

OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT _____ LLC, A _____ LIMITED LIABILITY COMPANY, IS THE RECORD OWNER OF A PORTION OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE AFFIXED HEREON, AND DOES HEREBY CONSENT TO THE GRANT OF EASEMENT DEPICTED HEREON.

DATED THIS ____ DAY OF _____, 20____

SIGNATURE _____

PLEASE TYPE/PRINT THE AUTHORIZED INDIVIDUAL'S NAME, TITLE, CORPORATION/COMPANY NAME, AND ADDRESS:

A _____ LLC, LIMITED LIABILITY COMPANY

BY: _____

BY: _____ LIMITED LIABILITY COMPANY ITS MANAGING MEMBER

NAME: _____ TITLE: _____

AFFIX CORPORATE SEAL IF APPROPRIATE

NOTARY'S CERTIFICATE

STATE OF _____)
)SS
COUNTY OF _____)

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE AFORESAID COUNTY AND STATE, DO HEREBY CERTIFY THAT THE FOREGOING SIGNATOR OF THE OWNER'S CERTIFICATE IS PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND THAT SAID INDIVIDUAL APPEARED AND DELIVERED SAID INSTRUMENT AS A FREE AND VOLUNTARY ACT OF THE CORPORATION AND THAT SAID INDIVIDUAL DID ALSO THEN AND THERE ACKNOWLEDGE THAT HE OR SHE IS A CUSTODIAN OF THE CORPORATE SEAL OF SAID CORPORATION AND DID AFFIX SAID SEAL OF SAID CORPORATION TO SAID INSTRUMENT AS HIS OR HER OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, AS OWNER, FOR THE USES AND PURPOSES THEREIN SET FORTH IN THE AFORESAID INSTRUMENT.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____, 20____

NOTARY _____

PLEASE TYPE/PRINT NAME

NOTARY'S SEAL

MORTGAGEE'S CERTIFICATE

THIS IS TO CERTIFY THAT I, THE UNDERSIGNED, AS AN AUTHORIZED AGENT UNDER THE PROVISIONS OF A MORTGAGE AGREEMENT DATED AND RECORDED ON _____ IN DUPAGE COUNTY IN THE STATE OF ILLINOIS AS DOCUMENT _____ HEREBY CERTIFY THAT _____ NATIONAL BANKING ASSOCIATION, IN ITS CAPACITY AS ADMINISTRATIVE AGENT FOR ITSELF AND OTHER LENDERS IS THE MORTGAGEE OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE AFFIXED HEREON, AND THAT AS SUCH IT DOES HEREBY ACKNOWLEDGE THE PROVISIONS OF THE OWNERS CERTIFICATE, AFFIXED HEREON.

DATED THIS ____ DAY OF _____, 20____

SIGNATURE _____

PLEASE TYPE/PRINT THE AUTHORIZED INDIVIDUAL'S NAME, TITLE CORPORATION/COMPANY NAME, AND ADDRESS:

BY: _____

BY: _____ ITS: _____

AFFIX CORPORATE SEAL IF APPROPRIATE

NOTARY'S CERTIFICATE

STATE OF TEXAS)
)SS
COUNTY OF DALLAS)

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE AFORESAID COUNTY AND STATE, DO HEREBY CERTIFY THAT THE FOREGOING SIGNATOR OF THE OWNER'S CERTIFICATE IS PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND THAT SAID INDIVIDUAL APPEARED AND DELIVERED SAID INSTRUMENT AS A FREE AND VOLUNTARY ACT OF THE CORPORATION AND THAT SAID INDIVIDUAL DID ALSO THEN AND THERE ACKNOWLEDGE THAT HE OR SHE IS A CUSTODIAN OF THE CORPORATE SEAL OF SAID CORPORATION AND DID AFFIX SAID SEAL OF SAID CORPORATION TO SAID INSTRUMENT AS HIS OR HER OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, AS OWNER, FOR THE USES AND PURPOSES THEREIN SET FORTH IN THE AFORESAID INSTRUMENT.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____, 20____

NOTARY _____

PLEASE TYPE/PRINT NAME

NOTARY'S SEAL

COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
)SS
COUNTY OF KANE)

I, THE UNDERSIGNED, AS THE RECORDER OF DEEDS FOR KANE COUNTY DO HEREBY CERTIFY THAT INSTRUMENT NUMBER _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KANE COUNTY, ILLINOIS, ON THE _____ DAY OF _____, A.D., 20____ AT _____ O'CLOCK ____M.

