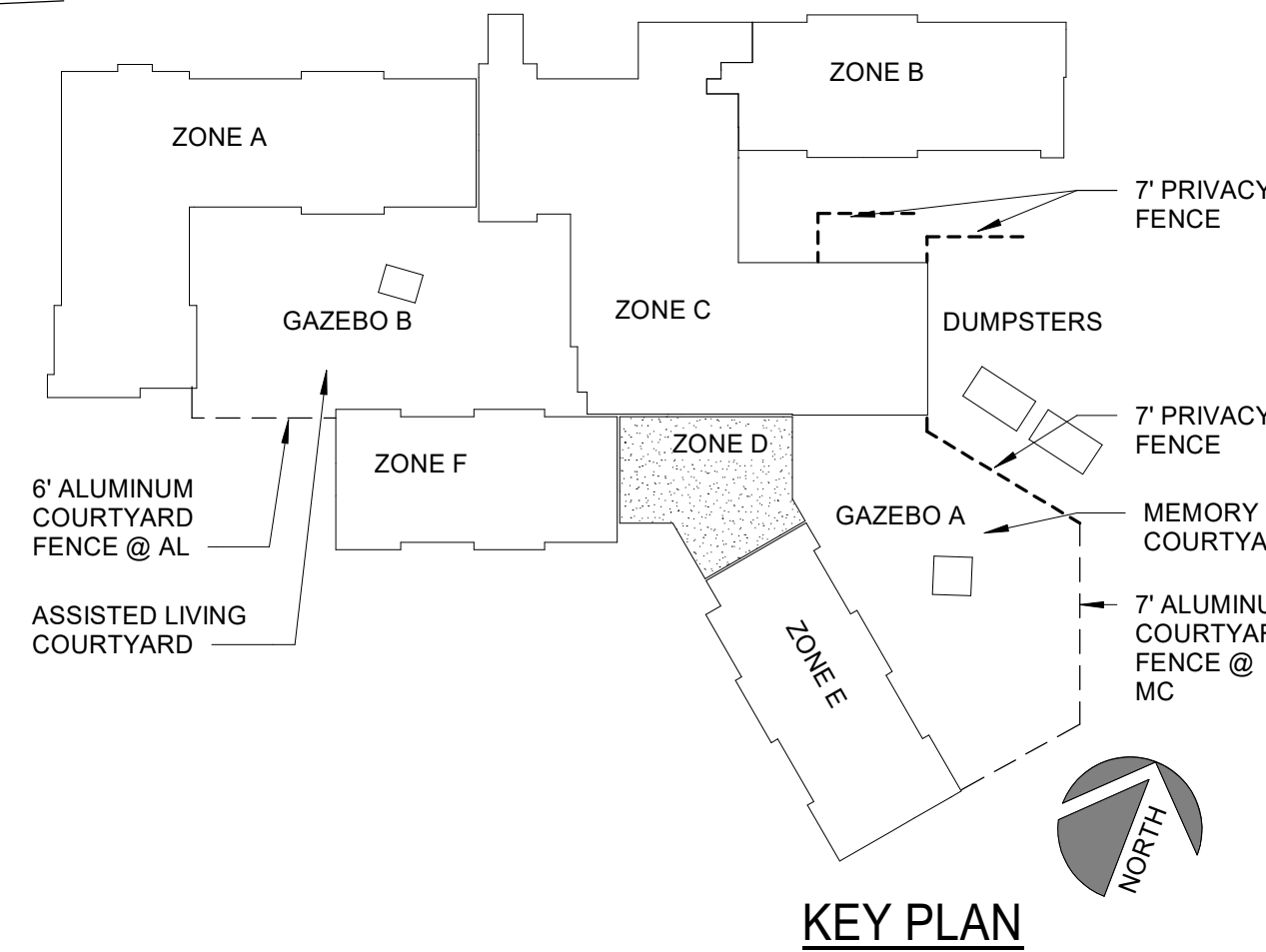
DUMPSTER ENCLOSURE - SIDE - MAN DOOR (TYP)
SCALE: 3/8" = 1'-0"



DUMPSTER ENCLOSURE - FRONT (TYP)
SCALE: 3/8" = 1'-0"



ENLARGED FLOOR PLAN - DUMPSTER ENCLOSURE
SCALE: 1/4" = 1'-0"



