2725 Bilter Road, Aurora

CyrusOne

BILTER RD. & EXISTING DATA CENTER CAMPUS

AMENDMENTS TO PLAN DESCRIPTION

(i) Permit the use of the Property for Warehouse, Distribution and Storage Service Uses (3300), said use being specifically limited to data centers, being warehouses of computer systems and associated components that process and distribute large amounts of data.

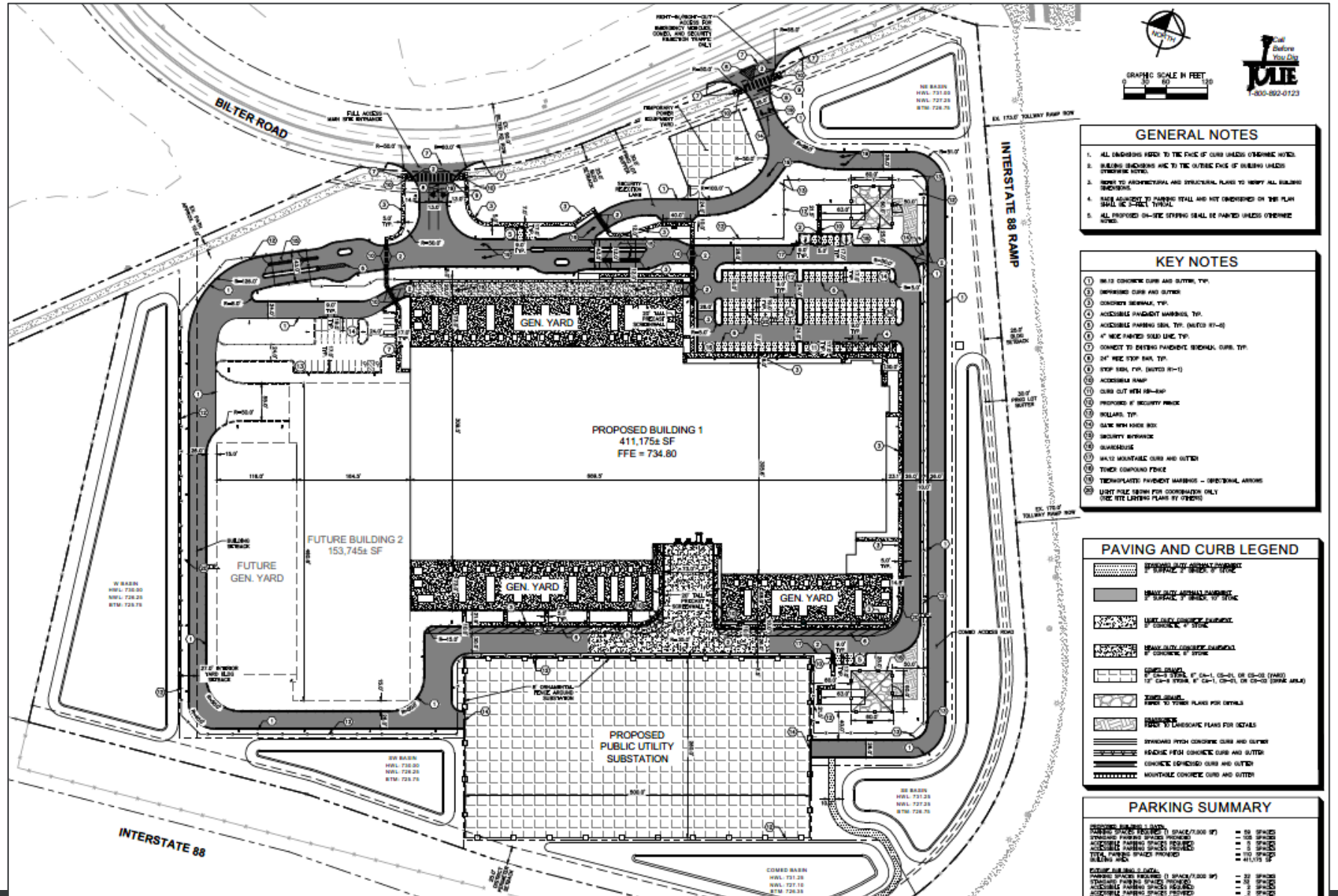
(ii) To establish the following Bulk Standards associated with the Warehouse, Distribution and Storage Service Uses (3300) permitted for the Property:

a. The parking requirement for the Property shall be based on the requirement for Structure 2610, Electronic Data Storage. No additional parking shall be separately calculated for accessory uses within an Electronic Data Storage building or for any associated uses of the Property, including the Telecommunication Facilities, the Antennas, Communication Support Facilities, or the Public Utility Substation Use.
b. For Warehouse, Distribution and Storage Service Uses (3300) permitted for the Property, there shall be no required building separation provided that the buildings otherwise comply with applicable building code requirements.
c. To waive the provisions pertaining to berming requirements within Exhibit C of the Landscaping Standards and Specifications.
d. To permit a screening wall/fence within the boundary line of the district setback up to a maximum height of twelve feet (12') in height.
e. To permit an open style security fence not exceeding eight (8) feet in height.

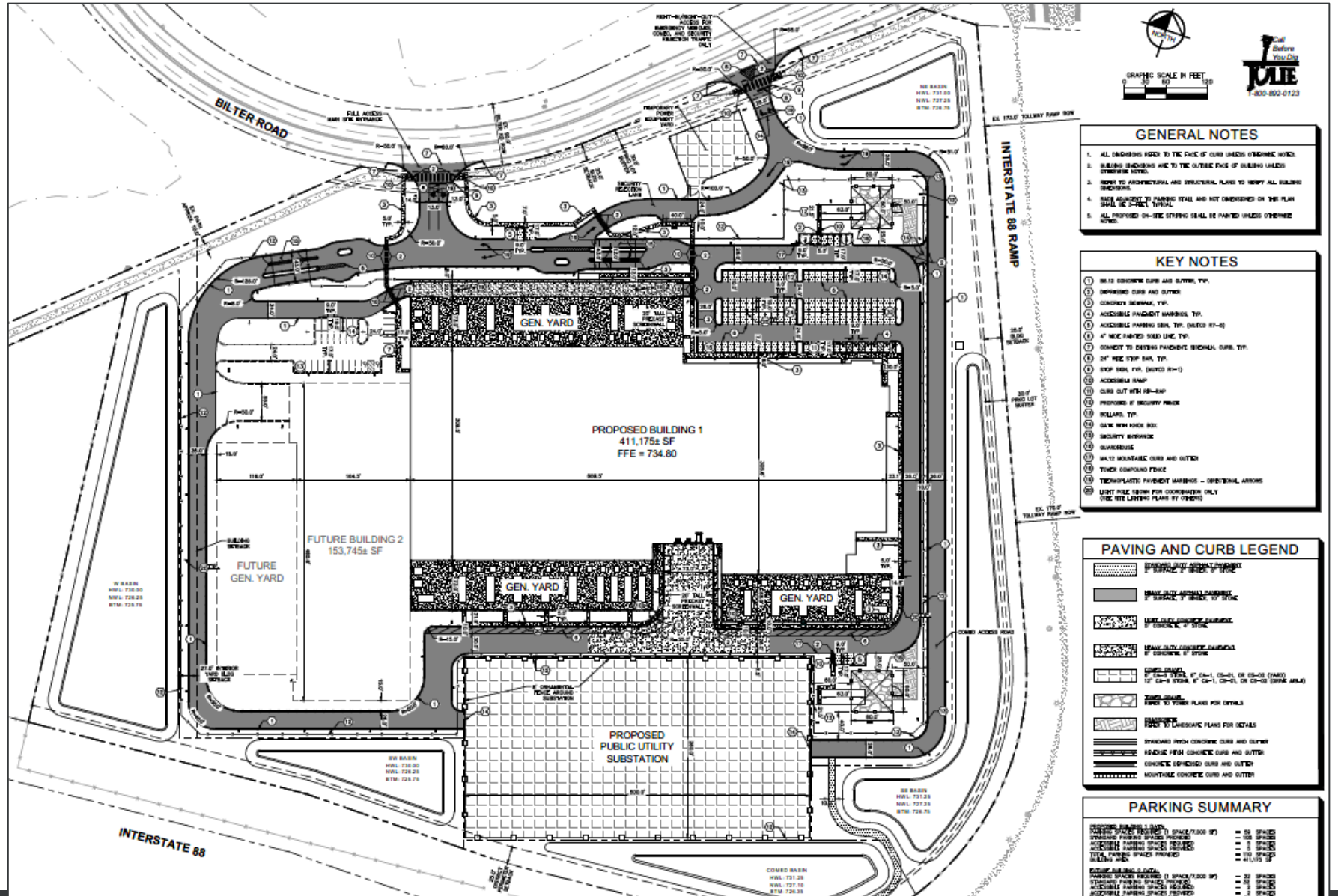
(iii) To establish the following Subdivision Regulations with respect to the Property:

a. The Property may be subdivided into one or more lots without direct access to a public or private street provided that any such lot without direct access to a public or private street is reserved a minimum twenty foot (20') permanent easement of access to a public street.

PRELIM SITE PLAN



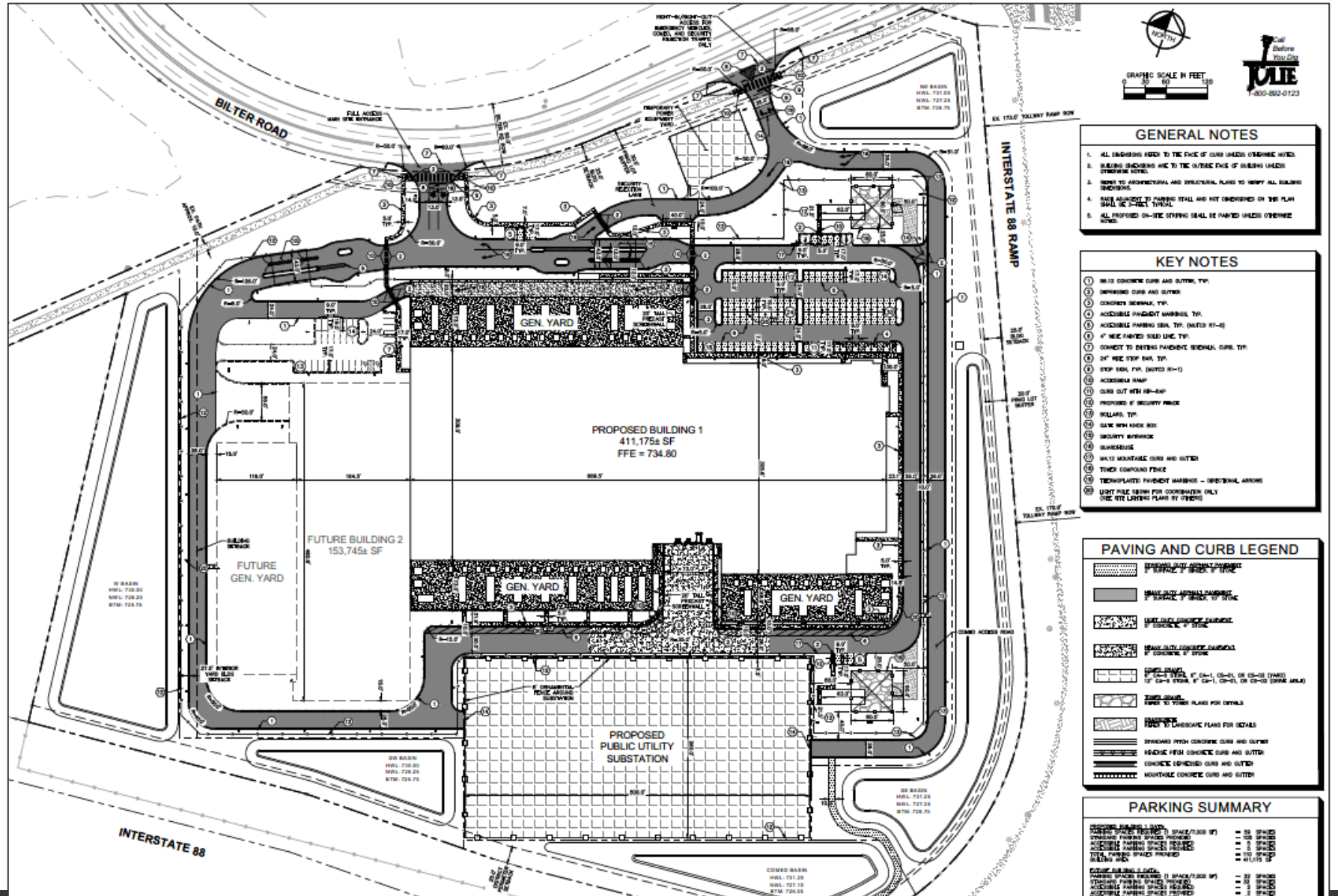
PRELIM SITE PLAN



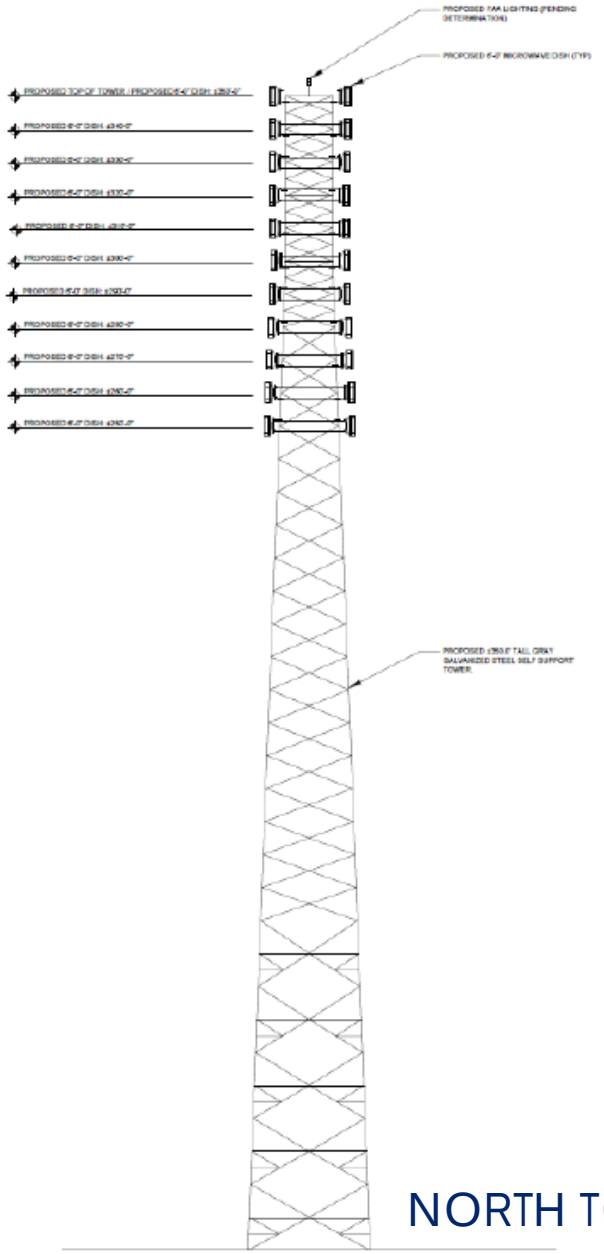
SECURITY WALL DETAIL EXAMPLE

SECURITY WALL DETAIL EXAMPLE

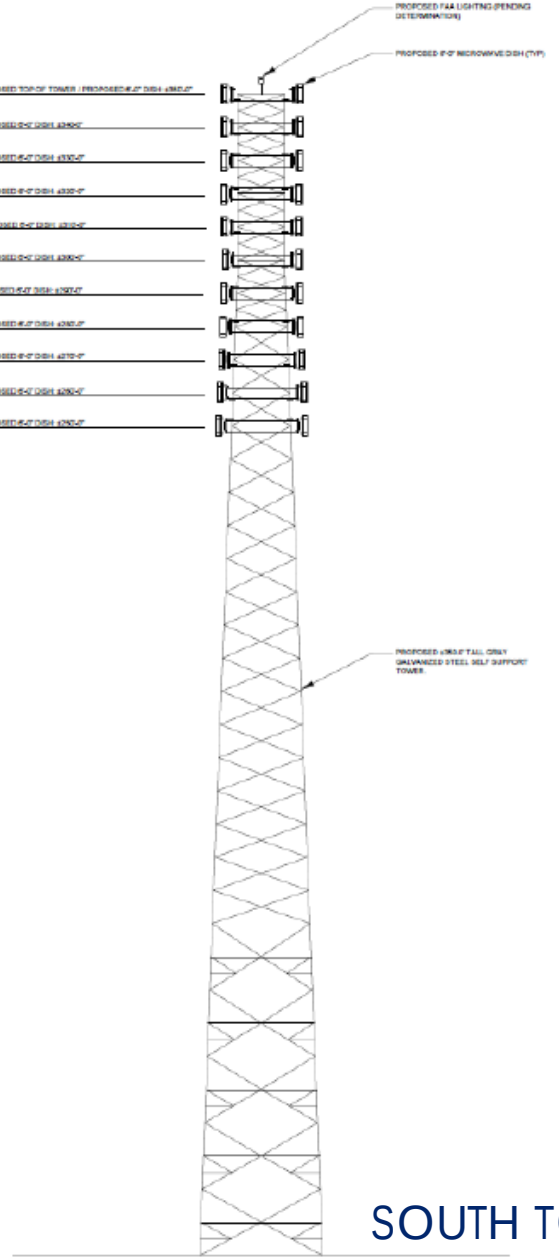
PRELIM SITE PLAN



TOWER ELEVATIONS (EAST VIEW)



NORTH TOWER



SOUTH TOWER

CONDITIONAL USE & STANDARDS

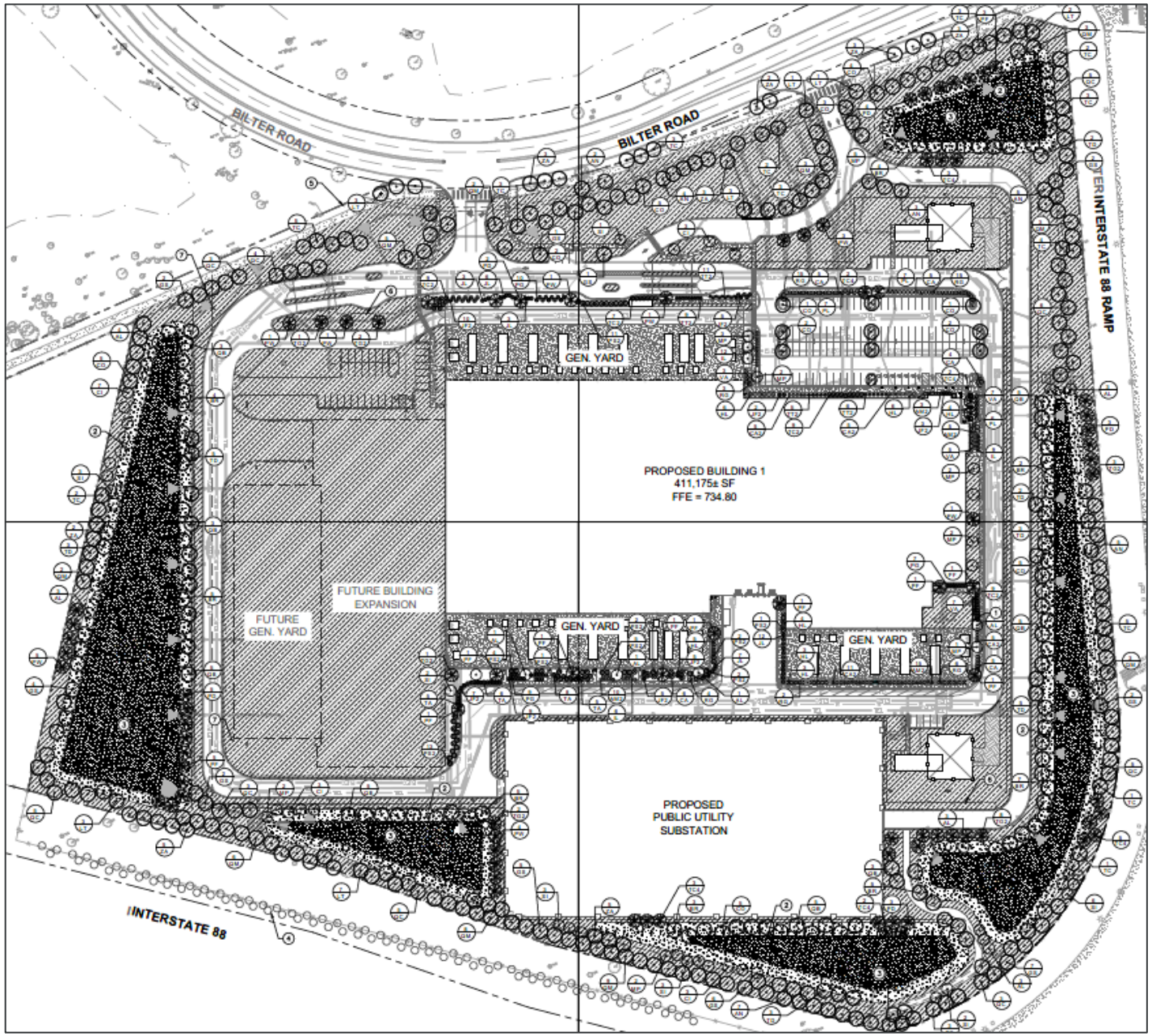
(i) A minimum setback (Section 19-68(O)) for a non-guyed towers of one hundred and thirty-five feet (135'), as measured from the base of the Telecommunication Facility to the nearest perimeter of the Property

(ii) Separation between the proposed three hundred foot tall tower (Section 19-68(p)(2)) and other towers as follows: i) 1,600 feet for towers that are more than 50' but less than or equal to 100'; and ii) 1,550 feet for towers that are more than 200'.