RECORDER OF DEEDS _____

PLEASE TYPE / PRINT NAME

PLAT OF EASEMENT DEDICATION OVER

PART OF LOT 1 IN SUSSEX COURT SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 3, 2001 AS DOCUMENT R2001-051392

CITY ENGINEER'S CERTIFICATE

STATE OF ILLINOIS)
)SS
COUNTY OF KANE)

I, THE UNDERSIGNED, AS CITY ENGINEER OF THE CITY OF AURORA, KANE/DUPAGE COUNTIES, ILLINOIS, DO HEREBY CERTIFY THAT THIS DOCUMENT IS APPROVED UNDER MY OFFICES THIS ____ DAY OF _____, A.D., 20____

CITY ENGINEER _____

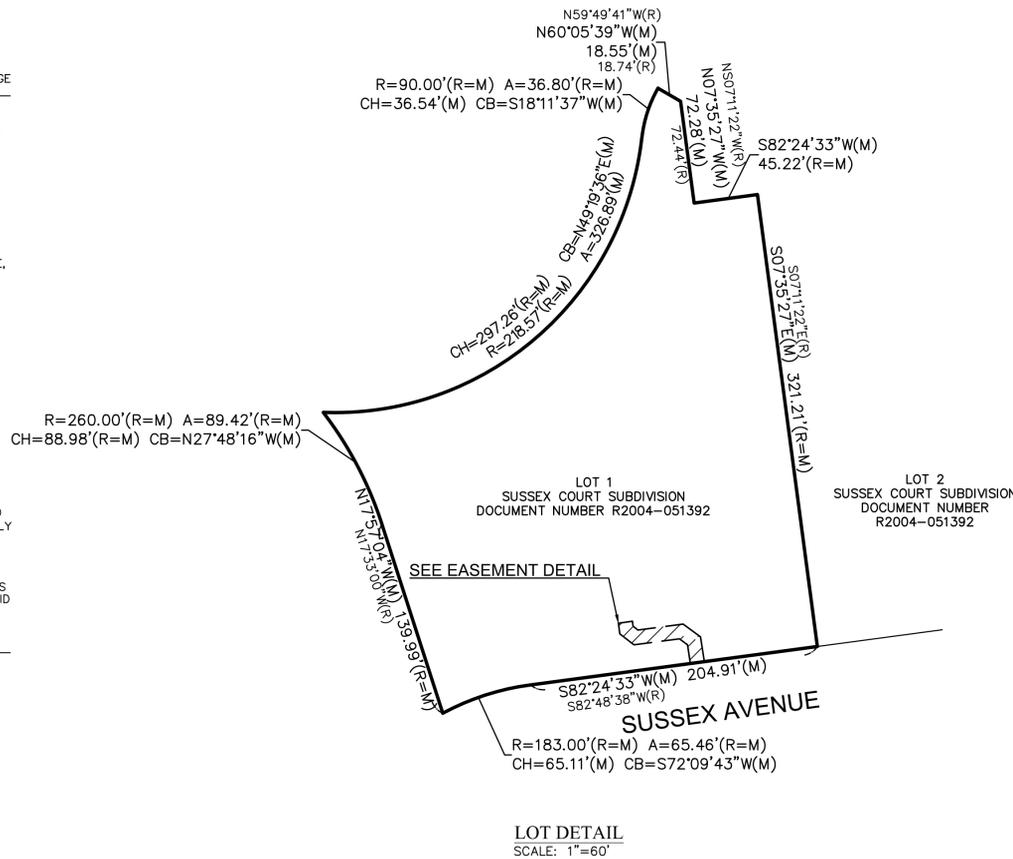
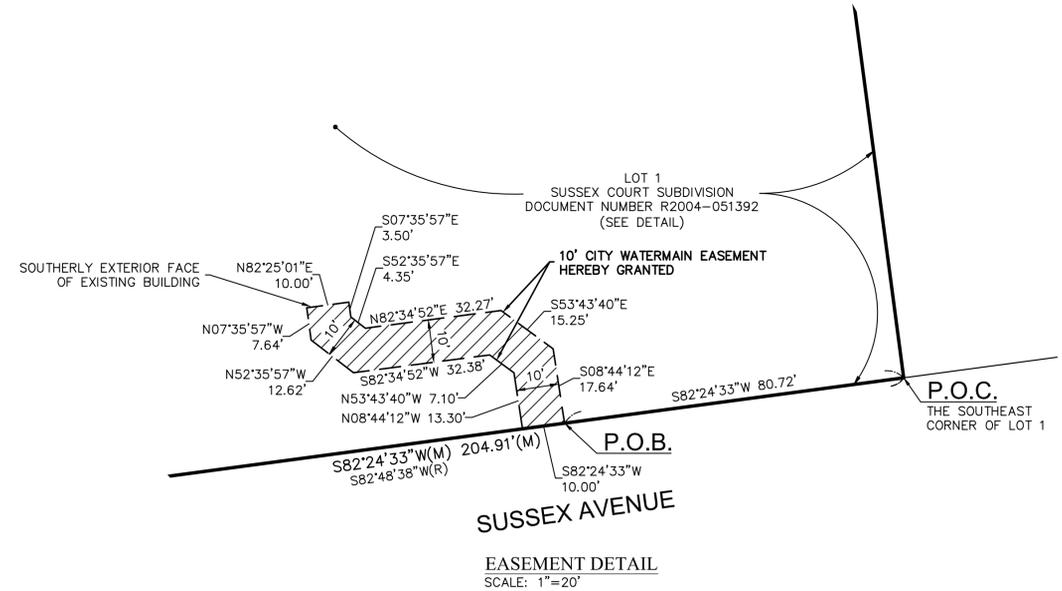
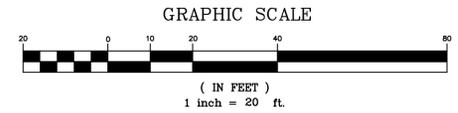
PLEASE TYPE/PRINT NAME