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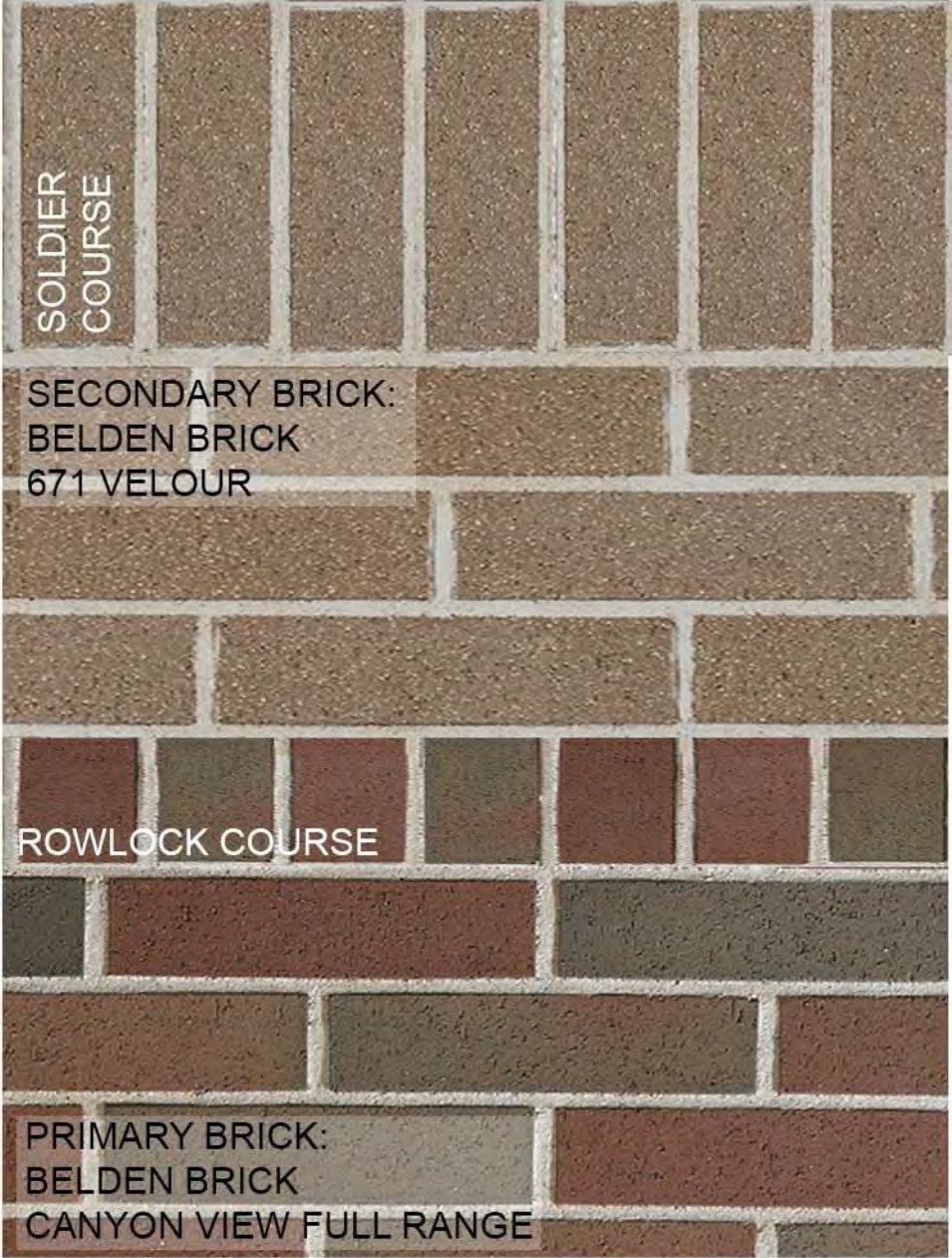
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EXTERIOR WINDOW TYPES





ASPHALT SHINGLE



STANDING SEAM METSAL ROOF



ACCENT COLOR (SECONDARY
LAP SIDING & BOARD PANEL SIDING)

LAP & BOARD
SIDING
(PRIMARY)

TRIM, SOFFIT,
EXTERIOR
CEUILINGS

DOORS &
WINDOWS
(VINYL)



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COLOR &
MATERIAL
PALETTE

PL-12