(iii) To waive the separation requirement (Section 19-68(p)(2)) with respect to the two (2) on-site Telecommunication Facilities to be permitted on the Property.

(iv) For each Telecommunication Facility, to permit Communication Support Facilities (Section 19-72(c)) with a maximum building height of twenty feet (20') and a maximum floor area of one thousand five hundred (1,500) square feet.

PRELIM LANDSCAPE PLAN



Landscape Data Table: CTEs Provided

	CTE Value	Count Provided	Total CTEs Provided
Canopy Trees	1	368	368
Evergreen Trees	1/3	85	28
Understory Trees	1/3	75	25
Deciduous Shrubs	1/20	229	11
Evergreen Shrubs	1/20	234	12
	Total:	**991**	**444**

Landscape Implementation Data Table: Plant List by Category

	QTY	Percent	SYM	BOTANICAL NAME (Family / Genus / Species)	COMMON NAME	SIZE	COMMENTS
Canopy Trees	26	7%	AN	ACER FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	2.5" CAL MIN	
	35	10%	BR	BETULA NIGRA	RIVER BIRCH	2.5" CAL MIN	
	38	10%	CO	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2.5" CAL MIN	
	32	9%	GS	GLEDITSIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEY LOCUST	2.5" CAL MIN	
	25	7%	LT	LIRIODENDRON TULIPFERA	TULIP POPLAR	2.5" CAL MIN	
	37	10%	QB	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5" CAL MIN	
	44	12%	QM	QUERCUS MACROCARPA	BURR OAK	2.5" CAL MIN	
	39	11%	QC	QUERCUS ROBUR X ALBA 'CRIMSCHMIDT' TM	CRIMSON SPIRE OAK	2.5" CAL MIN	
	40	11%	TC	TILIA CORDATA	LITTLELEAF LINDEN	2.5" CAL MIN	
	23	6%	TD	TAXODIUM DISTICHUM	BALD CYPRESS	2.5" CAL MIN	
	29	8%	ZA	ZELKOVA SERRATA 'AUTUMN GLOW'	AUTUMN GLOW JAPANESE ZELKOVA	2.5" CAL MIN	
Total:	368	100%					
Evergreen Trees	17	20%	PW	PINUS ALBA	WHITE PINE	6' HT MIN	
	17	20%	PF	PINUS FLEXUS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S LIMBER PINE	6' HT MIN	
	17	20%	PD	PSEUDOTSUGA MENZUESII	DOUGLAS FIR	6' HT MIN	
	17	20%	TG2	THUJA STANDISHII X PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6' HT MIN	
	17	20%	TC4	TSUGA CANADENSIS	CANADIAN HEMLOCK	6' HT MIN	
Total:	85	100%					
Understory Trees	20	27%	AL	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	8' HT MIN	MULTI-STEM
	16	21%	CI	CRATAEGUS CRUS-GALLINERMIS TM	THORNLESS COCKSPUR HAWTHORN	2.5" CAL MIN	
	20	27%	CI	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	2.5" CAL MIN	
	19	25%	MP	MALUS X 'PRAIRIFIRE'	PRAIRIFIRE CRABAPPLE	2.5" CAL MIN	
Total:	75	100%					
Deciduous Shrubs	33	14%	AM2	ARONIA MELANOCARPA 'MORTON' TM	IROQUIS BEAUTY BLACK CHOKEBERRY	18" HT MIN	
	26	11%	CA2	CEANOTHUS AMERICANUS	NEW JERSEY TEA	18" HT MIN	
	25	11%	CA	CORNUS SANGUINEA 'CATO' TM	ARCTIC SUN BLOODTWIG DOGWOOD	18" HT MIN	
	31	14%	FC	HYDRANGEA PANICULATA 'JANE' TM	LITTLE LIME PANICLE HYDRANGEA	18" HT MIN	
	27	12%	IL	ITEA VIRGINICA 'LITTLE HENRY' TM	VIRGINIA SWEETSPIRE	18" HT MIN	
	20	9%	PL	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' TM	DWARF NINEBARK	18" HT MIN	
	45	20%	IL	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	18" HT MIN	
	22	10%	VA	VIBURNUM DENTATUM 'CRISTOM'	BLUE MUFFIN VIBURNUM	18" HT MIN	
Total:	229	100%					
Evergreen Shrubs	46	20%	JF2	JUNIPERUS CHINENSIS 'FAIRVIEW'	FAIRVIEW JUNIPER	18" HT MIN	
	31	13%	JL	JUNIPERUS CHINENSIS 'GOLD LACE'	GOLD LACE JUNIPER	18" HT MIN	
	26	11%	PG	PICEA PUNGENS 'GLAUCA GLOBOSA'	COLORADO SPRUCE	18" HT MIN	
	43	18%	PS2	PINUS STROBUS 'STOWE PILLAR'	STOWE PILLAR WHITE PINE	18" HT MIN	
	30	13%	TT2	TAXUS X MEDIA 'TAUNTONII'	TAUNTON'S ANGLO-JAPANESE YEW	18" HT MIN	
	34	15%	TC2	THUJA OCCIDENTALIS 'CONCESARINI' TM	PANCAKE ARBORVITAE	18" HT MIN	
	24	10%	TA	THUJA OCCIDENTALIS 'WOODWARDII'	WOODWARDII EASTERN ARBORVITAE	18" HT MIN	
Total:	234	100%					

DIEHL ROAD DATA CENTER CAMPUS -

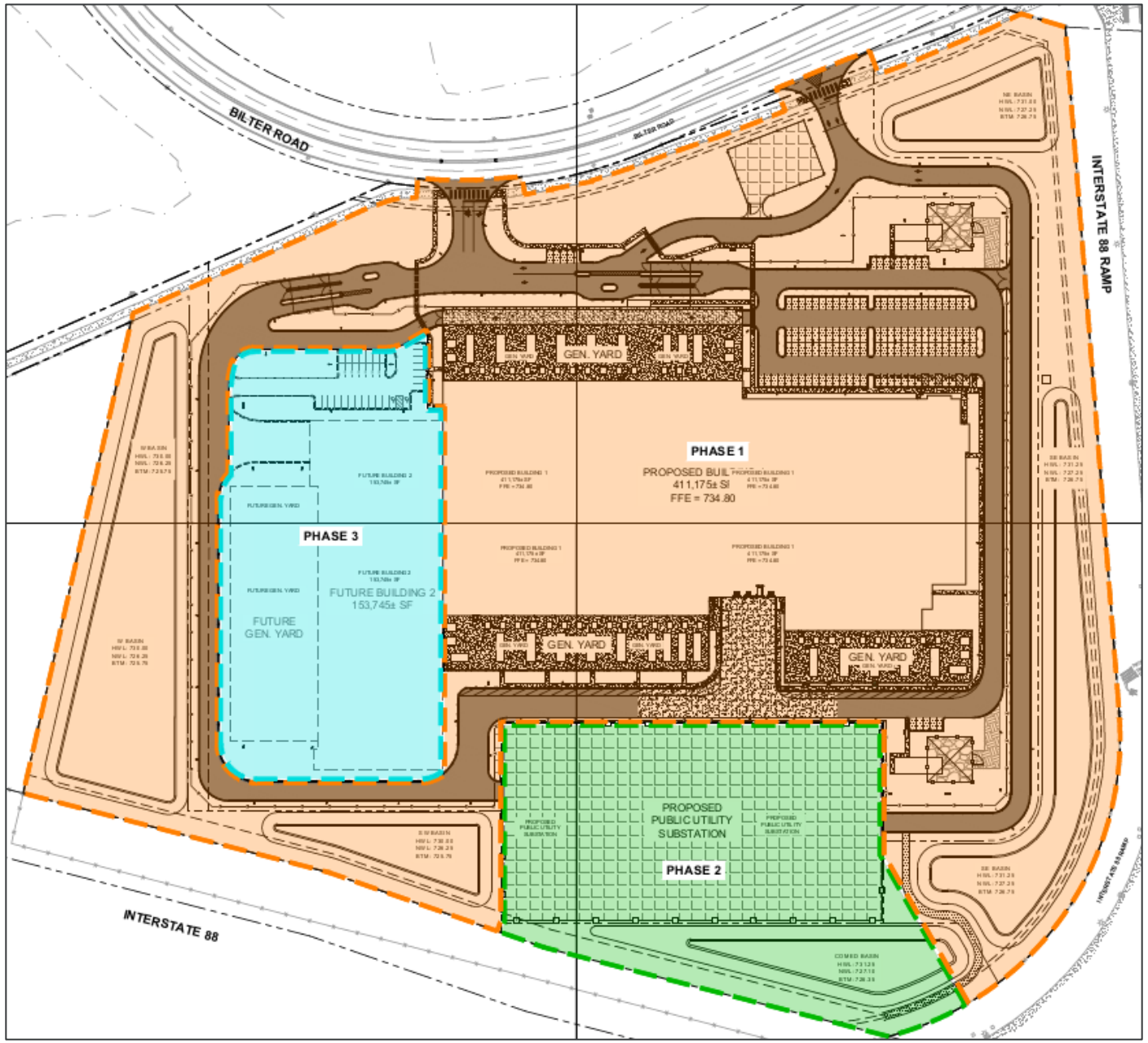
Thank You

LANDSCAPE PLAN

LEGEND

1. PROPOSED BUILDING
2. PROPOSED GENERATOR YARD
3. PROPOSED PUBLIC UTILITY SUBSTATION
4. PROPOSED BUILDING POWER EQUIPMENT YARD
5. PROPOSED DETENTION BASIN
6. PROPOSED GUARDHOUSE
7. PROPOSED TOWER
8. PROPOSED SECURITY ENTRANCE
9. PROPOSED GATE
10. EXISTING SIDEWALK
11. EXISTING VEGETATION
12. CONCRETE SIDEWALK
13. TURF GRASS
14. GRASSCRETE
15. BASIN BOTTOM PLUG MIX
16. WET TO MESIC PRAIRIE SEED MIX
17. FUTURE DEVELOPMENT AREA

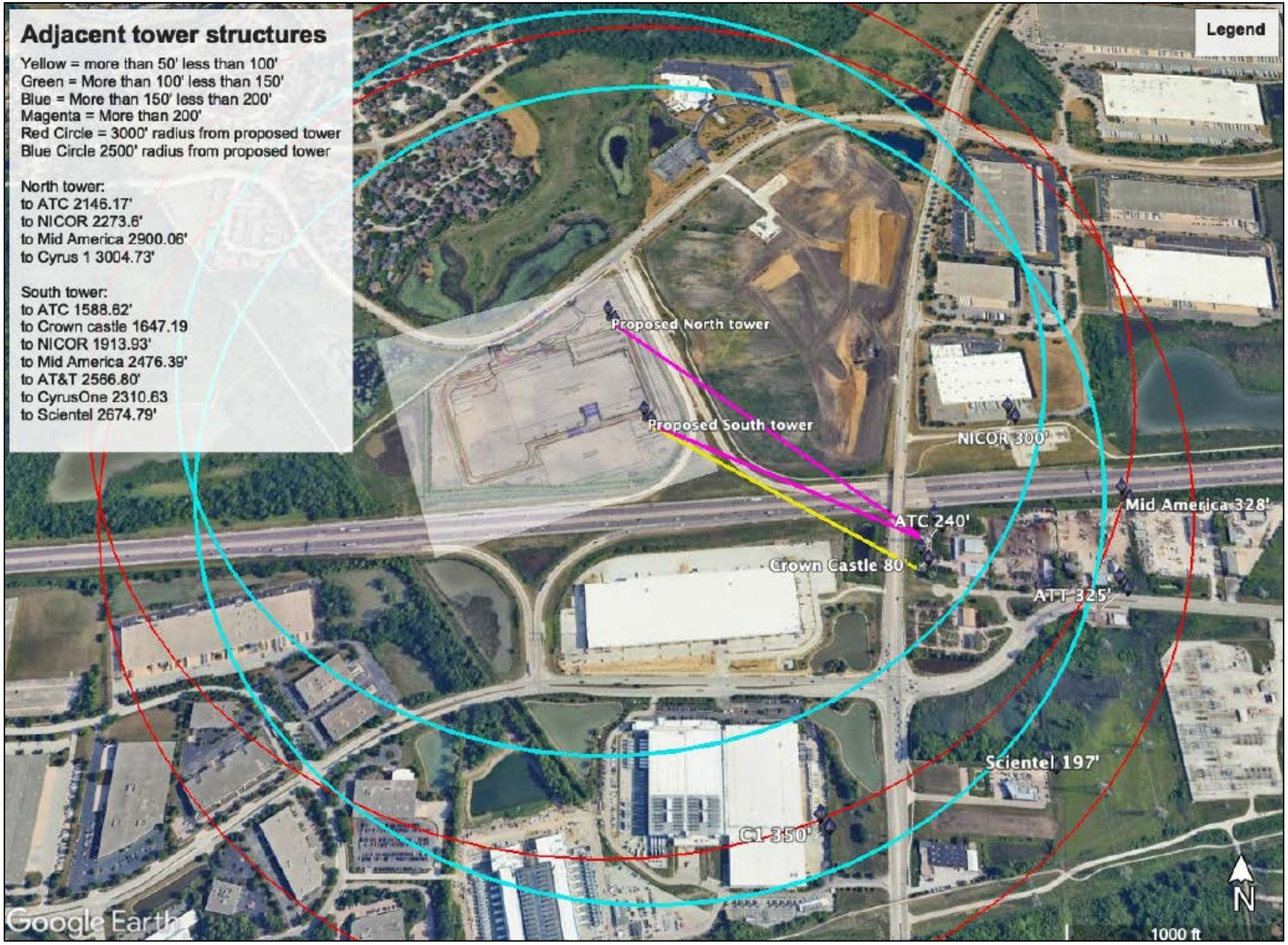
PHASING



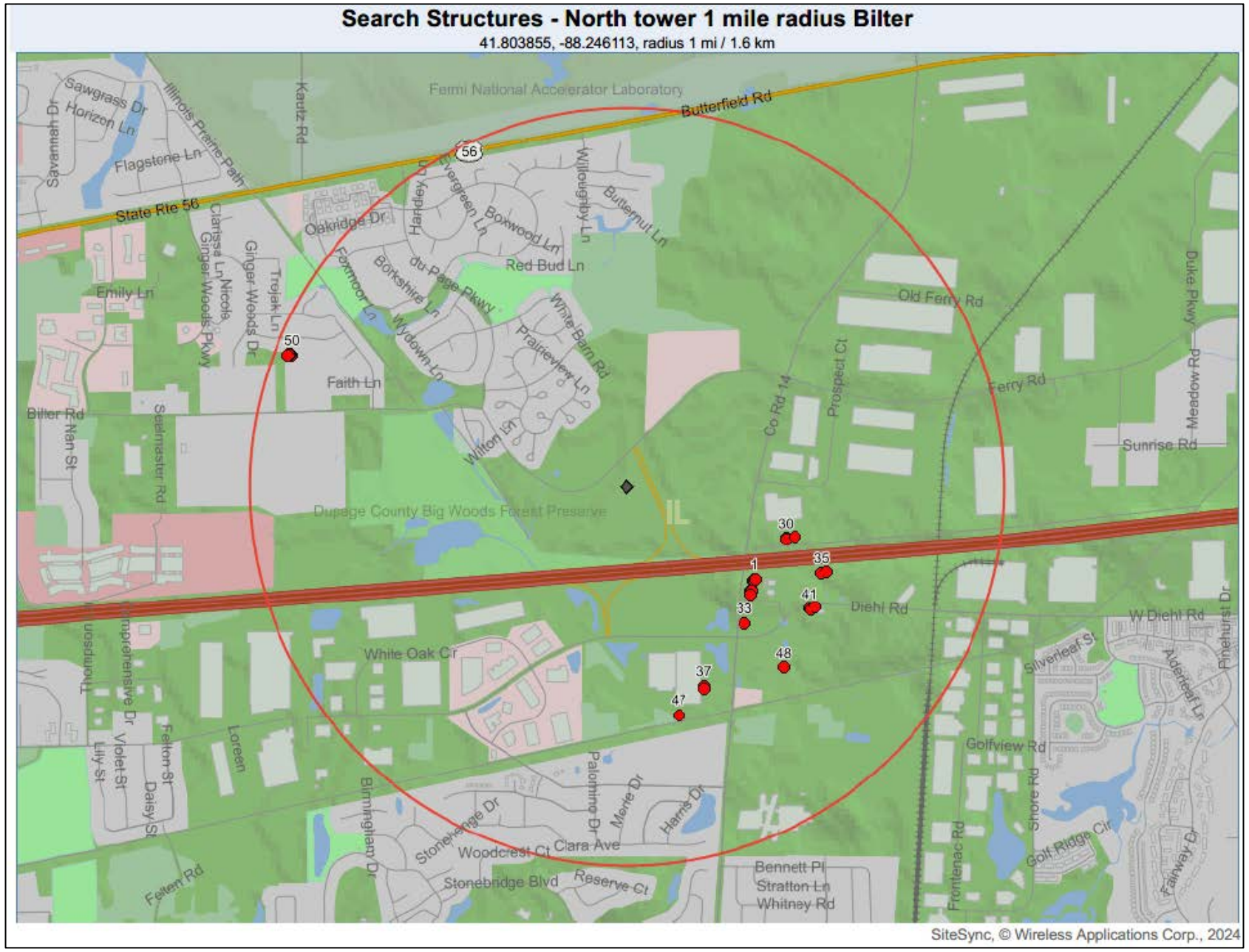
PHASING LEGEND

- PHASE 1
- PHASE 2
- PHASE 3

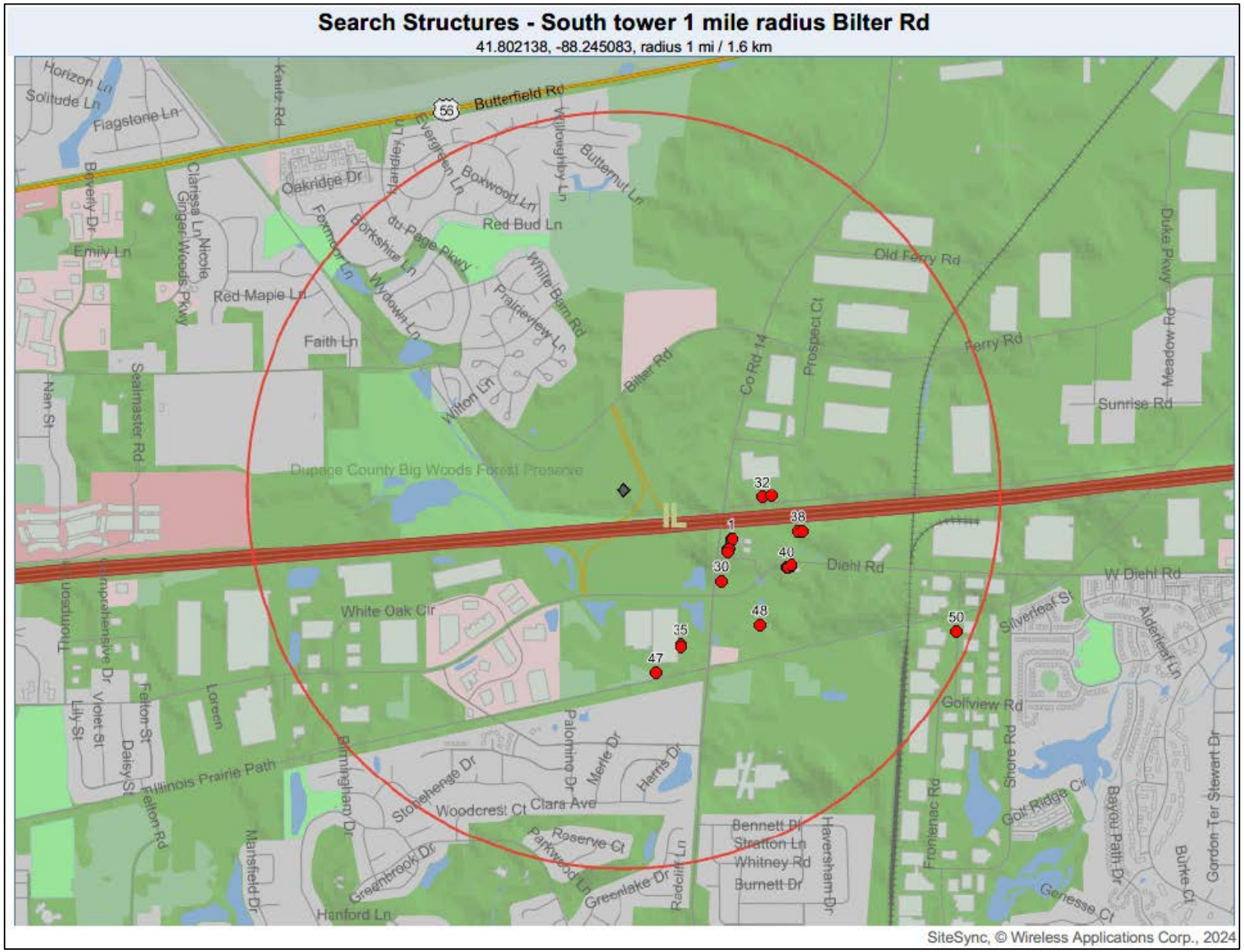
ADJACENT TOWER STRUCTURES



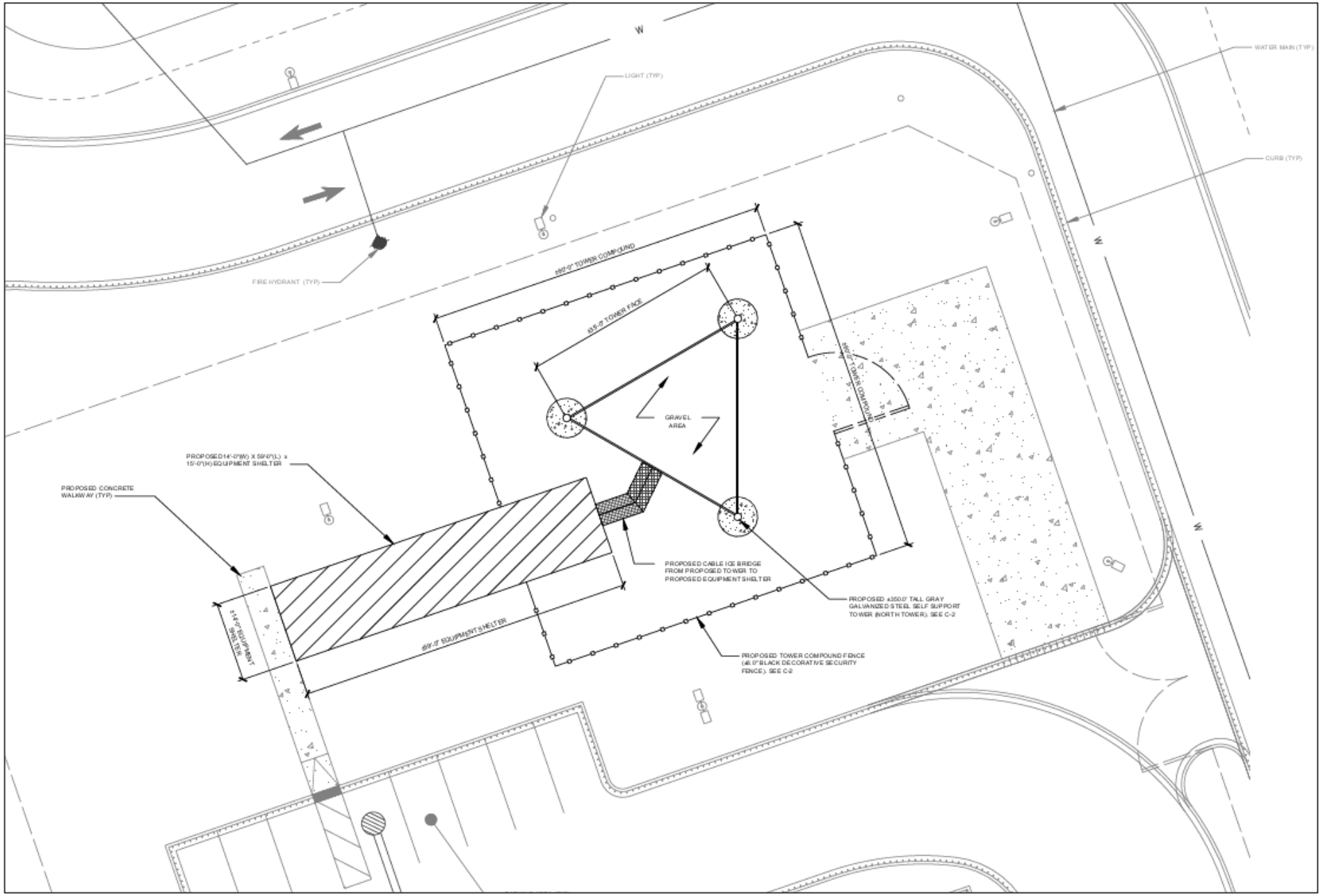
NEARBY STRUCTURES – NORTH TOWER



NEARBY STRUCTURES – SOUTH TOWER

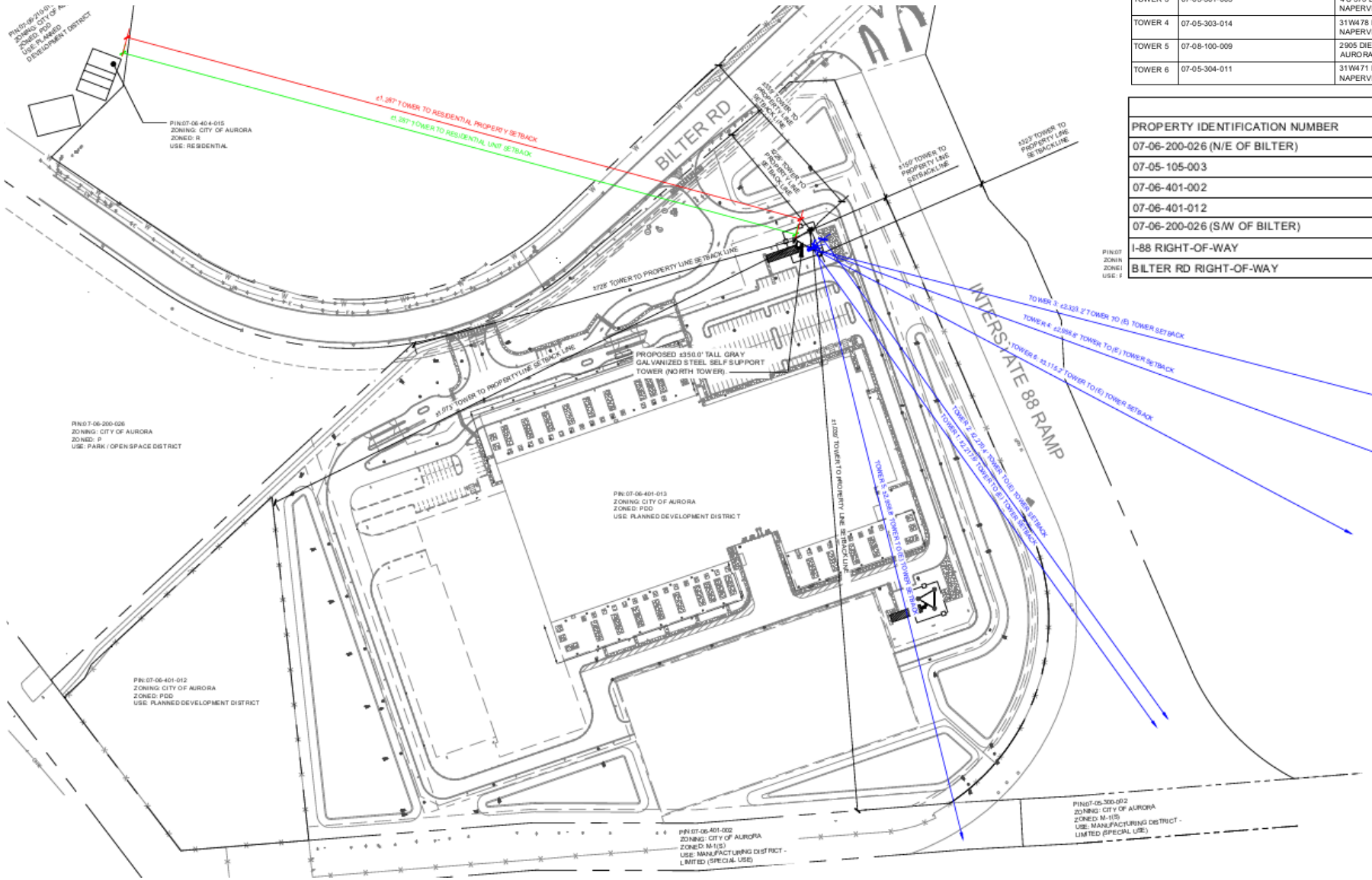


NORTH TOWER


W
LIGHT (TYP.)
WATER MAIN (TYP.)
CURB (TYP.)
FIRE HYDRANT (TYP.)
±92'-0" TOWER COMPOUND
±85'-0" TOWER FACE
±60'-0" TOWER COMPOUND
GRAVEL AREA
PROPOSED 14'-0"(W) X 59'-0"(L) x 15'-0"(H) EQUIPMENT SHELTER
PROPOSED CONCRETE WALKWAY (TYP.)
PROPOSED CABLE ICE BRIDGE FROM PROPOSED TOWER TO PROPOSED EQUIPMENT SHELTER
PROPOSED ±350.0' TALL GRAY GALVANIZED STEEL SELF SUPPORT TOWER (NORTH TOWER). SEE C-2
±59'-0" EQUIPMENT SHELTER
PROPOSED TOWER COMPOUND FENCE (±6.0" BLACK DECORATIVE SECURITY FENCE). SEE C-2

NORTH TOWER ZONED SETBACKS

ADJACENT RESIDENTIALLY ZONE PROPERTY AND UNITS TABLE		
PROPERTY IDENTIFICATION NUMBER	ADDRESS	PROPOSED TOWER SEPARATION DISTANCE
07-06-404-015	2439 DEVONSHIRE CT, AURORA IL 60502	±1,287' TOWER TO PROPERTY LINE



ADJACENT TOWER TABLE					
TOWER #	PROPERTY IDENTIFICATION NUMBER	ADDRESS	TOWER HEIGHT CATEGORY	COORDINATES	PROPOSED TOWER SEPARATION DISTANCE
TOWER 1	07-05-303-018	31W524 DIEHL RD NAPERVILLE, IL 60563	D	41° 48' 00.9"N (41.800251) 88° 14' 22.5"W (-88.239586)	±2,217.6' TOWER TO TOWER
TOWER 2	07-05-303-018	31W524 DIEHL RD NAPERVILLE, IL 60563	D	41° 47' 59.6"N (41.799889) 88° 14' 23.2"W (-88.239777)	±2,270.4' TOWER TO TOWER
TOWER 3	07-05-301-005	4 S 575 EOLA RD NAPERVILLE, IL 60563	D	41° 48' 06.8"N (41.801888) 88° 14' 16.7"W (-88.237968)	±2,323.2' TOWER TO TOWER
TOWER 4	07-05-303-014	31W478 DIEHL RD NAPERVILLE, IL 60563	D	41° 48' 02.0"N (41.800556) 88° 14' 10.0"W (-88.236115)	±2,956.8' TOWER TO TOWER
TOWER 5	07-08-100-009	2905 DIEHL RD AURORA, IL 60502	D	41° 47' 46.4"N (41.796222) 88° 14' 31.8"W (-88.242167)	±2,956.8' TOWER TO TOWER
TOWER 6	07-05-304-011	31W471 DIEHL RD NAPERVILLE, IL 60563	D	41° 47' 57.3"N (41.799250) 88° 14' 11.2"W (-88.236444)	±3,115.2' TOWER TO TOWER

PROPERTY LINE SETBACK CHART		
PROPERTY IDENTIFICATION NUMBER	ADDRESS	NEW TOWER SEPARATION DISTANCE
07-06-200-026 (N/E OF BILTER)	0 OPEN SPACE, AURORA IL 60502	±339' TOWER TO PROPERTY LINE
07-05-105-003	2815 BILTER RD, AURORA IL 60502	±323' TOWER TO PROPERTY LINE
07-06-401-002	0 OPEN SPACE, AURORA IL 60502	±1,039' TOWER TO PROPERTY LINE
07-06-401-012	0 OPEN SPACE, AURORA IL 60502	±1,073' TOWER TO PROPERTY LINE
07-06-200-026 (S/W OF BILTER)	0 OPEN SPACE, AURORA IL 60502	±728' TOWER TO PROPERTY LINE
I-88 RIGHT-OF-WAY	N/A	±150' TOWER TO PROPERTY LINE
BILTER RD RIGHT-OF-WAY	N/A	±228' TOWER TO PROPERTY LINE

DIMENSION LEGEND

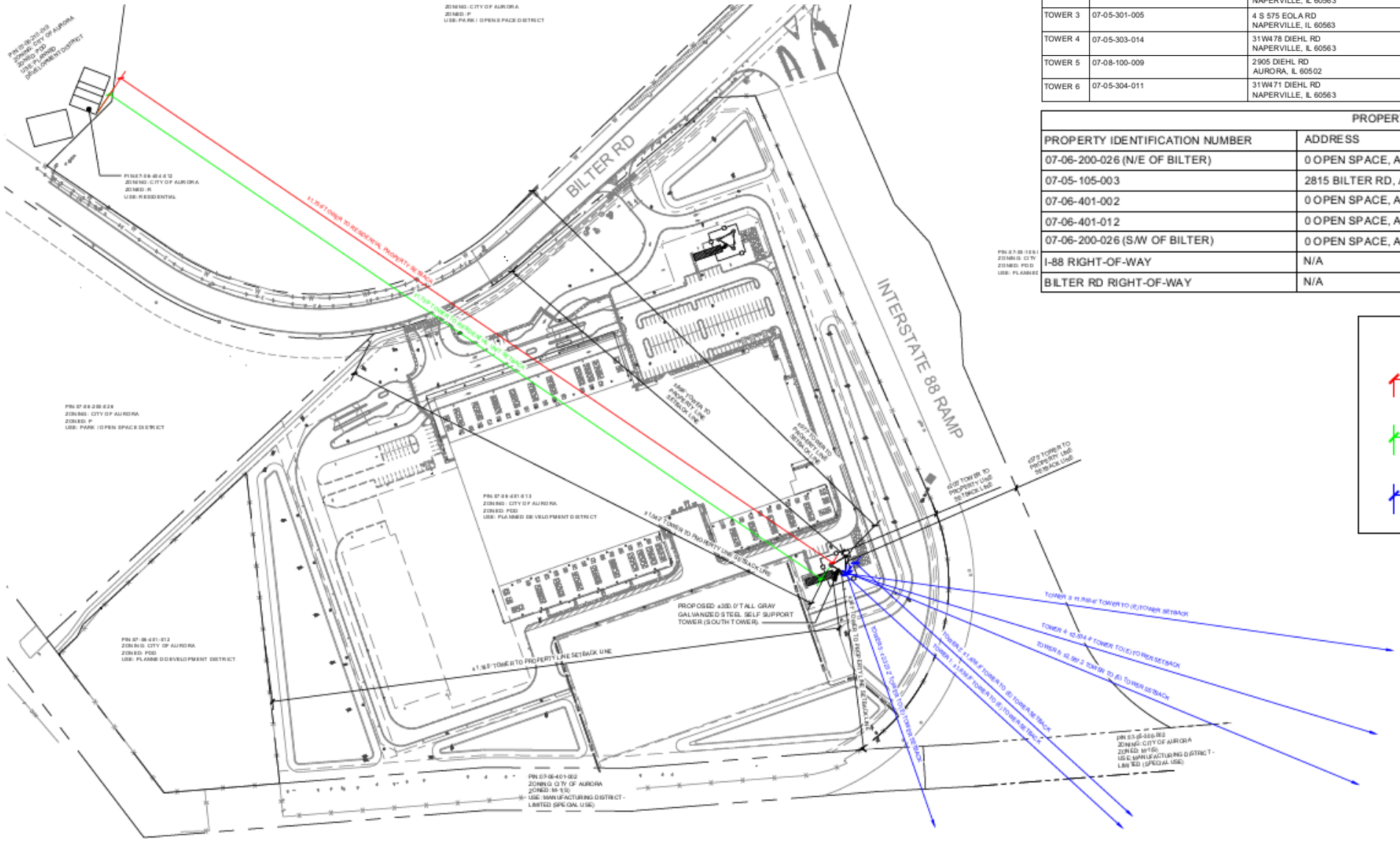
XXX.X' — TOWER TO RESIDENTIAL PROPERTY SETBACK

XXX.X' — TOWER TO RESIDENTIAL UNIT SETBACK

XXX.X' — TOWER TO (E) TOWER SETBACK

SOUTH TOWER ZONED SETBACKS

ADJACENT RESIDENTIALLY ZONE PROPERTY AND UNITS TABLE		
PROPERTY IDENTIFICATION NUMBER	ADDRESS	PROPOSED TOWER SEPARATION DISTANCE
07-06-404-012	2433 DEVONSHIRE CT, AURORA IL 60502	±1,756' TOWER TO PROPERTY LINE



ADJACENT TOWER TABLE					
TOWER #	PROPERTY IDENTIFICATION NUMBER	ADDRESS	TOWER HEIGHT CATEGORY	COORDINATES	PROPOSED TOWER SEPARATION DISTANCE
TOWER 1	07-05-303-018	31W524 DIEHL RD NAPERVILLE, IL 60563	D	41° 47' 59.6"N (41.799889) 88° 14' 23.2"W (-88.239777)	±1,636.8' TOWER TO TOWER
TOWER 2	07-05-303-018	31W524 DIEHL RD NAPERVILLE, IL 60563	D	41° 48' 00.9"N (41.800251) 88° 14' 22.5"W (-88.239586)	±1,636.8' TOWER TO TOWER
TOWER 3	07-05-301-005	4 S 575 EOLA RD NAPERVILLE, IL 60563	D	41° 48' 06.8"N (41.801888) 88° 14' 16.7"W (-88.237968)	±1,953.6' TOWER TO TOWER
TOWER 4	07-05-303-014	31W478 DIEHL RD NAPERVILLE, IL 60563	D	41° 48' 02.0"N (41.800556) 88° 14' 10.0"W (-88.236115)	±2,534.4' TOWER TO TOWER
TOWER 5	07-08-100-009	2905 DIEHL RD AURORA, IL 60502	D	41° 47' 46.4"N (41.796222) 88° 14' 31.8"W (-88.242167)	±2,323.2' TOWER TO TOWER
TOWER 6	07-05-304-011	31W471 DIEHL RD NAPERVILLE, IL 60563	D	41° 47' 57.3"N (41.799250) 88° 14' 11.2"W (-88.236444)	±2,587.2' TOWER TO TOWER

PROPERTY LINE SETBACK CHART		
PROPERTY IDENTIFICATION NUMBER	ADDRESS	NEW TOWER SEPARATION DISTANCE
07-06-200-026 (N/E OF BILTER)	0 OPEN SPACE, AURORA IL 60502	±977' TOWER TO PROPERTY LINE
07-05-105-003	2815 BILTER RD, AURORA IL 60502	±375' TOWER TO PROPERTY LINE
07-06-401-002	0 OPEN SPACE, AURORA IL 60502	±361' TOWER TO PROPERTY LINE
07-06-401-012	0 OPEN SPACE, AURORA IL 60502	±1,165' TOWER TO PROPERTY LINE
07-06-200-026 (S/W OF BILTER)	0 OPEN SPACE, AURORA IL 60502	±1,042' TOWER TO PROPERTY LINE
I-88 RIGHT-OF-WAY	N/A	±205' TOWER TO PROPERTY LINE
BILTER RD RIGHT-OF-WAY	N/A	±896' TOWER TO PROPERTY LINE

DIMENSION LEGEND

XXX.X' — TOWER TO RESIDENTIAL PROPERTY SETBACK

XXX.X' — TOWER TO RESIDENTIAL UNIT SETBACK

XXX.X' — TOWER TO (E) TOWER SETBACK

ANTENNA INVENTORY

The operations listed in the following tables have been compiled based on information provided by client.

Ant #	Carrier	Manufacturer	Antenna Model	Type	EDT (deg)	Band (MHz)	Az (deg)	MDT (deg)	HBW (deg)	Length (ft)	Gain (dBd)	TPO (W)	Paths	Attenuation (dB)	Line Loss (dB)	Other Loss (dB)	ERP (W)	EIRP (W)	Antenna Centerline Ground Level (0ft)
1	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	250.0
2	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	250.0
3	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	260.0
4	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	260.0
5	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	270.0
6	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	270.0
7	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	280.0
8	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	280.0
9	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	290.0
10	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	290.0
11	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	300.0
12	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	300.0
13	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	310.0
14	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	310.0

ANTENNA INVENTORY

Ant #	Carrier	Manufacturer	Antenna Model	Type	EDT (deg)	Band (MHz)	Az (deg)	MDT (deg)	HBW (deg)	Length (ft)	Gain (dBd)	TPO (W)	Paths	Attenuation (dB)	Line Loss (dB)	Other Loss (dB)	ERP (W)	EIRP (W)	Antenna Centerline Ground Level (0ft)
15	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	320.0
16	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	320.0
17	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	330.0
18	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	330.0
19	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	340.0
20	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	340.0
21	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	350.0
22	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	350.0
23	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	250.0
24	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	250.0
25	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	260.0
26	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	260.0
27	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	270.0
28	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	270.0
29	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	280.0
30	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	280.0
31	W-T Communication	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	290.0

ANTENNA INVENTORY

Ant #	Carrier	Manufacturer	Antenna Model	Type	EDT (deg)	Band (MHz)	Az (deg)	MDT (deg)	HBW (deg)	Length (ft)	Gain (dBd)	TPO (W)	Paths	Attenuation (dB)	Line Loss (dB)	Other Loss (dB)	ERP (W)	EIRP (W)	Antenna Centerline Ground Level (0ft)
	Design Group, LLC																		
32	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	290.0
33	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	300.0
34	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	300.0
35	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	310.0
36	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	310.0
37	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	320.0
38	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	320.0
39	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	330.0
40	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	330.0
41	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	340.0
42	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	340.0
43	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	0	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	350.0
44	W-T Communication Design Group, LLC	GENERIC	MICROWAVE 6FT	dish	0	6000	180	0	1.5	6.0	38.7	0.2	1	0	0	0	1466	2405	350.0

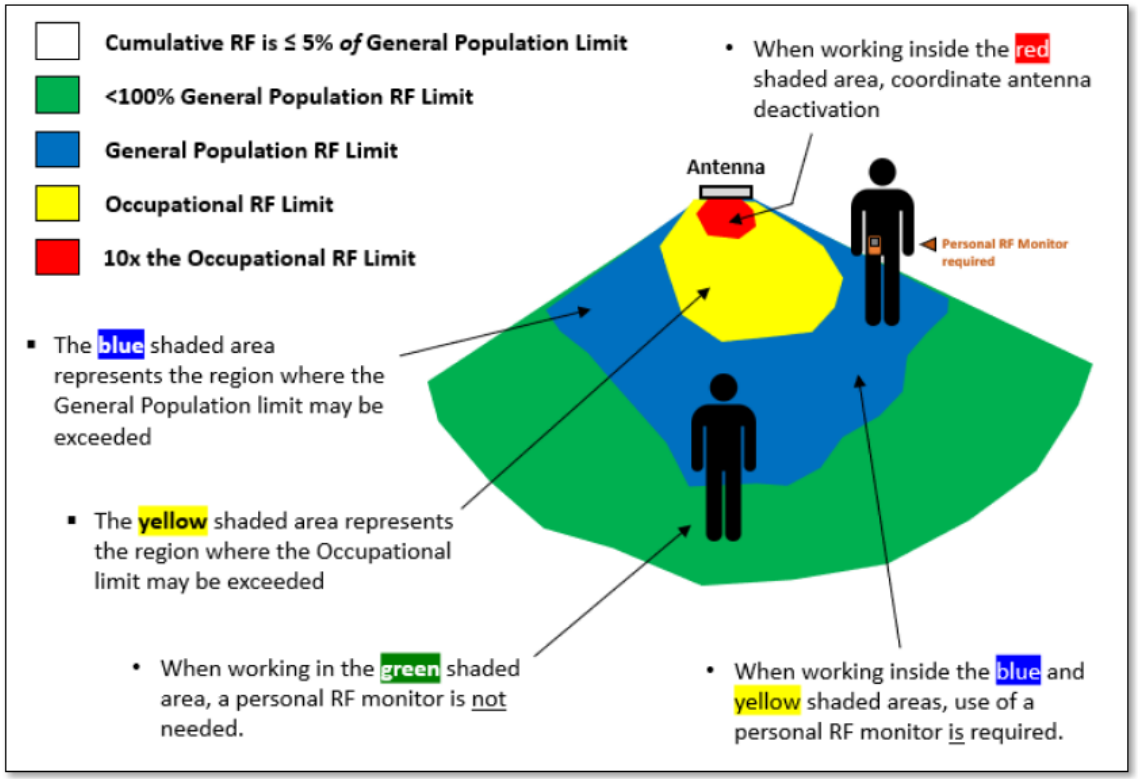
NOTE 1: Waterford Consultants has assumed transmission parameters for co-located RF emitters based on similar installations found at other radio communications sites. Generic antenna models have been used where existing antenna part numbers or radiation patterns are not available. The frequencies presented in this table may have been assumed in order to represent the approximate band of operation and to support a maximum-case calculation of power density.

NOTE 2: Some antennas identified by the SON designation may employ beamsteering technology where RF energy allocated to each customer device is dynamically directed toward their location. In the analysis presented herein, predicted exposure levels are based on all beams at full utilization (i.e. full power) simultaneously focused in any direction. As this condition is unlikely to occur, the actual power density levels at ground and at adjacent structures will be less than the levels reported below.

NOTE 3: No other transmitting antennas are known to be operating in the vicinity of this site.

WATERFORD

PREDICTED EMISSION LEVELS



SUMMARY

10X the Occupational RF exposure limit. When working inside this area, trained personnel with personal protective equipment (PPE) is required; may also require coordinating a scheduled deactivation/outage with operator.

Occupational RF exposure limit. When working inside this area, trained personnel with personal protective equipment (PPE) is required; untrained person(s) must be accompanied by trained personnel.

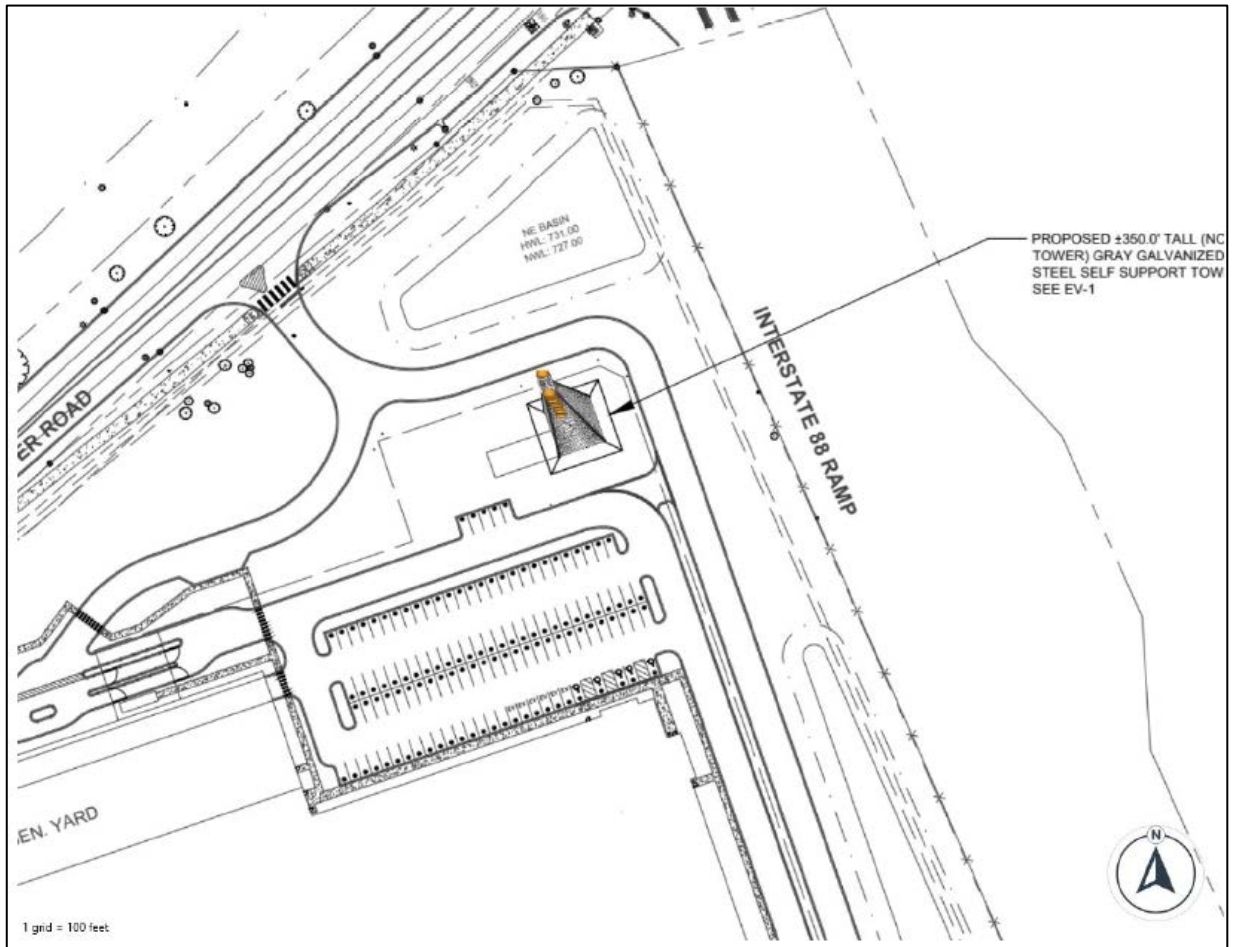
General Population RF exposure limit. When working inside this area, trained personnel with personal protective equipment (PPE) is required; untrained person(s) must be accompanied by trained personnel.

<100% of the General Population RF exposure limit (or <20% of the Occupational RF exposure limit). When working in this area, personal protective equipment (PPE) is not required. No special action or behavior is required to maintain a safe work environment. This area is safe for continuous exposure.

Area is outside of General Population and Occupational RF exposure limits (less than 5% of the General Population limits). When working in this area, personal protective equipment (PPE) is not required. No special action or behavior is required to maintain a safe work environment. This area is also safe for continuous exposure.

WATERFORD

PREDICTED EMISSION LEVELS – NORTH TOWER

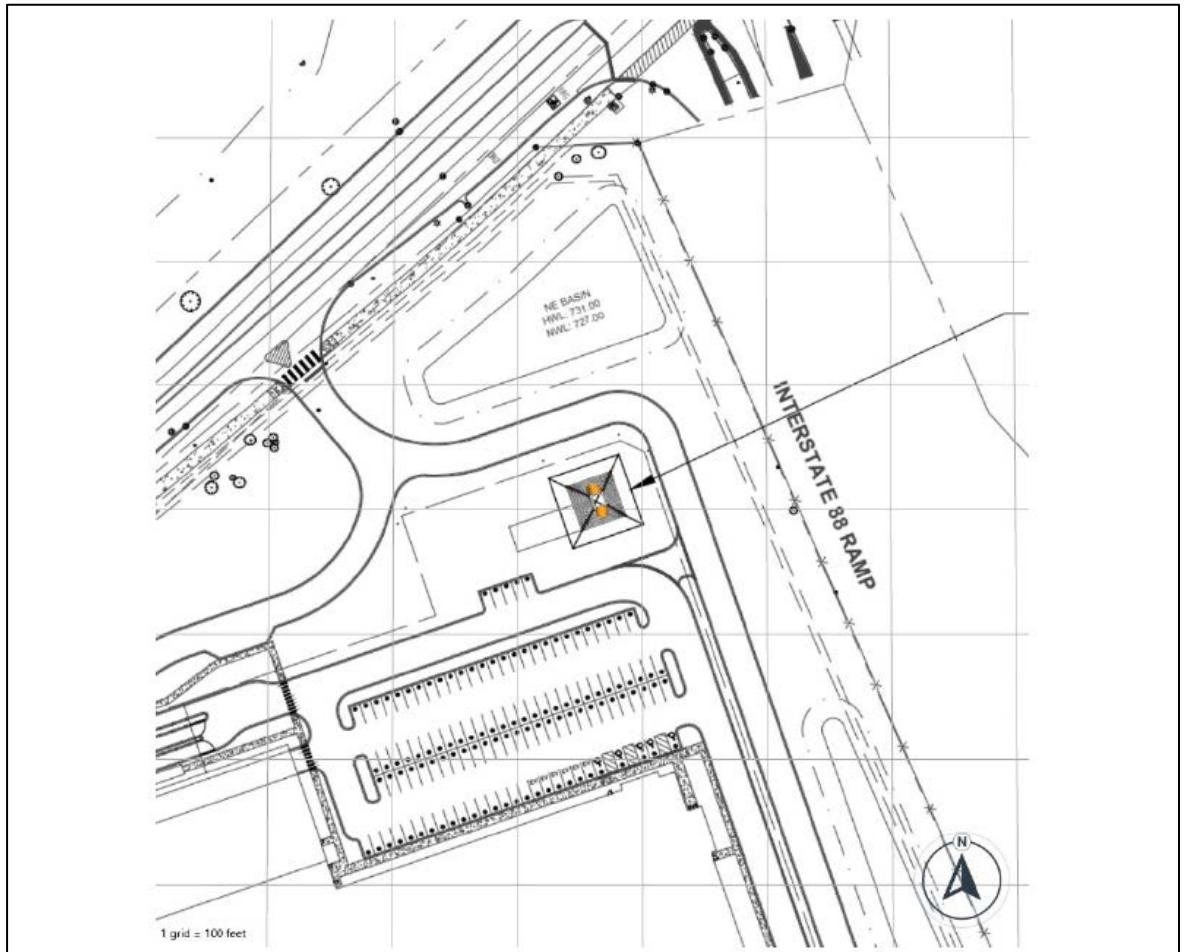


Legend

Study Zone	Elev. (ft)	Type	Exposure Profile	Max MPE	Att	Carriers
North Tower Antenna Level	240.1	3D Area	Sula9 - Site Only - 3D GP	4.09%	0.00	W-T Communication Design...

100%-500%	500%-5000%	5000%-99999%

Exposure Profile Name	Model	Exposure Area	Standard	Resolution	RCF
Sula9 - Site Only - 3D GP	Sula 9	Spatial Average (6 ft)	FCC General Population	2.5 ft3	1.0



Legend

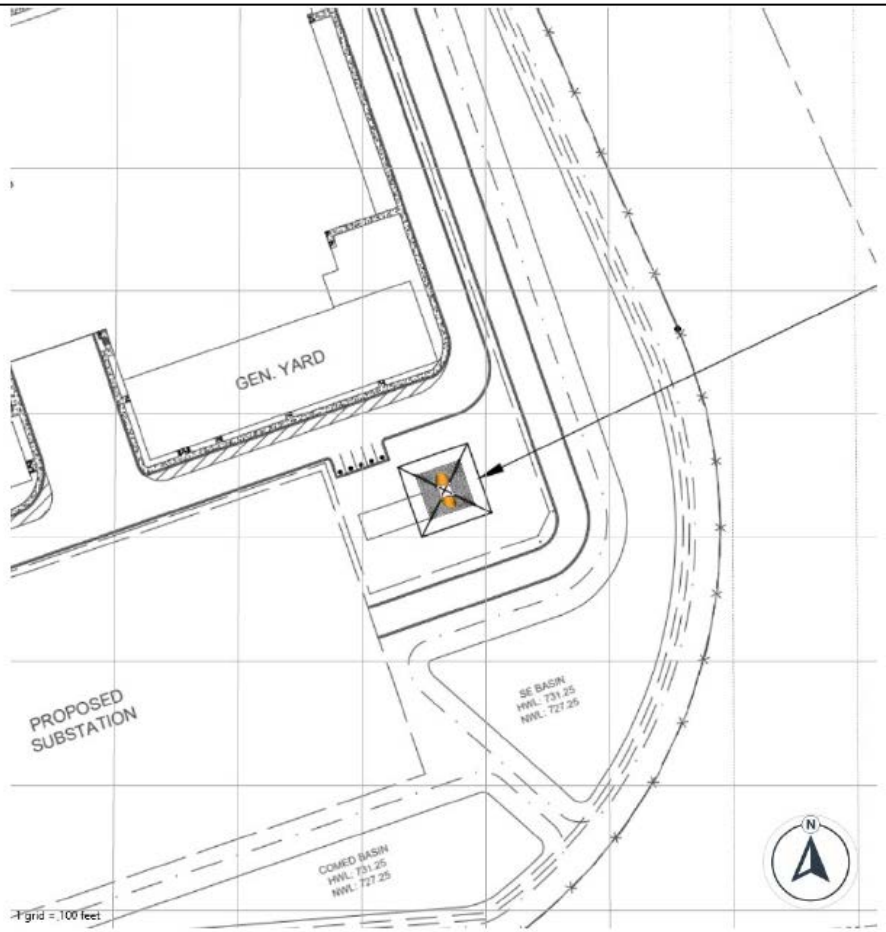
Study Zone	Elev. (ft)	Type	Exposure Profile	Max MPE	Att	Carriers
North Tower Ground Level	0.2	Floor	Ground	0.00%	0.00	W-T Communication Design...

5%-100%	100%-500%	500%-5000%	5000%-99999%

Exposure Profile Name	Model	Exposure Area	Standard	Resolution	RCF
Ground	OET-65 Far Field	Spatial Average (6 ft)	FCC General Population	5.0 ft3	1.6

WATERFORD

PREDICTED EMISSION LEVELS – SOUTH TOWER

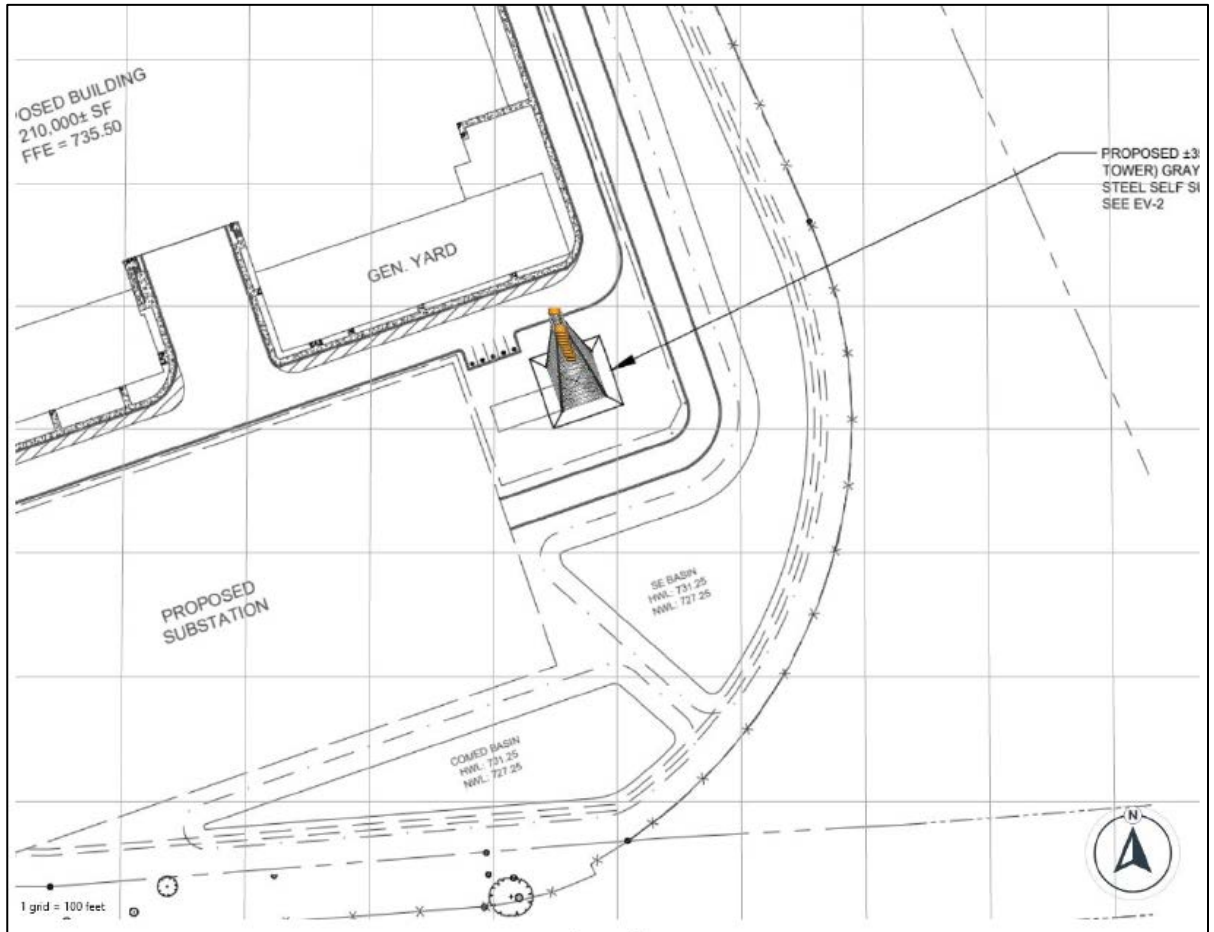


Legend

Study Zone	Elev. (ft)	Type	Exposure Profile	Max MPE	Att	Carriers
South Tower Ground Level	0.2	Floor	Ground	0.00%	0.00	W-T Communication Design...

5%-100%	100%-500%	500%-5000%	5000%-99999%

Exposure Profile Name	Model	Exposure Area	Standard	Resolution	RCF
Ground	OET-65 Far Field	Spatial Average (6 ft)	FCC General Population	5.0 ft3	1.6



Legend

Study Zone	Elev. (ft)	Type	Exposure Profile	Max MPE	Att	Carriers
South Tower Antenna Level	240.1	3D Area	Sula9 - Site Only - 3D GP	4.09%	0.00	W-T Communication Design...

100%-500%	500%-5000%	5000%-99999%

Exposure Profile Name	Model	Exposure Area	Standard	Resolution	RCF
Sula9 - Site Only - 3D GP	Sula 9	Spatial Average (6 ft)	FCC General Population	2.5 ft3	1.0

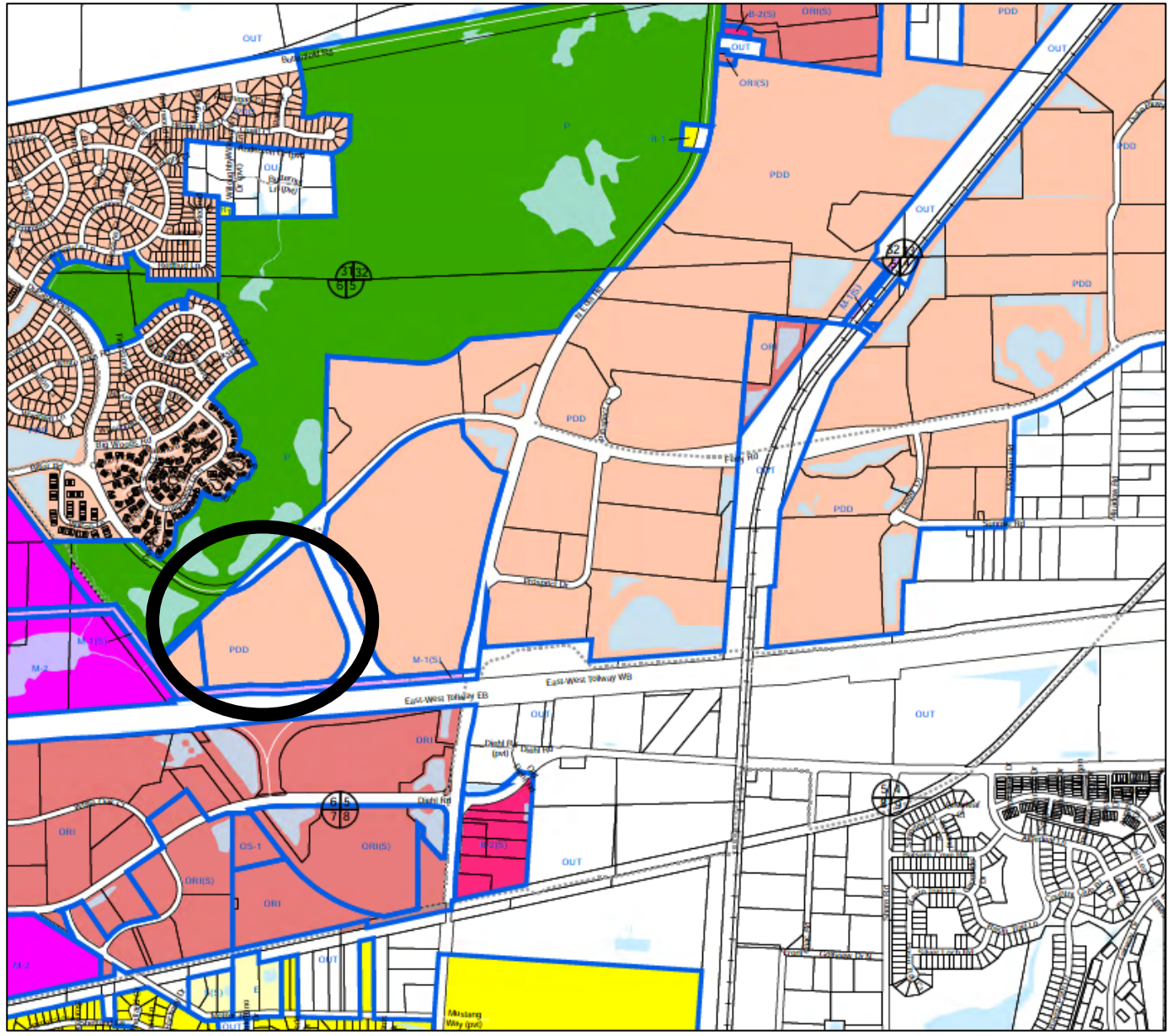
WATERFORD

CyrusOne Data Center Campus - 2905 Diehl Rd.

- 48.82 acres comprised of multiple data center buildings, a non-guyed tower with associated antennas and communication support facilities, and other ancillary facilities
- Has prompted significant additional development over last 5 years within Aurora
- Handles data for Chicago Mercantile Exchange

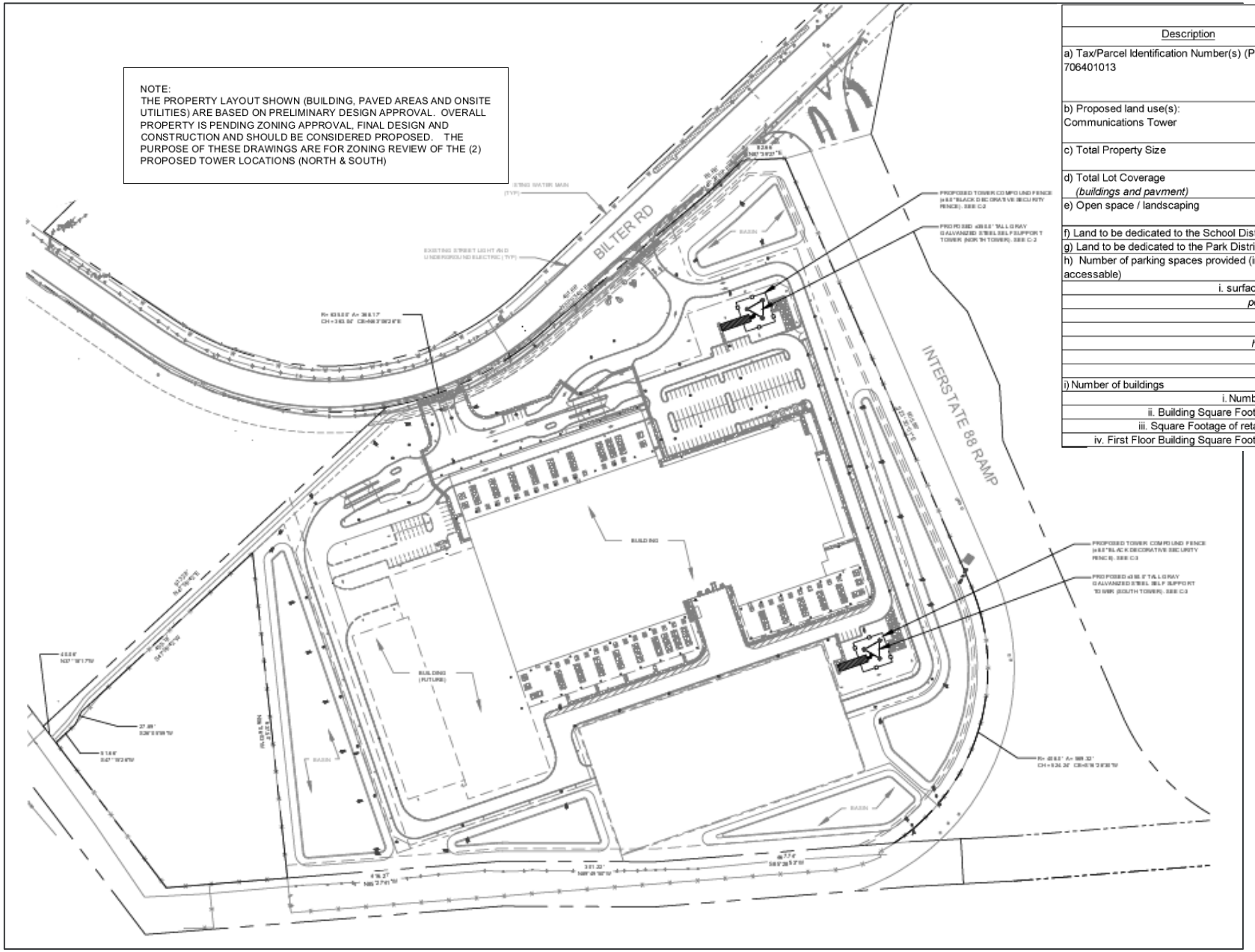
AERIAL

ZONING



Symbol	Zoning District
E	Estate Dwelling District
R-1,R-2,R-3	One Family Dwelling District
R-4, R-4A	Two Family Dwelling District
R-5	Multiple Family Dwelling District
R-5A	General Residence District
B-1	Business District - Local Retail
B-2	Business District - General Retail
B-3	Business & Wholesale District
B-B	Business Boulevard District
NC	Neighborhood Commercial
DF	Downtown Fringe
DC	Downtown Core
O	Office
ORI	Office/Research/Light Industrial
R-D	Research & Development District
M-1	Manufacturing District - Limited
M-2	Manufacturing District - General
PDD	Planned Development District
P	Park / Open Space
OS-1	Conservation, Open Space and Drainage District
OS-2	Open Space and Recreation District
(S)	Special Use District
(C)	Conditional Use District
	Zoning Boundaries
	Railroads
	Paths
	Section Corners

PRELIM SITE PLAN



Development Data Table: Final Plan

Description	Value	Unit	Description	Value	Unit
a) Tax/Parcel Identification Number(s) (PINs): 706401013			j) Total Number of Residential Dwelling Units	0	units
			i. Gross Density	0.00	du/acre
			ii. Net Density	0.00	Net Density
			k) Number of Single Family Dwelling Units	0	units
b) Proposed land use(s): Communications Tower			i. Gross Density	0.00	du/acre
			ii. Net Density	0.00	Net Density
			iii. Unit Square Footage (average)	0	square feet
c) Total Property Size	32.0805096	Acres	iv. Bedroom Mix	0%	% 1 bdr
	1397427	Square feet		0%	% 2 bdr
d) Total Lot Coverage	784846	Square feet		20%	% 3 bdr
(buildings and pavment)	56%	Percent		80%	% 4 bdr
e) Open space / landscaping	612581	Square feet	v. Number of Single Family Corner Lots	0	units
	44%	Percent	l) Number of Single Family Attached Dwelling Units	0	units
f) Land to be dedicated to the School District	0	Acres	i. Gross Density	0.00	du/acre
g) Land to be dedicated to the Park District	0	Acres	ii. Net Density	0.00	Net Density
h) Number of parking spaces provided (individually accessable)	166	spaces	iii. Unit Square Footage (average)	0	square feet
i. surface parking lot	166	spaces	iv. Bedroom Mix	0%	% 1 bdr
perpendicular	159	spaces		90%	% 2 bdr
parallel	0	spaces		10%	% 3 bdr
angled	0	spaces		0%	% 4 bdr
handicapped	7	spaces	m) Number of Multifamily Dwelling Units	0	units
ii. enclosed	0	spaces	i. Gross Density	0.00	du/acre
iii. bike	0	racks	ii. Net Density	0.00	Net Density
i) Number of buildings	1		iii. Unit Square Footage (average)	0	square feet
i. Number of stories	1	stories	iv. Bedroom Mix	0%	Efficency
ii. Building Square Footage (typical)	287014	square feet		40%	% 1 bdr
iii. Square Footage of retail floor area	0	square feet		50%	% 2 bdr
iv. First Floor Building Square Footage (typical)	287014	square feet		10%	% 3 bdr

PROPOSED TOWER - IMPROVEMENT AREA

PROPOSED NORTH TOWER GRAVEL COMPOUND: ±3,3375 SQ.FT.
PROPOSE NORTH TOWER EQUIPMENT SHELTER: ±826 SQ.FT.
PROPOSED TOWER TO BE PLACED IN EXISTING GRAVEL AREA.

PROPOSED SOUTH TOWER GRAVEL COMPOUND: ±3,3375 SQ.FT.
PROPOSE SOUTH TOWER EQUIPMENT SHELTER: ±826 SQ.FT.
PROPOSED TOWER TO BE PLACED IN EXISTING GRAVEL AREA.

SITE PLAN OVERLAY

SITE PLAN DATA

Development Data Table: Final Plan					
Description	Value	Unit	Description	Value	Unit
a) Tax/Parcel Identification Number(s) (PINs): 706401013			j) Total Number of Residential Dwelling Units	0	units
			i. Gross Density	0.00	du/acre
			ii. Net Density	0.00	Net Density
			k) Number of Single Family Dwelling Units	0	units
b) Proposed land use(s): Communications Tower			i. Gross Density	0.00	du/acre
			ii. Net Density	0.00	Net Density
			iii. Unit Square Footage (average)	0	square feet
c) Total Property Size	32.0805096	Acres	iv. Bedroom Mix	0%	% 1 bdr
	1397427	Square feet		0%	% 2 bdr
d) Total Lot Coverage	784846	Square feet		20%	% 3 bdr
(buildings and pavment)	56%	Percent		80%	% 4 bdr
e) Open space / landscaping	612581	Square feet	v. Number of Single Family Corner Lots	0	units
	44%	Percent	l) Number of Single Family Attached Dwelling Units	0	units
f) Land to be dedicated to the School District	0	Acres	i. Gross Density	0.00	du/acre
g) Land to be dedicated to the Park District	0	Acres	ii. Net Density	0.00	Net Density
h) Number of parking spaces provided (individually accessable)	166	spaces	iii. Unit Square Footage (average)	0	square feet
i. surface parking lot	166	spaces	iv. Bedroom Mix	0%	% 1 bdr
perpendicular	159	spaces		90%	% 2 bdr
parallel	0	spaces		10%	% 3 bdr
angled	0	spaces		0%	% 4 bdr
handicapped	7	spaces	m) Number of Multifamily Dwelling Units	0	units
ii. enclosed	0	spaces	i. Gross Density	0.00	du/acre
iii. bike	0	racks	ii. Net Density	0.00	Net Density
i) Number of buildings	1		iii. Unit Square Footage (average)	0	square feet
i. Number of stories	1	stories	iv. Bedroom Mix	0%	Efficency
ii. Building Square Footage (typical)	287014	square feet		40%	% 1 bdr
iii. Square Footage of retail floor area	0	square feet		50%	% 2 bdr
iv. First Floor Building Square Footage (typical)	287014	square feet		10%	% 3 bdr

PARKING SUMMARY

PROPOSED BUILDING 1 DATA:

PARKING SPACES REQUIRED (1 SPACE/7,000 SF)	= 59	SPACES
STANDARD PARKING SPACES PROVIDED	= 105	SPACES
ACCESSIBLE PARKING SPACES REQUIRED	= 5	SPACES
ACCESSIBLE PARKING SPACES PROVIDED	= 5	SPACES
TOTAL PARKING SPACES PROVIDED	= 110	SPACES
BUILDING AREA	= 411,175	SF

FUTURE BUILDING 2 DATA:

PARKING SPACES REQUIRED (1 SPACE/7,000 SF)	= 22	SPACES
STANDARD PARKING SPACES PROVIDED	= 32	SPACES
ACCESSIBLE PARKING SPACES REQUIRED	= 2	SPACES
ACCESSIBLE PARKING SPACES PROVIDED	= 2	SPACES
TOTAL PARKING SPACES PROVIDED	= 34	SPACES
BUILDING AREA	= 153,745	SF

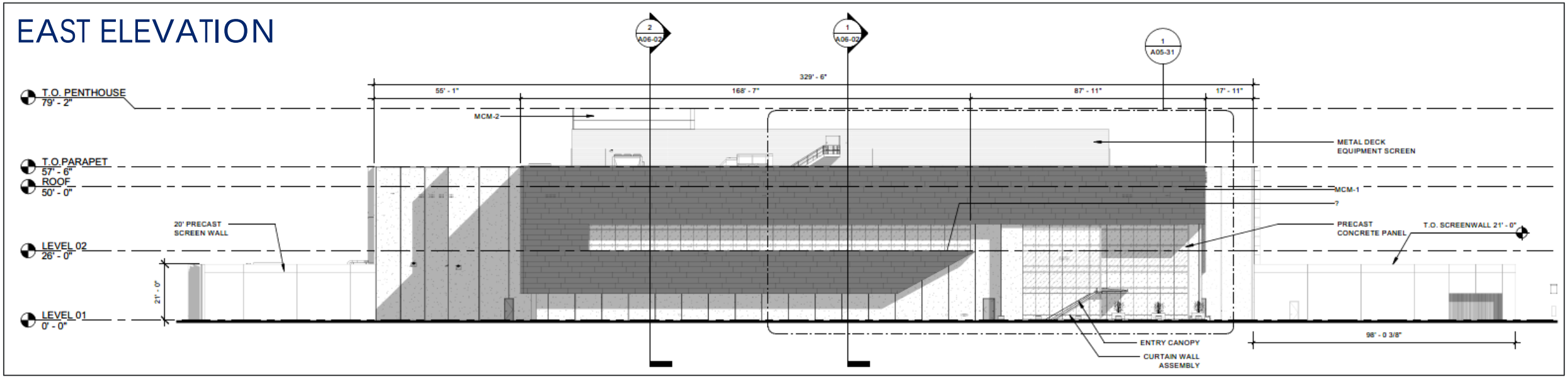
SUPPORT AREA PARKING DATA:

SITE ENTRANCE PARKING PROVIDED	= 5	SPACES
NORTH TOWER PARKING PROVIDED	= 5	SPACES
SOUTH TOWER PARKING PROVIDED	= 5	SPACES
TOTAL ADDITIONAL PARKING SPACES PROVIDED	= 15	SPACES

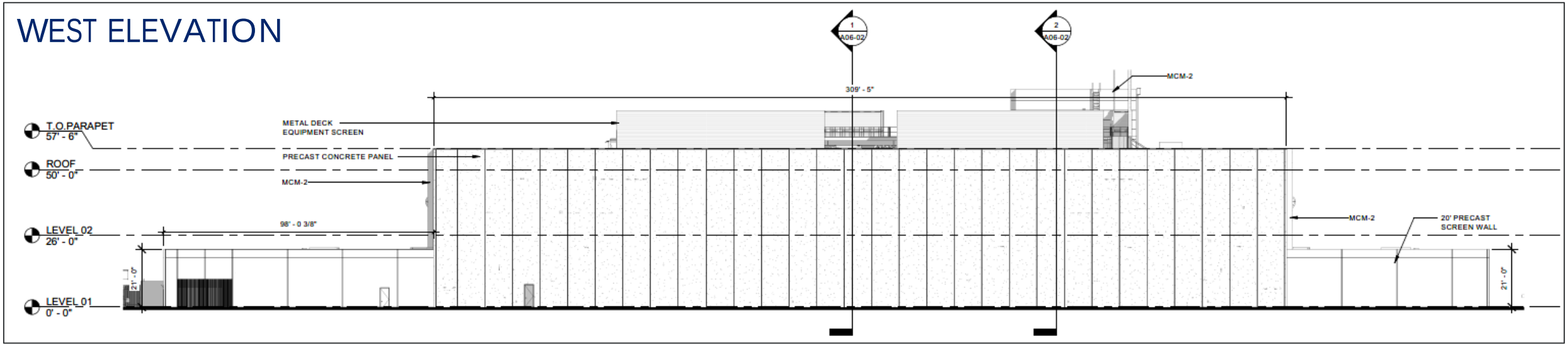
FRONT ENTRY

ELEVATIONS

EAST ELEVATION

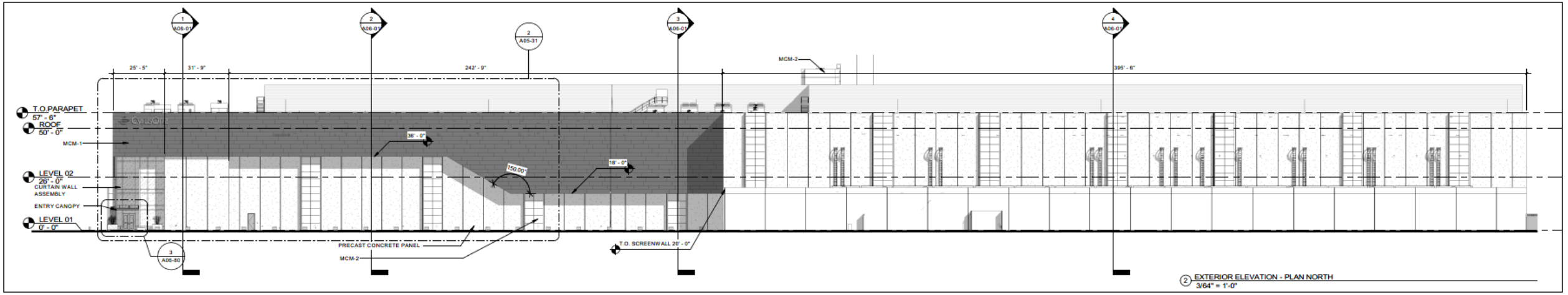


WEST ELEVATION

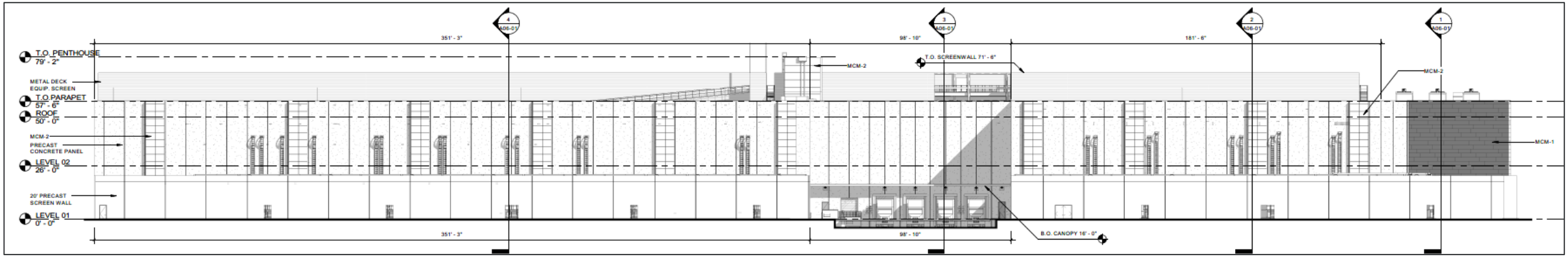


ELEVATIONS

NORTH ELEVATION



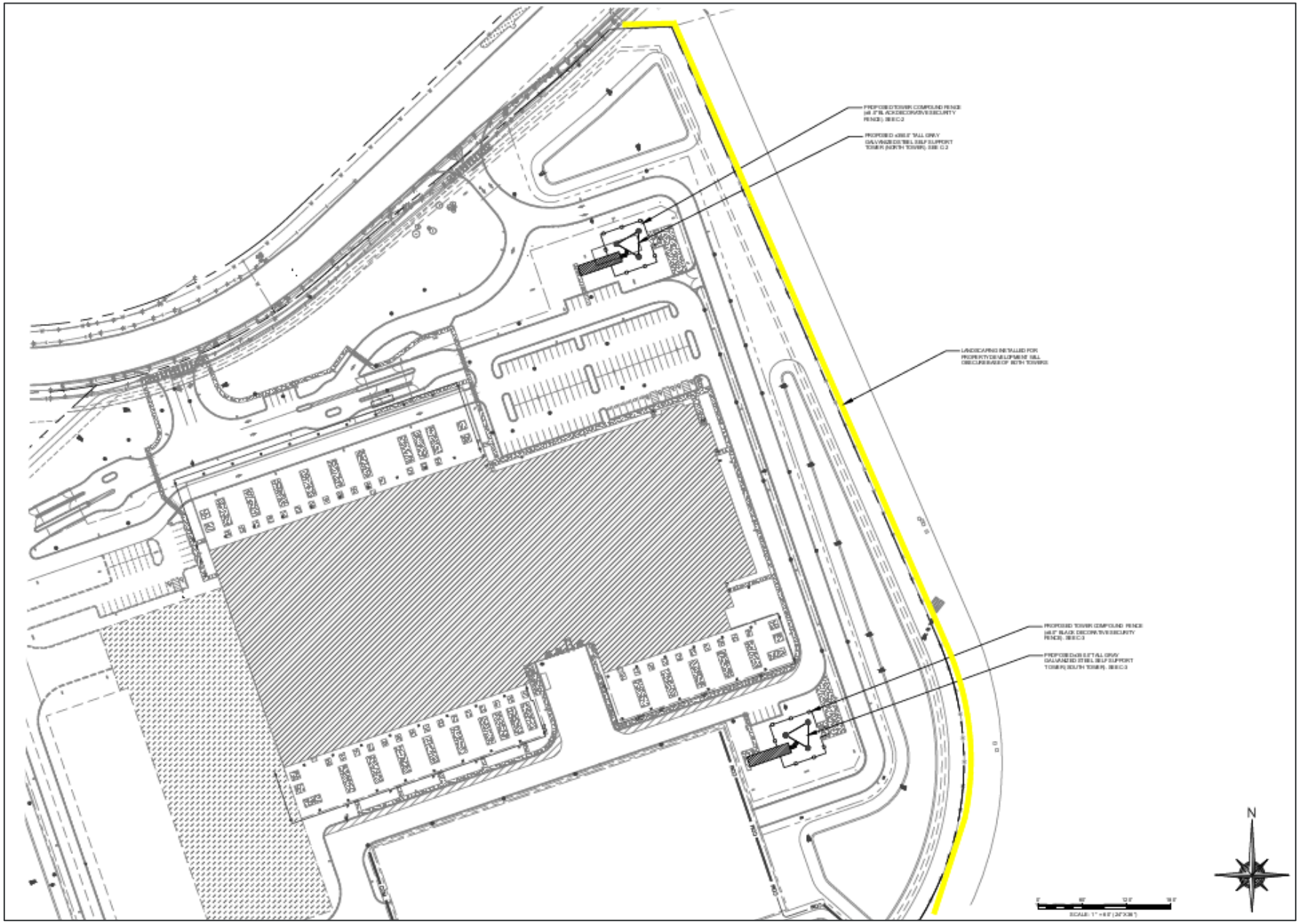
SOUTH ELEVATION



MATERIALS

MATERIAL ARTICULATION				
MATERIAL	**GLAZING** TRANSPARENT VS OPAQUE	**PRIMARY BUILDING MATERIAL**	**METAL PANEL TYPE 1** BUILDING ENVELOPE SYSTEM	**METAL PANEL TYPE 2** SCUPPER ENCLOSURES
NORTH				
	481 SF (1.2%) VS 380 SF (.9%)			
TOTAL: 40,310 SF	861 SF (2%)	25,714 SF (64%)	9,945 SF (25%)	3,790 SF (10%)
SOUTH				
	0 SF (0%) VS 0 SF (0%)			
TOTAL: 40,727 SF	0 SF (0%)	32,671 SF (80%)	2,848 SF (7%)	5,208 SF (13%)
WEST				
	0 SF (0%) VS 0 SF (0%)			
TOTAL: 19,801 SF	0 SF (0%)	18,941 SF (46%)	860 SF (40%)	0 SF (0%)
EAST				
	2,807 SF (14%) VS 869 SF (4%)			
TOTAL: 19,833 SF	3,676 SF (19%)	6,990 SF (35%)	9,167 SF (46%)	0 SF (0%)
TOTAL				
	3,288 SF (2.7%) VS 1,249 SF (1%)			
TOTAL: 120,671 SF	4,537 SF (4%)	84,316 SF (70%)	22,820 SF (19%)	8,998 SF (7%)

PRELIM LANDSCAPE PLAN



ENVIRONMENTAL NOISE ASSESSMENT

Table 5-2. Illinois Pollution Control Board Allowable Octave Band Sound Pressure Levels (dB) of Sound Emitted from Class B Land to other Receiving Land Uses

Octave Band Center Frequency (Hz)	Class A Receiving Land Use		Class B Receiving Land Use
	Daytime Hours 6:00 a.m. to 11:00 p.m.	Nighttime Hours 10:00 p.m. to 6:00 a.m.	All Hours
31.5	72	63	79
63	71	61	78
125	65	55	72
250	57	47	64
500	51	40	58
1000	45	35	52
2000	39	30	46
4000	34	25	41
8000	32	25	39
Overall * (dBA)	55	44	62

* The calculated overall A-weighted sound pressure level is listed for reference and informational purposes only. While exceedance of the calculated overall A-weighted sound pressure level would indicate exceedance of one or more octave band limits, compliance with these overall levels does not necessarily indicate compliance in all octave bands.

5.2 DuPage County

DuPage county has established sound level limits applicable to unincorporated land only. Since the project site will not be located within an unincorporated area of the county, no applicable county-specific requirements regarding environmental noise emissions have been identified.

ENVIRONMENTAL NOISE ASSESSMENT

Table 6-1. Predicted Project Sound Pressure Levels during Normal Full Load Operation

Location	Class per LBCS – Land Use	IPCB Equivalent Overall A-weighted Sound Pressure Level Limit [1] (dBA) Day [2]/Night [3]	Predicted Project Sound Level (dBA)
R01	Class A – Nature Reserve/Park	55/44	< 44
R02	Class A - Private Household	55/44	< 44
R03	Class A - Private Household	55/44	< 44
R04	Class A – Nature Reserve/Park	55/44	< 44
R05	Class A – Religious Institution (Church)	55/44	< 44
R06	Class B - Vacant land[4]	62	< 50
R07	Class B - Warehouse	62	< 50
R08	Class B – Retail / Manufacturing	62	< 50

NOTES:

1. As discussed in Section 5, the IPCB specifies octave band sound level limits. The calculated overall A-weighted sound pressure level associated with the octave band sound levels is listed here for use as a proxy for compliance evaluation.
2. Daytime Hours = 6:00 a.m. to 11:00 p.m.
3. Nighttime Hours = 10:00 p.m. to 6:00 a.m.
4. Based on available preliminary engineering plans (dates 2010) suggests a secondary zoning classification of ORI (Office/Research/Light Industrial) for the property.

ENVIRONMENTAL NOISE ASSESSMENT

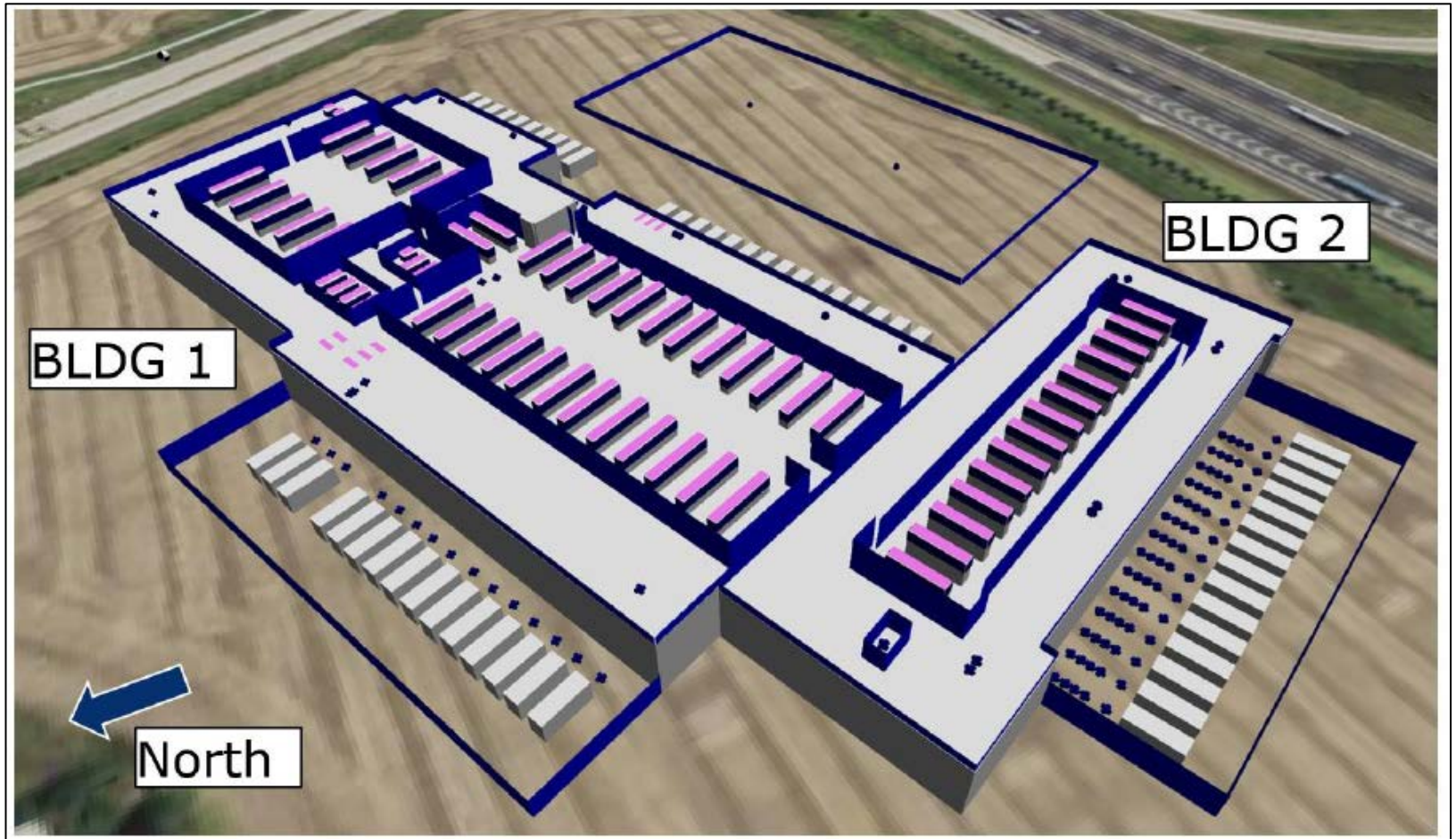


Figure 6.2. Conceptual project layout in 3D.

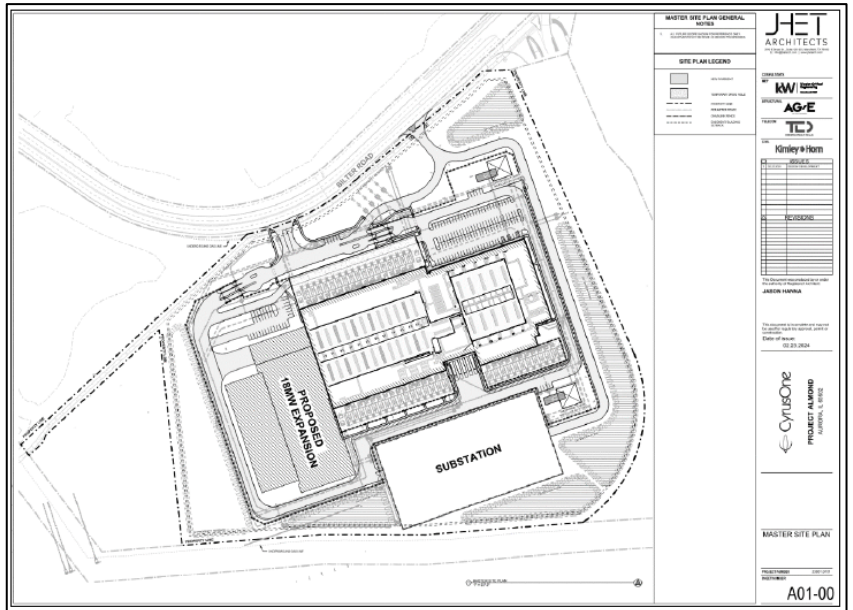


Figure 6.1. Conceptual project layout.

ENVIRONMENTAL NOISE ASSESSMENT

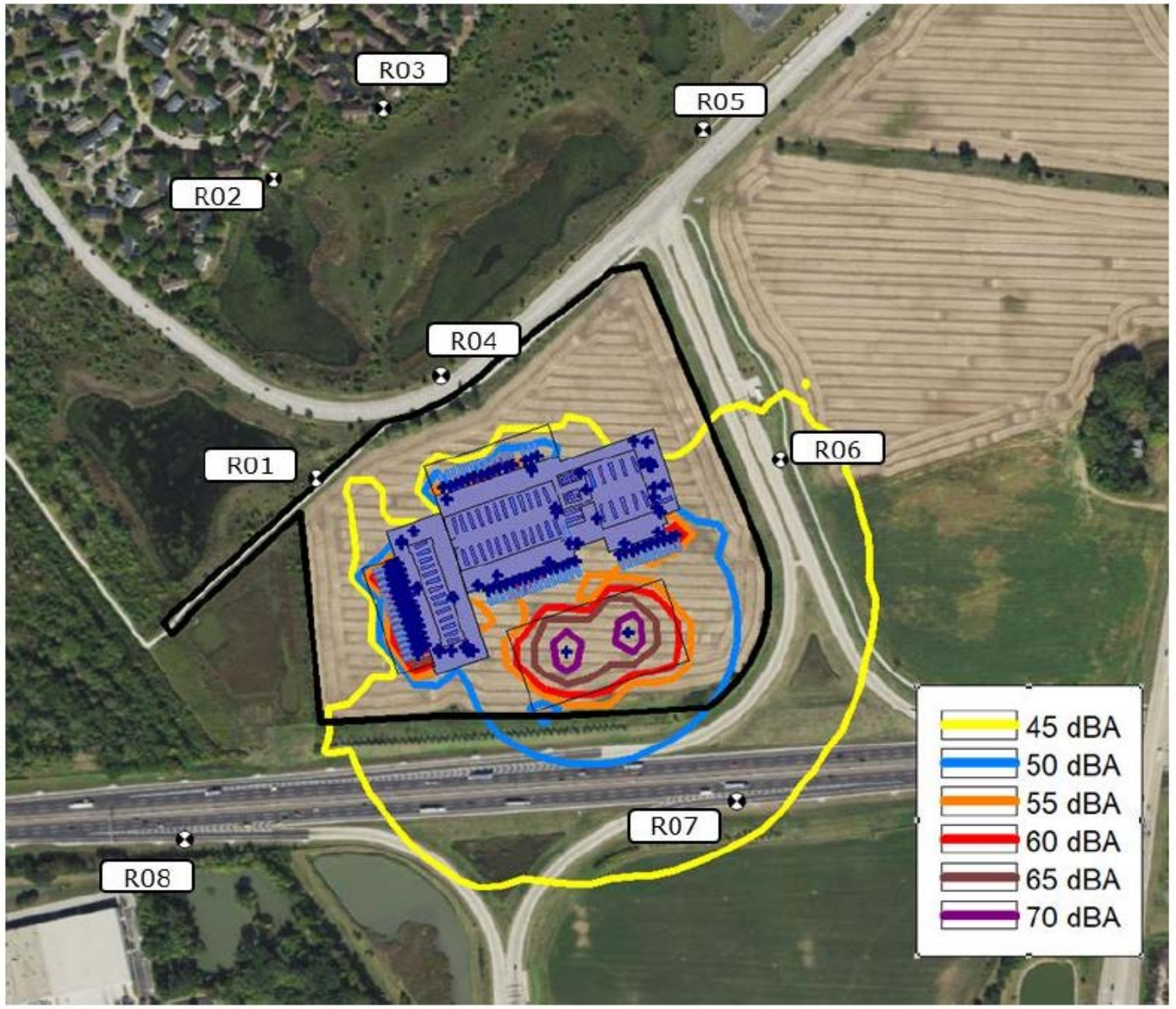


Figure 6.3. Predicted project sound pressure levels during normal full load operation.

ENVIRONMENTAL NOISE ASSESSMENT

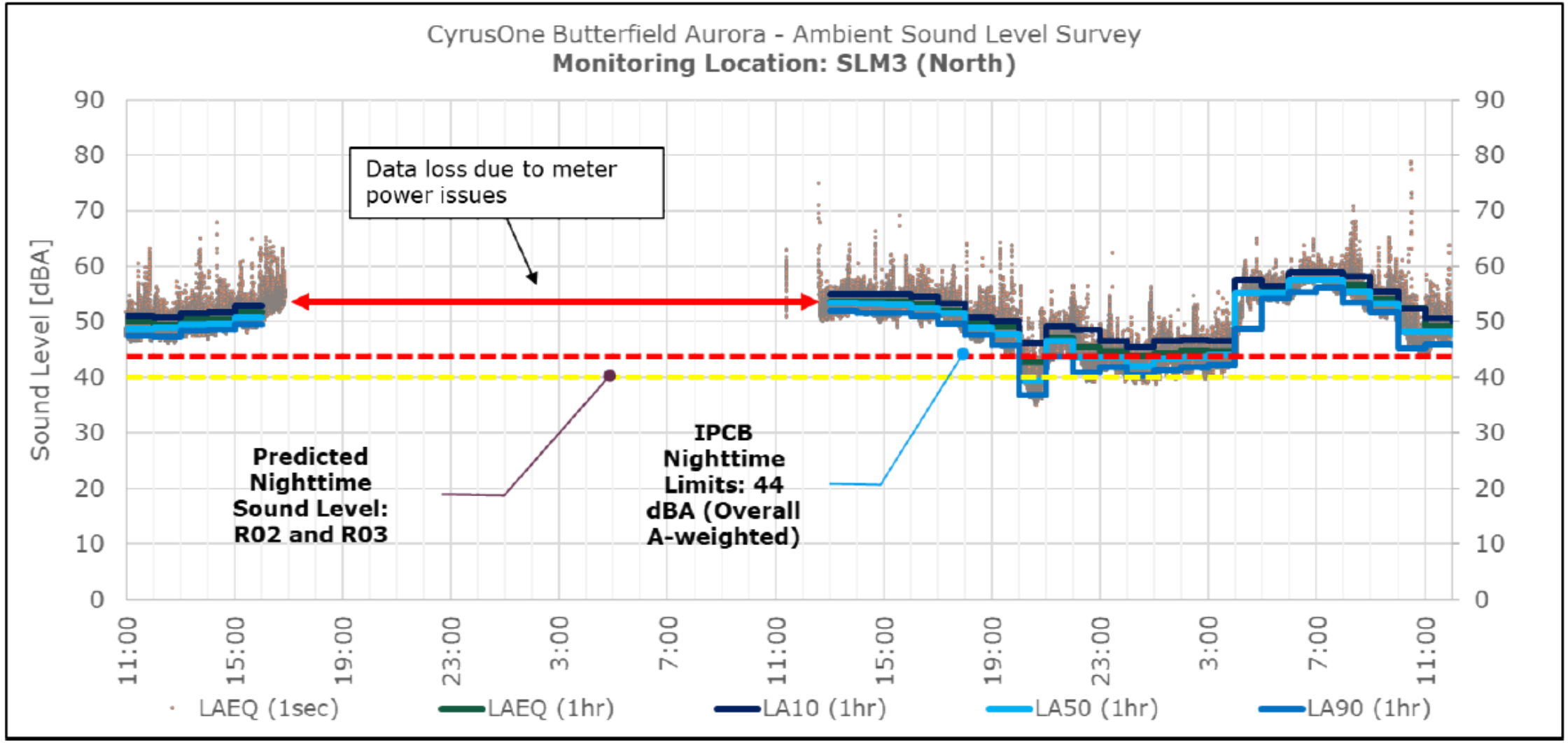


Figure 6.4. Predicted project sound pressure levels compared with existing conditions at nearest residential neighbor (based on survey location SLM3).

FOREST PRESERVE DISTRICT

Forest Preserve District
of DuPage County

35580 Naperville Road
P.O. Box 5000
Wheaton, IL 60189

630.933.7200
Fax 630.933.7204
TTY 800.526.0857
dupageforest.org

Sent Via email: MorganJ@aurora.il.us

May 20, 2024

Donald Pilmer, Chair
Planning and Zoning Commission
City of Aurora
44 East Downer Place
Aurora, IL 60505

Re: Notice of Public Hearing – Case file Number: NA06/4-24.158 – CUPD/Ppn/Psd
2725 Bilter Road, Aurora, PIN: 07-06-401-013

Dear Chairman Pilmer,

The Forest Preserve District of DuPage County recently received a Notice of Public Hearing regarding C1 Chicago Aurora III LLC's request for approval of an Amendment to a Plan Description, approval of a Conditional Use, and the establishment of modified standards as it relates to the construction of a telecommunications facility at the aforementioned property. We appreciate receiving timely notification of such requests that may have an impact on Forest Preserve District property and thank you for the opportunity to comment. Please note that Big Woods Forest Preserve is across the street from the proposed development.

According to an email received by the Forest Preserve District from the petitioner's attorney on 5/10/24, two communications towers will be erected on the subject property, both at a height of 350 feet. Communication towers are some of the tallest structures across the landscape and birds are regularly injured or deceased around these towers for various reasons. We recommend the petitioner follows the U.S. Fish and Wildlife Service's "Recommended Best Practices for Communication Tower Design, Siting, Construction, Operation, Maintenance, and Decommissioning", which can be found at the link below. To minimize wildlife impacts, communication equipment should be co-located on existing towers, new towers should be no more than 199 feet above ground, and the minimum amount of lighting required by the FAA should be used.

https://www.fws.gov/media/recommended-best-practices-communication-tower-design-siting-construction-operation

Please consider this as the Forest Preserve District's request that this letter be read and entered into the public record at the 5/22/24 Planning and Zoning Commission meeting. Please do not hesitate to call me at (630) 933-7235 with any questions.

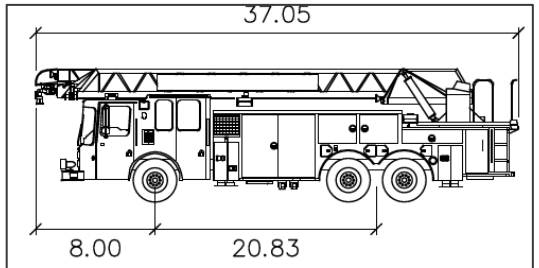
Sincerely,

Kevin Stough
Land Preservation Manager

cc: Jessica Ortega, Strategic Plan and Initiatives Manager

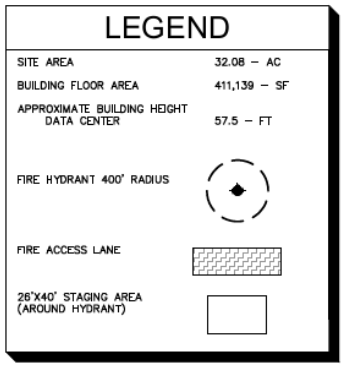
FIRE ACCESS PLAN

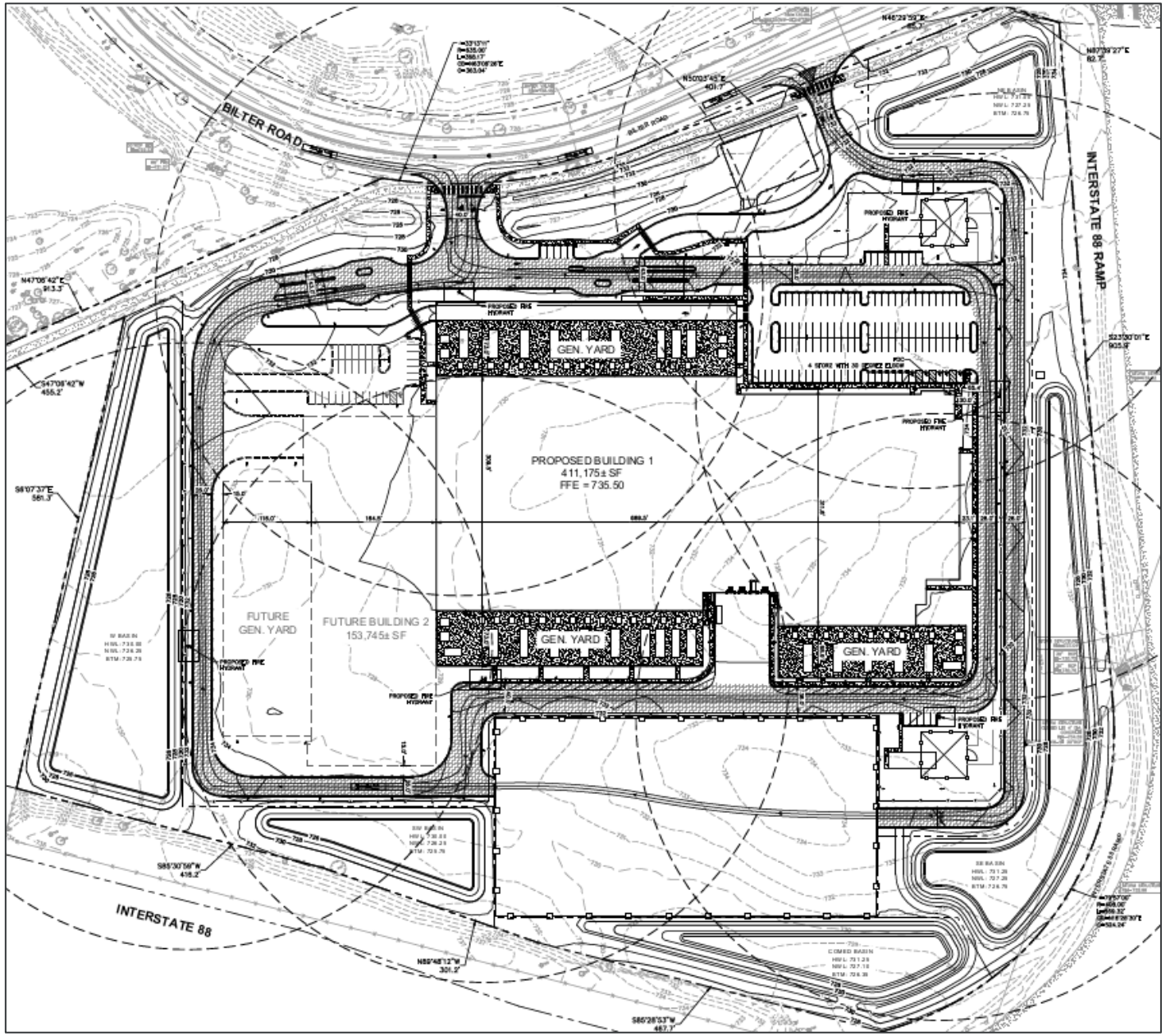
Fire Access Plan Data Table		
Description	Value	Unit
a) Building Height	57.50	feet
b) Building Square Footage (typical)	411,175	square feet
c) Building fire suppression information including any proposed use of sprinkler systems, fire alarm systems, whether fire extinguishers are needed:		
This building will be fully sprinkled with an automatic sprinkler system. A wet pipe system will be provided in administrative areas while all equipment and critical areas will receive a pre-action dry pipe system. Fire extinguishers will be provided per code requirements, multi-purpose (dry chemical) and clean agent types will be used depending on the use of the space.		
d) General description of business to be conducted within each building including: will there be rack storage in the building, will there be storage of combustible materials over twelve feet in height, clearance of sprinkler heads and stored materials (18 inch minimum):		
Building purpose to be a data center with an office component. Data halls providing space for server cabinet storage is the main use, with storage space provided for the delivery/install of the cabinets. Infrastructure for the electrical systems are also within the building, as well as rooms for the fire suppression system. All combustible storage needed will be exterior of the building within the equipment yards. Floor to floor height is 26'-0" which provides ample clearance for sprinkler systems.		



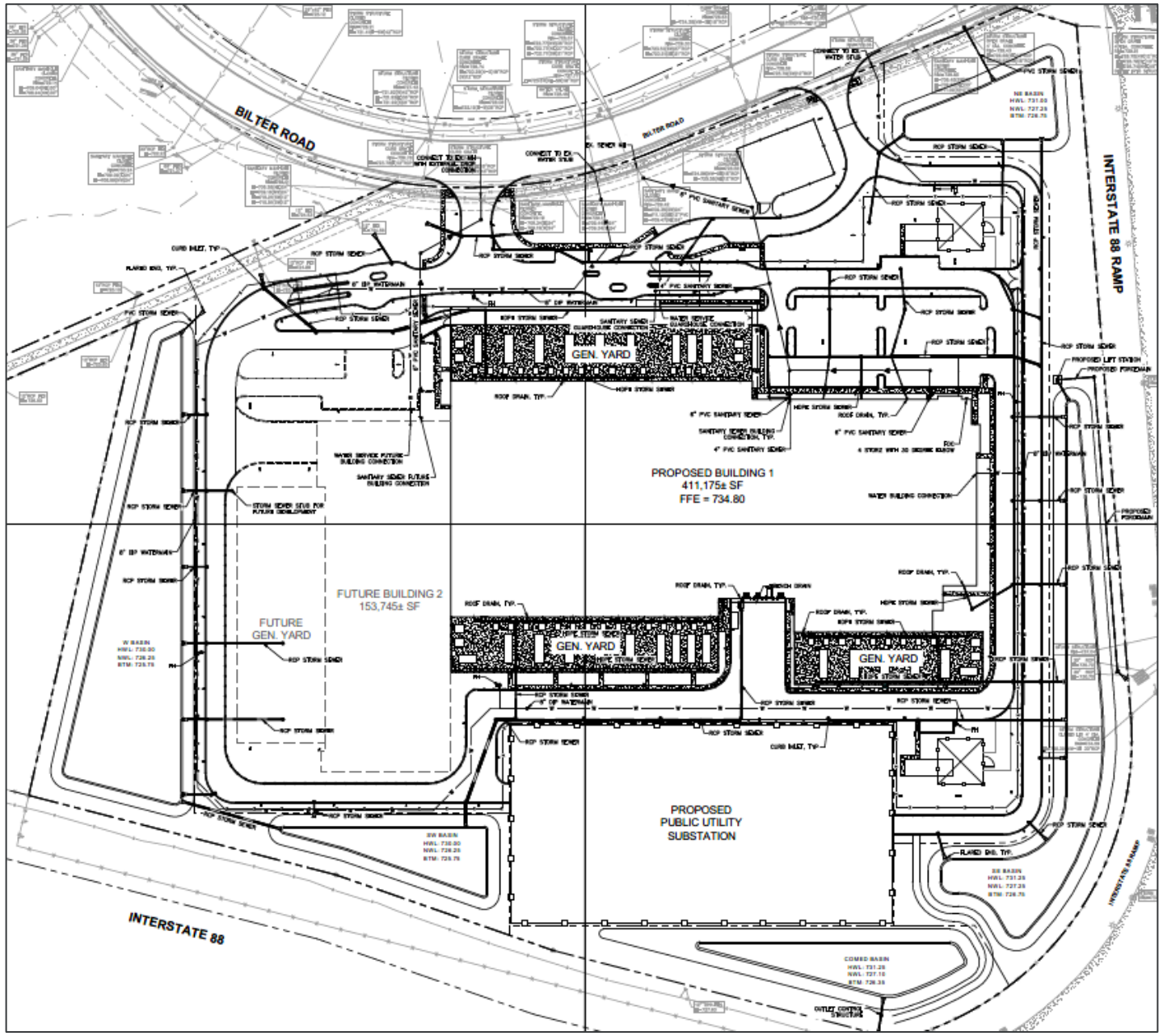
Aurora Fire Truck

	feet
Width	: 8.33
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 45.0

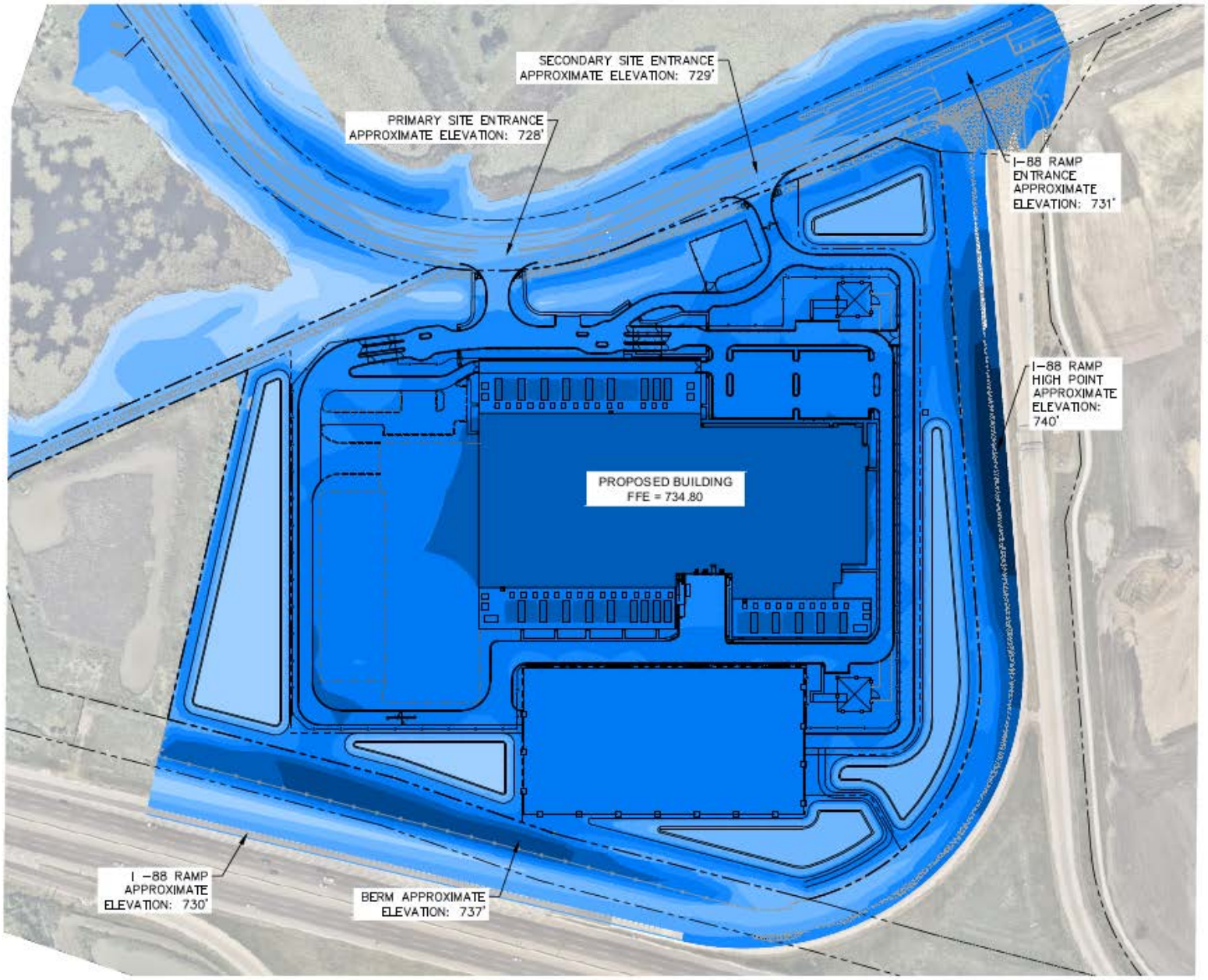




PRELIM UTILITY PLAN

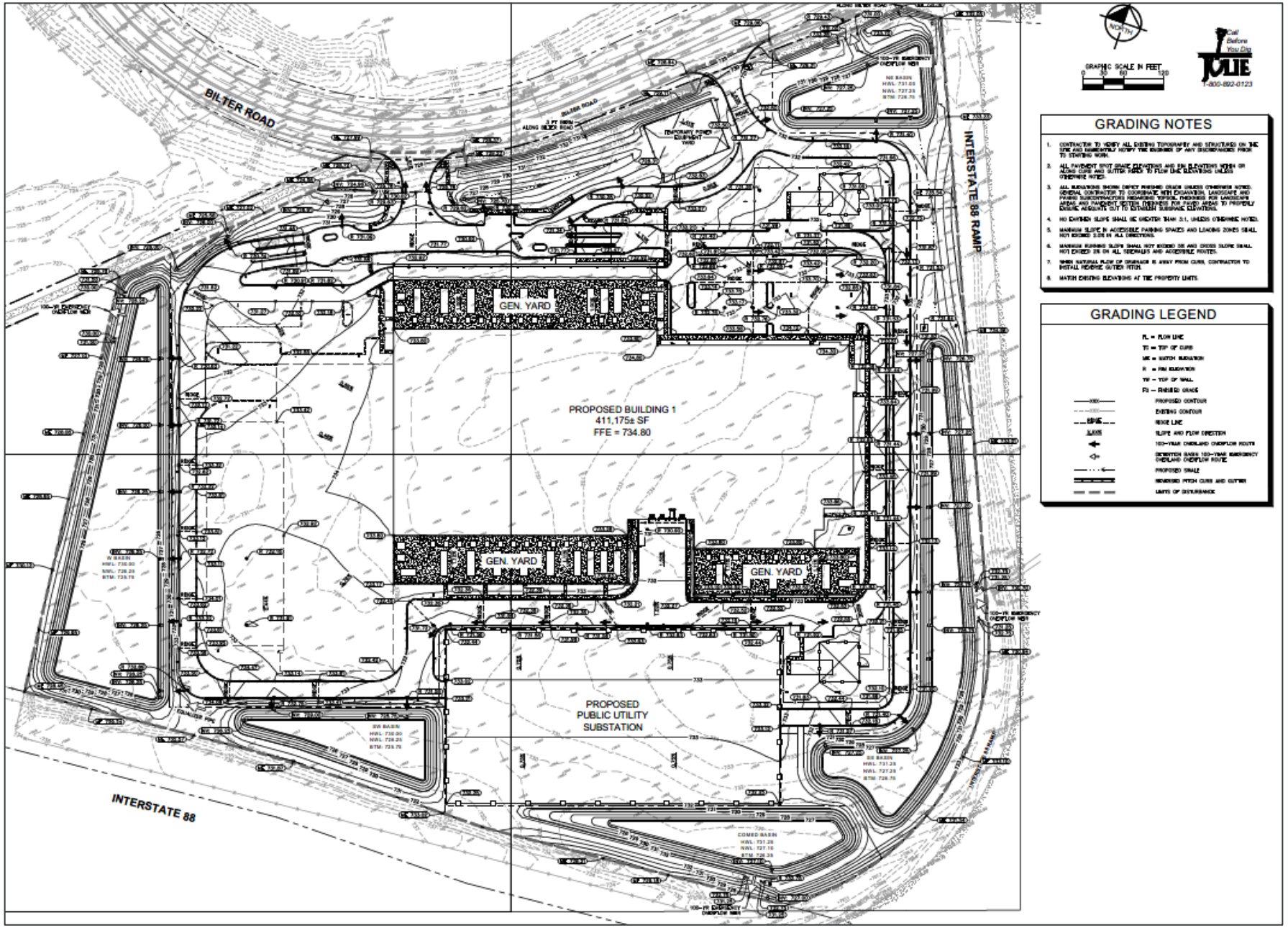


ELEVATIONS

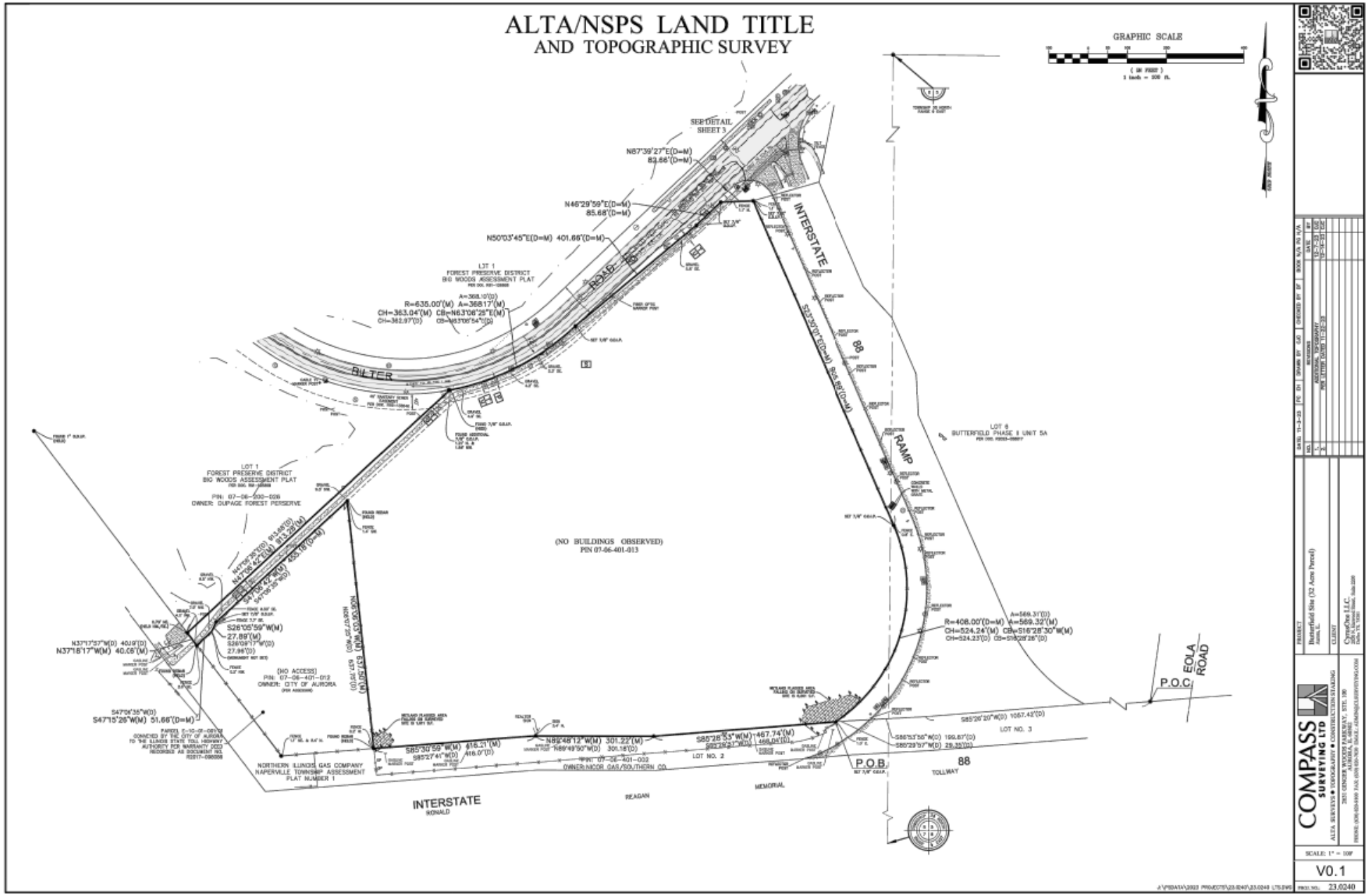


Elevations Table		
Minimum Elevation	Maximum Elevation	Color
738.01	740.00	
736.01	738.00	
734.01	736.00	
732.01	734.00	
730.01	732.00	
728.01	730.00	
726.01	728.00	
724.01	726.00	
722.01	724.00	
719.78	722.00	

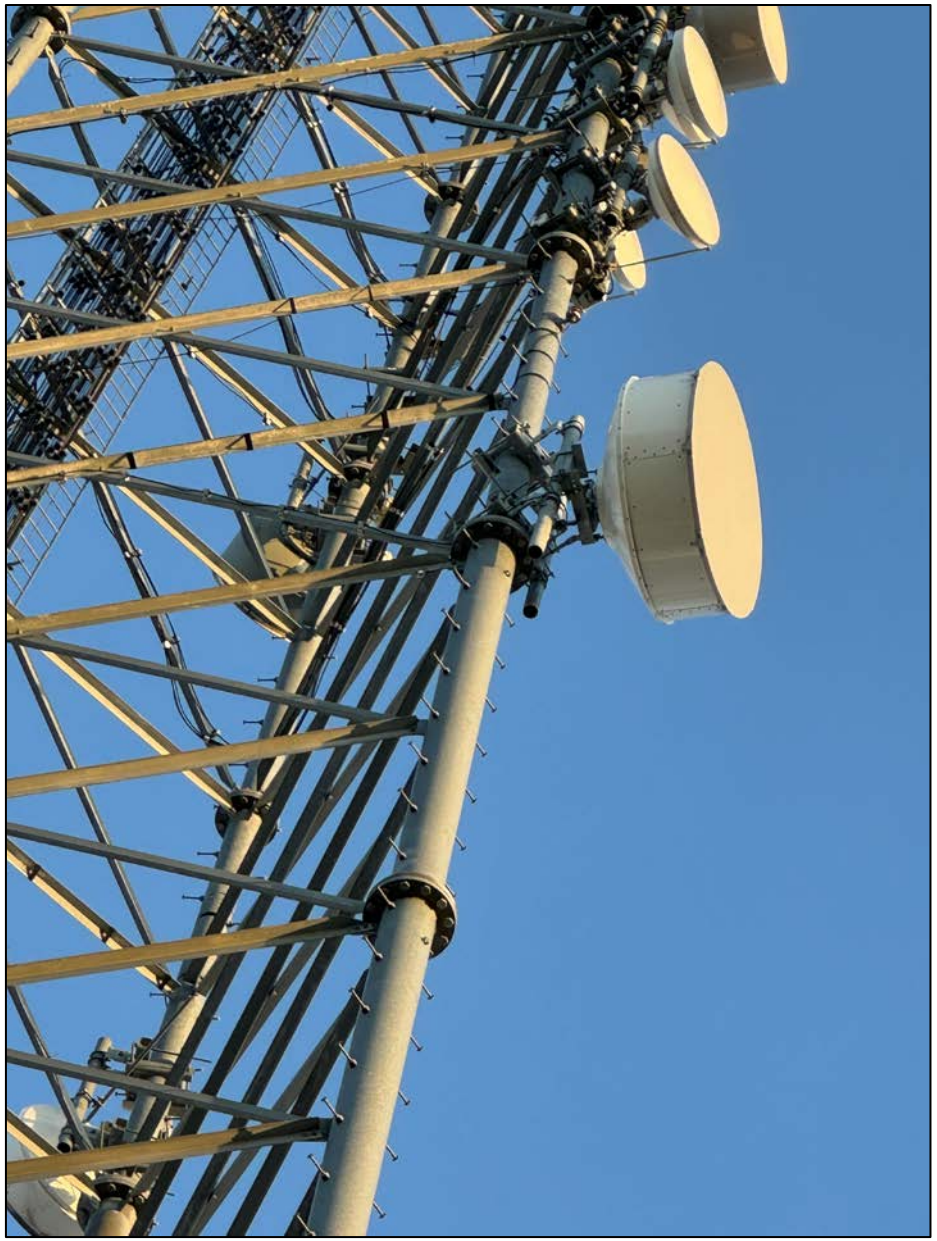
GRADING & DRAINAGE PLAN

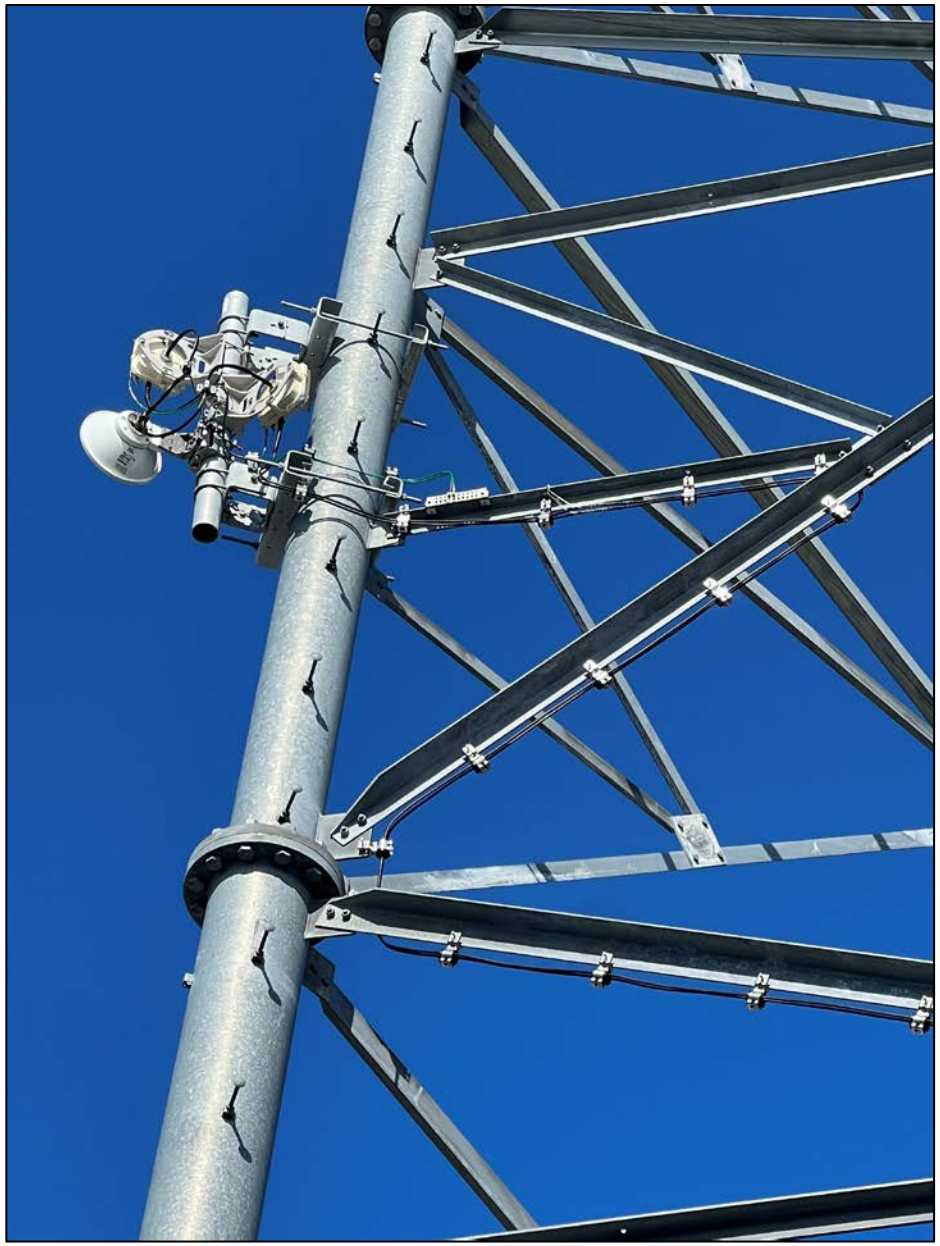


ALTA SURVEY


ALTA/NSPS LAND TITLE
AND TOPOGRAPHIC SURVEY
GRAPHIC SCALE
SEE DETAIL SHEET 3
INTERSTATE
RAMP
BILTER ROAD
LOT 1
FOREST PRESERVE DISTRICT
BIG WOODS ASSESSMENT PLAT
PIN: 07-06-400-026
OWNER: DUPAGE FOREST PERSERVE
LOT 6
BUTTERFIELD PHASE II UNIT 5A
(NO BUILDINGS OBSERVED)
PIN 07-06-401-013
(NO ACCESS)
PIN: 07-06-401-012
OWNER: CITY OF AURORA
PIN: 07-06-401-032
OWNER: NICOR GAS/SOUTHERN CO.
LOT NO. 2
LOT NO. 3
NORTHERN ILLINOIS GAS COMPANY
NAPERVILLE TOWNSHIP ASSESSMENT
PLAT NUMBER 1
P.O.B.
P.O.C.
EOLA ROAD
INTERSTATE
RONALD REAGAN MEMORIAL TOLLWAY
88
COMPASS SURVEYING LTD
SCALE: 1" = 100'
V0.1
23.0240

CYRUSONE DATA CENTER CAMPUS - EXISTING TOWER

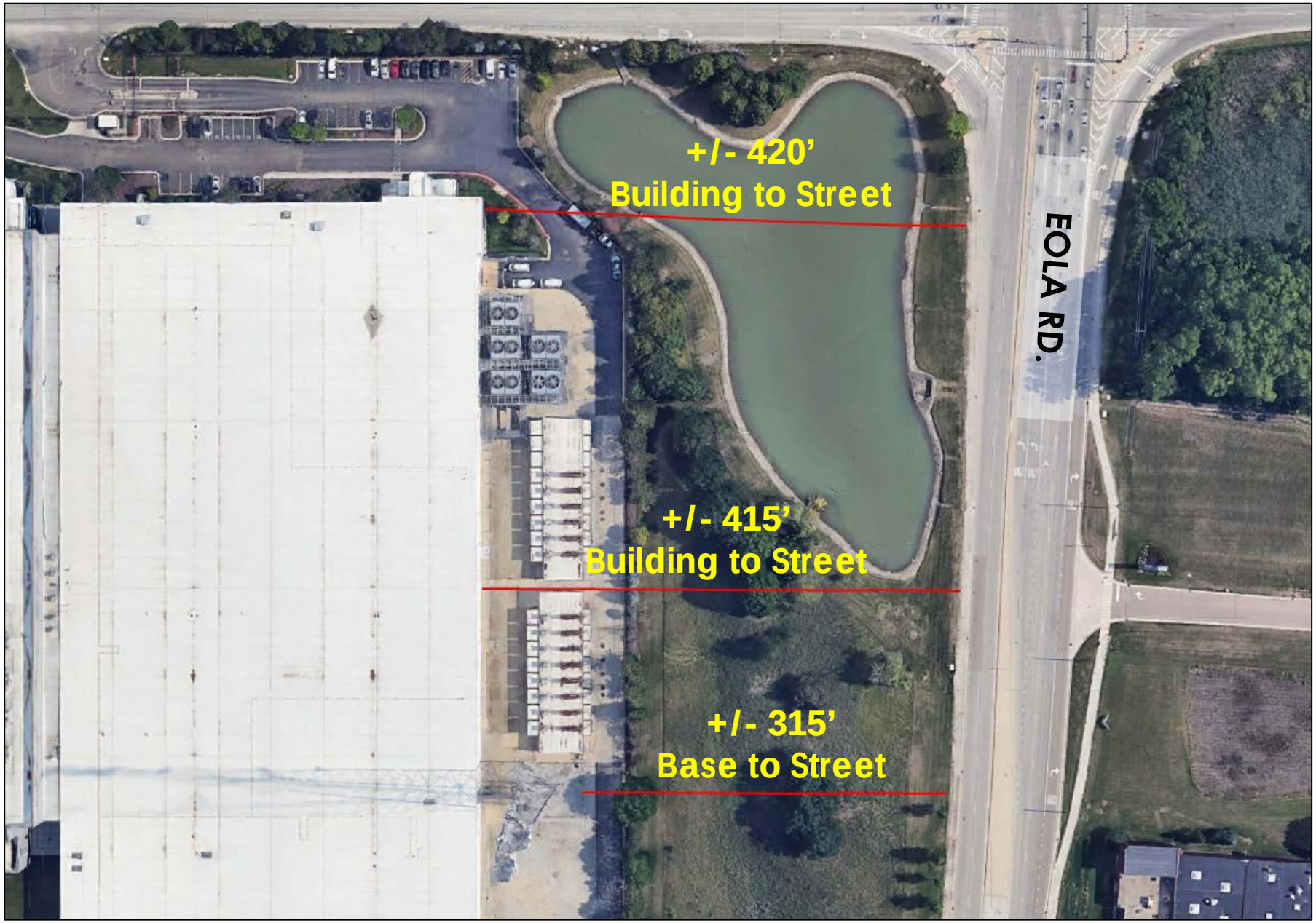




CYRUSONE DATA CENTER CAMPUS - EXISTING TOWER

CYRUSONE DATA CENTER CAMPUS - EXISTING TOWER

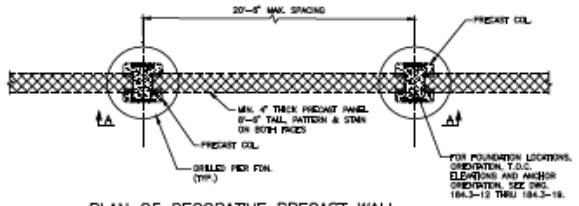
CYRUSONE DATA CENTER CAMPUS - SETBACKS



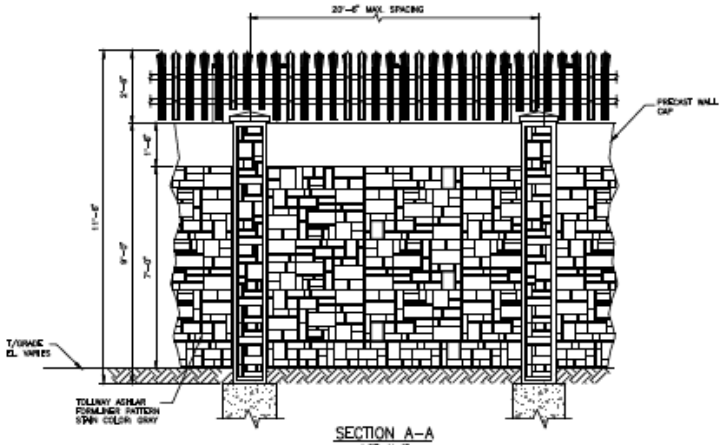
CYRUSONE DATA CENTER CAMPUS - BERM

CYRUSONE DATA CENTER CAMPUS - BERM

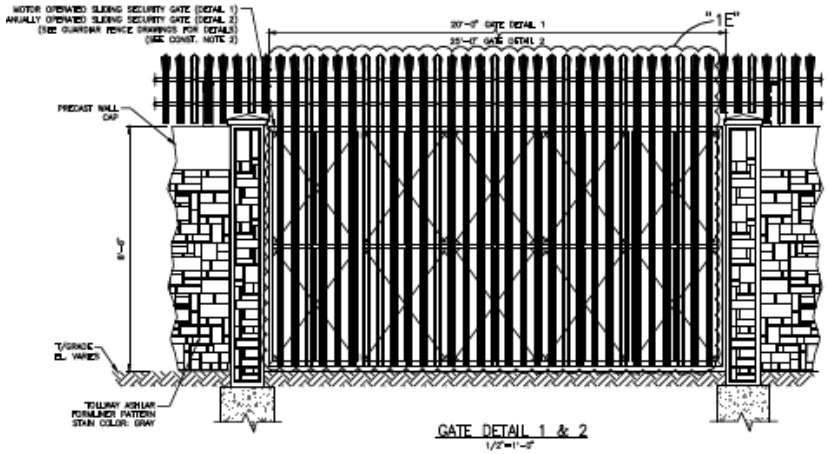
SECURITY WALL DETAIL



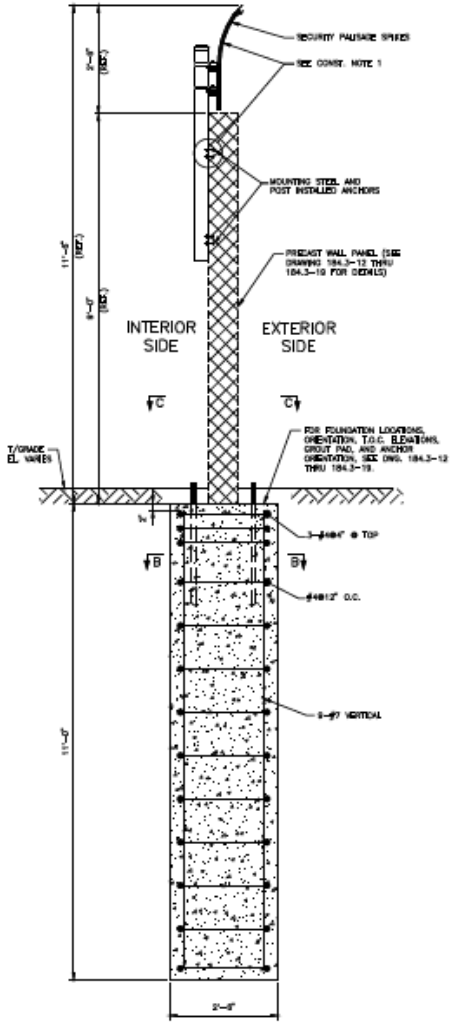
PLAN OF DECORATIVE PRECAST WALL
1/2"=1'-0"



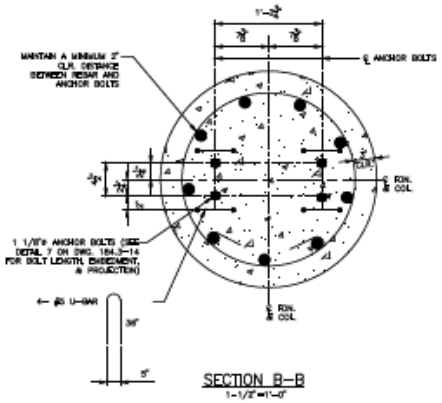
SECTION A-A
1/2"=1'-0"



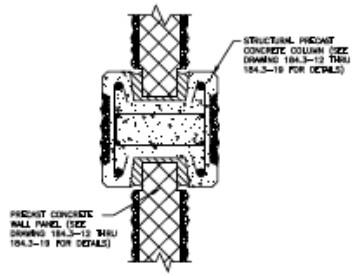
GATE DETAIL 1 & 2
1/2"=1'-0"



DECORATIVE PRECAST WALL PANEL SUPPORT DETAIL
3/4"=1'-0"

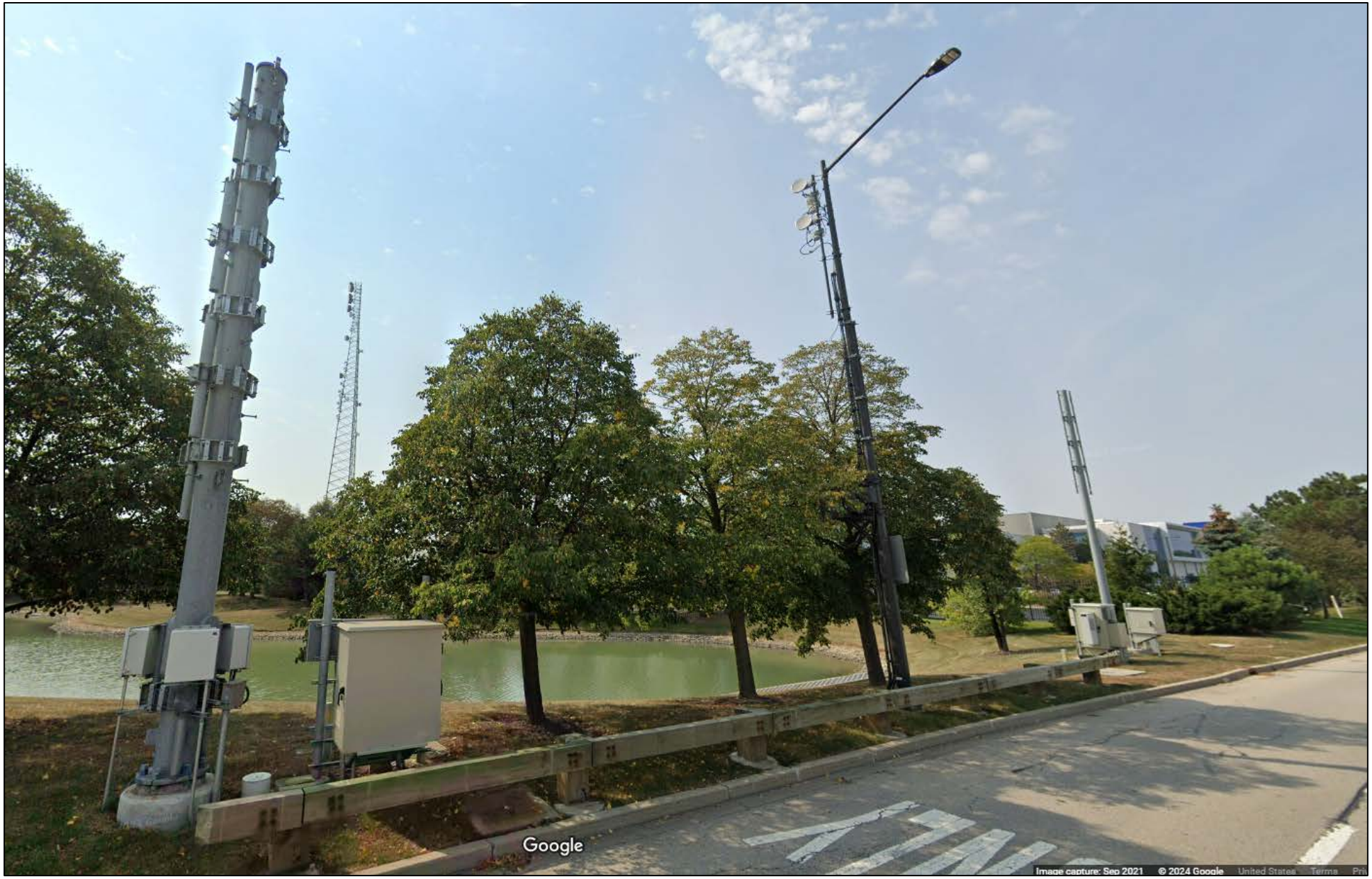


SECTION B-B
1-1/2"=1'-0"



SECTION C-C
1-1/2"=1'-0"

STRUCTURES ALONG DIEHL RD.



STRUCTURES ALONG DIEHL RD.

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