CITY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
)SS
COUNTY OF KANE)

THIS IS TO CERTIFY THAT THE ABOVE PLAT CORRECTLY REPRESENTS THE GRANT OF EASEMENT DEPICTED HEREON, AND ACCEPTED BY RESOLUTION NUMBER _____ A PROPER RESOLUTION ADOPTED BY THE AURORA CITY COUNCIL ON _____, 20____

CITY CLERK _____



LEGAL DESCRIPTION (CITY WATERMAIN EASEMENT)

THAT PART OF LOT 1 IN SUSSEX COURT SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 3, 2001 AS DOCUMENT R2001-051392 AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 1; THENCE SOUTH 82 DEGREES 24 MINUTES 33 SECONDS WEST ALONG THE SOUTHERLY LINE OF SAID LOT 1, A DISTANCE OF 80.72 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID SOUTHERLY LINE SOUTH 82 DEGREES 24 MINUTES 33 SECONDS, 10.00 FEET; THENCE NORTH 08 DEGREES 44 MINUTES 12 SECONDS WEST, 13.30 FEET; THENCE SOUTH 53 DEGREES 43 MINUTES 40 SECONDS WEST, 7.10 FEET; THENCE SOUTH 82 DEGREES 34 MINUTES 52 SECONDS WEST, 32.38 FEET; THENCE NORTH 52 DEGREES 35 MINUTES 57 SECONDS, 12.62 FEET; THENCE NORTH 07 DEGREES 35 MINUTES 57 SECONDS WEST, 7.64 FEET TO THE SOUTHERLY EXTERIOR FACE OF THE EXISTING BUILDING; THENCE NORTH 82 DEGREES 25 MINUTES 01 SECOND EAST ALONG SAID EXTERIOR FACE, 10.00 FEET; THENCE SOUTH 07 DEGREES 35 MINUTES 57 SECONDS EAST, 4.35 FEET; THENCE NORTH 82 DEGREES 34 MINUTES 52 SECONDS EAST, 32.27 FEET; THENCE SOUTH 53 DEGREES 43 MINUTES 40 SECONDS EAST, 15.25 FEET; THENCE SOUTH 08 DEGREES 44 MINUTES 12 SECONDS EAST, 17.64 FEET TO THE POINT OF BEGINNING IN DUPAGE COUNTY, ILLINOIS.

CITY WATERMAIN EASEMENT

A CITY WATERMAIN EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF AURORA ("CITY") AND ITS PERMITEES OR LICENSEES FOR ALL AREAS HERON PLATTED AND DESIGNATED "CITY WATERMAIN EASEMENT". TO CONSTRUCT, INSTALL, RECONSTRUCT, REPAIR, REMOVE, REPLACE, INSPECT, MAINTAIN AND OPERATE WATER TRANSMISSION AND DISTRIBUTION SYSTEMS AND LINES IN, UNDER, OVER, ACROSS, ALONG AND UPON THE SURFACE OF SAID EASEMENT, INCLUDING BUT NOT LIMITED TO WATERMANS AND THEIR APPURTENANCES. NO ENCROACHMENT OF ANY KIND SHALL BE ALLOWED WITHIN SAID EASEMENT UNLESS THE CITY DETERMINES THAT SAID ENCROACHMENT SHALL NOT INTERFERE WITH THE PROPER FUNCTIONING OF ALL SUCH PERMITTED USES, SUCH AS ENCROACHMENT BY NON-INTERFERING GARDENS, SHRUBS AND OTHER LANDSCAPING MATERIAL. THE CITY AND ITS PERMITEES OR LICENSEES WITH PERMITS FROM THE CITY MAY ENTER UPON SAID EASEMENT FOR THE USES HEREIN SET FORTH AND HAVE THE RIGHT TO CUT, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS WITHIN THE AREAS DESIGNATED "CITY WATERMAIN EASEMENT" WHICH ENCRONCH ON AND INTERFERE WITH THE CONSTRUCTION, INSTALLATION, RECONSTRUCTION, REPAIR, REMOVAL, REPLACEMENT, MAINTENANCE AND OPERATION OF THE WATER TRANSMISSION AND DISTRIBUTION SYSTEMS AND SUCH FACILITIES APPURTENANT THERETO.

FOLLOWING ANY WORK TO BE PERFORMED BY CITY PERMITEES OR LICENSEES WITH PERMITS FROM THE CITY, IN THE EXERCISE OF THE EASEMENT RIGHTS GRANTED HEREIN, SAID ENTITIES SHALL MAKE ALL SURFACE RESTORATIONS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: BACKFILL ANY TRENCH, RESTORE CONCRETE AND ASPHALT SURFACES, TOPSOIL AND SEED, REMOVE EXCESS DEBRIS, MAINTAIN AREA IN A GENERALLY CLEAN AND WORKMANLIKE CONDITION. ALL SAID RESTORATION SHALL BE COMPLETED IN ACCORDANCE WITH CITY STANDARDS AND SUBJECT TO CITY APPROVAL.

FOLLOWING ANY WORK PERFORMED BY THE CITY IN THE EXERCISE OF ITS EASEMENT RIGHTS GRANTED HEREIN, THE CITY SHALL HAVE NO OBLIGATION WITH RESPECT TO SURFACE RESTORATION, INCLUDING BUT NOT LIMITED TO, THE LAWN OR SHRUBBERY.

ABBREVIATIONS

- H.B.G. = HEREBY GRANTED
U.E. = UTILITY EASEMENT
D.E. = DRAINAGE EASEMENT
C.E. = CITY EASEMENT
P.U.E. = PUBLIC UTILITY EASEMENT
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT

LINE LEGEND

- BOUNDARY LINE
ADJACENT LAND PARCEL LINE
EASEMENT LINE HEREBY GRANTED
EXISTING EASEMENT LINE
CENTERLINE
BUILDING SETBACK LINE
SECTION LINE

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
)SS
COUNTY OF KANE)

THIS IS TO CERTIFY THAT I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE PLATTED THE ABOVE-DESCRIBED PROPERTY FOR THE PURPOSE OF GRANTING AN EASEMENT TO THE CITY OF AURORA FOR PURPOSES STATED HEREON, AND THAT THIS PLAT OF EASEMENT ACCURATELY DEPICTS SAID PROPERTY.

GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____, A.D., 20____

COMPASS SURVEYING LTD
PROFESSIONAL DESIGN FIRM
LAND SURVEYOR CORPORATION NO. 184-002778
LICENSE EXPIRES 4/30/2025

SCOTT C. KREBS
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3509
EXPIRES 11-30-2024

DEVELOPMENT DATA TABLE: PLAT OF EASEMENT. Table with columns: DESCRIPTION, VALUE, UNIT. Rows include: A) TAX PARCEL IDENTIFICATION NUMBER(S) (PINs): 07-17-402-045; B) PROPOSED NEW EASEMENTS CITY WATERMAIN EASEMENT; CITY EASEMENT (0.017 ACRES); 730 SQUARE FEET; TOTAL EASEMENT AREA GRANTED (0.017 ACRES); 730 SQUARE FEET.

Table with columns: DATE, BOOK, N/A, P/S, N/A, CHECKED BY, MP, DRAWN BY, MP, REVISIONS, PER PZ REVIEW MEMO DATED, DATE, NO. 1.

Kimley Horn logo and contact information: 2017 KIMLEY-HORN AND ASSOCIATES, INC. 1001 WARRENVILLE ROAD, SUITE 350, AURORA, IL 60105. PHONE: 630-467-5550. WWW.KIMLEY-HORN.COM

PROJECT: Fox Valley Mall, Aurora, IL. CLIENT: CENTENNIAL REAL ESTATE, 1001 WARRENVILLE ROAD, SUITE 350, AURORA, IL 60105. PHONE: 630-467-5550. DALLAS, TX 75231

COMPASS SURVEYING LTD logo and contact information: ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING. 2631 GINGER WOODS PARKWAY, STE. 100, AURORA, IL 60102. PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM