



LEGAL DESCRIPTION

PARCEL 1:

THAT PART OF THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, TOGETHER WITH ALL OF LOT 14 AND PART OF LOT 27 IN ARTHUR T. MCINTOSH AND COMPANY'S FERRY ROAD FARMS, BEING A SUBDIVISION OF PART OF THE WEST 1/2 OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 12, 1943 AS DOCUMENT 455751, ALL TAKEN AS ONE TRACT AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 14; THENCE NORTH 66 DEGREES 28 MINUTES 09 SECONDS WEST, 187.95 FEET; THENCE NORTH 32 DEGREES 49 MINUTES 30 SECONDS EAST, 260.54 FEET TO A POINT OF CURVATURE, THENCE NORTHEASTERLY ALONG A CURVE CONCAVE NORTHEASTERLY, TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 283.00 FEET, A CHORD BEARING OF NORTH 19 DEGREES 54 MINUTES 27 SECONDS EAST, A CHORD LENGTH OF 126.53 FEET, AN ARC LENGTH OF 127.61 FEET TO A POINT OF COMPOUND CURVATURE, THENCE NORTHERLY AND NORTHEASTERLY ALONG A CURVE CONCAVE WESTERLY, TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 983.00 FEET, A CHORD BEARING OF NORTH 23 MINUTES 23 SECONDS WEST, A CHORD LENGTH OF 286.51 FEET, AN ARC LENGTH OF 287.54 FEET TO A POINT OF TANGENCY IN SAID EASTERLY LINE, THENCE NORTH 00 DEGREES 00 MINUTES 10 SECONDS WEST ALONG SAID EASTERLY LINE, 143.38 FEET, TO THE SOUTHERLY LINE OF FERRY ROAD PER DOCUMENT R2007-090410; THENCE NORTH 80 DEGREES 14 MINUTES 44 SECONDS EAST ALONG SAID SOUTHERLY LINE, 78.62 FEET TO AN ANGLE POINT IN SAID SOUTHERLY LINE, THENCE SOUTH 12 DEGREES 42 MINUTES 15 SECONDS EAST ALONG SAID SOUTHERLY LINE, 8.12 FEET TO AN ANGLE POINT IN SAID SOUTHERLY LINE, THENCE NORTH 80 DEGREES 13 MINUTES 52 SECONDS EAST, 656.01 FEET TO AN ANGLE POINT IN SAID SOUTHERLY LINE, THENCE SOUTH 01 DEGREE 37 MINUTES 00 SECONDS WEST ALONG SAID EAST LINE, 440.51 FEET TO THE SOUTHEAST CORNER OF SAID LOT 27; THENCE SOUTH 89 DEGREES 09 MINUTES 27 SECONDS WEST ALONG SAID SOUTH LINE, 299.76 FEET TO THE NORTHEAST CORNER OF LOT 14 IN SAID ARTHUR T. MCINTOSH AND COMPANY'S FERRY ROAD FARMS; THENCE SOUTH 01 DEGREE 37 MINUTES 29 SECONDS WEST ALONG THE EAST LINE OF SAID LOT 14, A DISTANCE OF 510.75 FEET TO THE SOUTHEAST CORNER OF SAID LOT 14; THENCE SOUTH 89 DEGREES 09 MINUTES 58 SECONDS WEST ALONG THE SOUTH LINE OF SAID LOT 14, A DISTANCE OF 511.44 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:

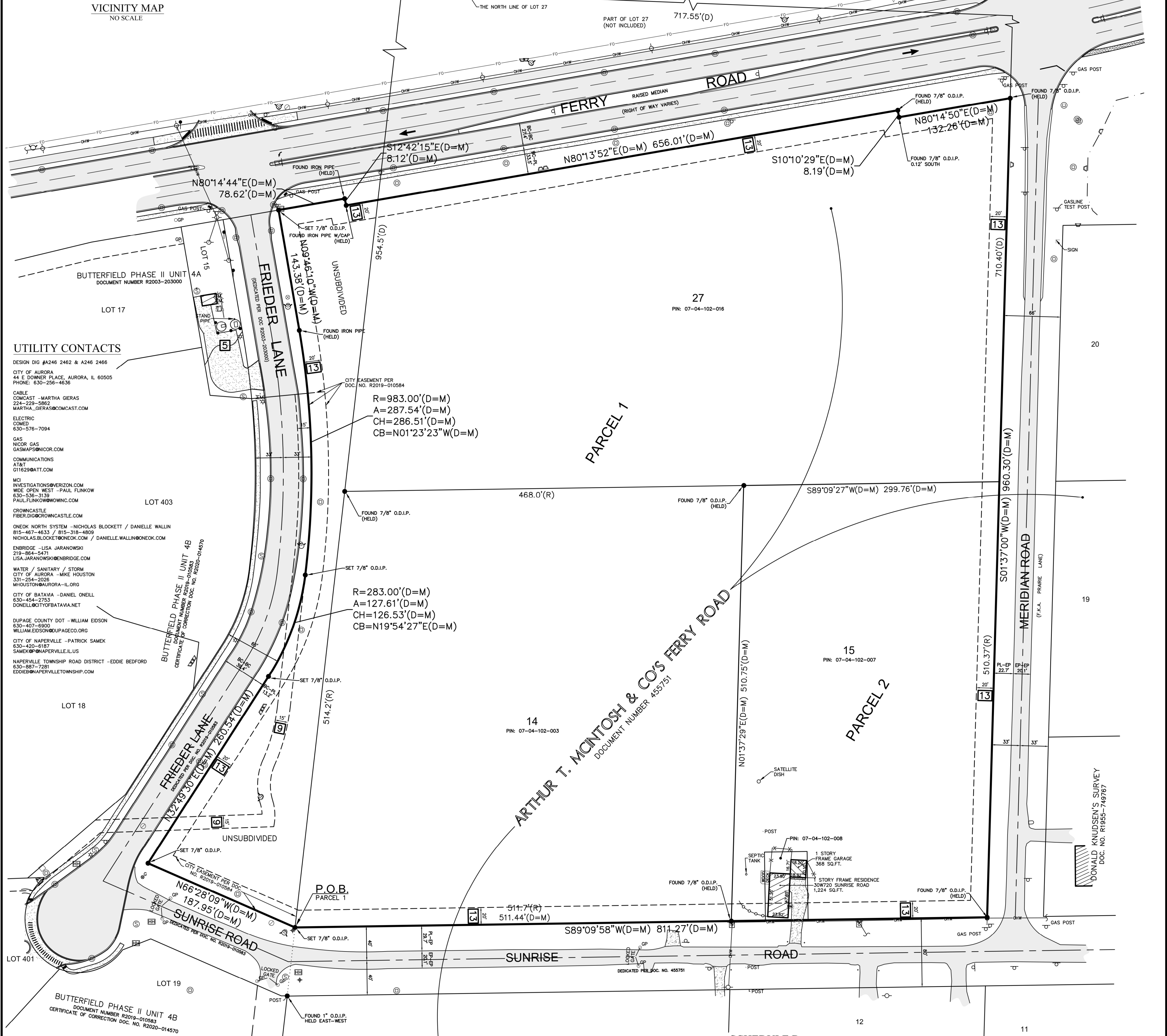
LOT 15 IN ARTHUR T. MCINTOSH AND COMPANY'S FERRY ROAD FARMS, BEING A SUBDIVISION OF PART OF THE WEST 1/2 OF SECTION 4, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 1, 1943 AS DOCUMENT 455751, IN DUPAGE COUNTY, ILLINOIS.

GRAPHIC SCALE



STRIPED PARKING DATA
REGULAR SPACES = 0
ACCESSIBLE SPACES = 0
TOTAL SPACES = 0

AREA SUMMARY
(TO HEAVY LINES)
768,208 SQUARE FEET
OR
17.636 ACRES
(BASED ON MEASURED VALUES)



LEGEND

- FOUND 7/8" O.D.I.P. (HELD LOCATION)
UNLESS OTHERWISE NOTED (HELD LOCATION)
CONCRETE MONUMENT
CROSS IN CONCRETE
MANHOLE
STORM STRUCTURE
SANITARY MANHOLE
CLEANOUT
FLARED END SECTION
TRANSFORMER PAD
ELECTRIC MANHOLE
ELECTRIC BOX
ELECTRIC PEDESTAL
ELECTRIC MARKER
ELECTRIC METER
UTILITY POLE
UTILITY POLE W/LIGHT
UTILITY POLE W/TSF
GUY POLE
OVERHEAD TRAFFIC SIGNAL
TRAFFIC SIGNAL MANHOLE
LIGHT
LIGHT POLE
HAND HOLE
VALVE VAULT
FIRE HYDRANT
IRRIGATION CONTROL VALVE
POST INDICATOR VALVE
SIAMSE WATER CONNECTION
WATER MARKER
WATER METER
VALVE BOX
B/BOX
SPRINKLER CONTROL VALVE
TELEPHONE MANHOLE
TELEPHONE NETWORK INTERFACE
TELEPHONE MARKER
TELEPHONE PEDESTAL
CABLE TELEVISION PEDESTAL
CONTROL BOX
WETLAND FLAG

- LINE LEGEND
LIMITS OF LAND PER LEGAL DESCRIPTION
ADJACENT LAND
PARCEL LINE
EASEMENT LINE
CENTERLINE
BUILDING SETBACK LINE
EXISTING CONTOUR
- ABBREVIATIONS
O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
TF = TOP OF FOUNDATION
FF = FINISHED FLOOR
FES = FLARED END SECTION
VCP = VITRIFIED CLAY PIPE
DIP = DUCTILE IRON PIPE
PVC = POLYVINYL CHLORIDE
RCP = REINFORCED CONCRETE PIPE
CMP = CORRUGATED METAL PIPE
(R) = RECORD BEARING OR DISTANCE
(C) = CALCULATED BEARING OR DISTANCE
(N) = NORTH
(S) = SOUTH
(E) = EAST
(W) = WEST
A = ARC LENGTH
R = RADIUS
CH = CHORD
CB = CHORD BEARING
B.S.L. = BUILDING SETBACK LINE
U.E. = UTILITY EASEMENT
D.E. = DRAINAGE EASEMENT
P.U.E. = PUBLIC UTILITY EASEMENT
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT
BC = BACK OF CURB
BDC = BACK OF DEPRESSION
FL = FLOW LINE
C = CONCRETE
P = PAVEMENT
G = GRAVEL
EW = EDGE OF WALK
TW = TOP OF WALL
TP = TOP OF PIPE
IE = INVERT ELEVATION
DS = DOWN SPOUT
S.F. = SQUARE FEET
SL = SHORE LINE
TS = TRANSFORMER
B = PAVERS

NOTES

1. THIS SURVEY IS BASED ON THE LEGAL DESCRIPTION AND EASEMENTS OF RECORD AS IDENTIFIED IN TITLE COMMITMENT NUMBER 21000301212 ISSUED BY STEWART TITLE GUARANTY COMPANY HAVING AN EFFECTIVE DATE OF AUGUST 23, 2021.
2. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE ILLINOIS STATE PLANE COORDINATE SYSTEM, NAD 83 (2011), ZONE 1201 (ILLINOIS EAST).
3. THIS SITE FALLS WITHIN OTHER AREAS: ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEFINED BY THE FLOOD INSURANCE RATE MAP, MAP NUMBER 17043001364, HAVING A REVISED DATE OF AUGUST 1, 2019.
4. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS, AND IS BASED ON FIELD WORK PERFORMED ON SEPTEMBER 15, 2021.
5. THE SURVEYOR CONTACTED JULLIE (JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS) FOR A DESIGN STAGE REQUEST FOR THIS SITE, WHICH WAS ASSIGNED DIG NUMBERS OF A246 2462 & A246 2466. INQUIRIES WERE SENT OUT TO THE VARIOUS UTILITY COMPANIES REQUESTING MAPS AND/OR ATLASES OF THEIR RESPECTIVE FACILITIES. THE INFORMATION RECEIVED TO DATE IS SHOWN HEREON.
6. NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
7. NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES BASED ON INFORMATION RECEIVED FROM THE CONTROLLING JURISDICTION AT THE TIME OF THE SURVEY. NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
8. THE LANDSCAPE EASEMENT RECORDED AS DOCUMENT R2011-086927 IS NOT LOCATED ON THE SURVEYED SITE. THE EASEMENT IS LOCATED WEST OF FRIEDER LANE AS SHOWN HEREON.
9. DOCUMENT NUMBER R96-154465 CREATES THE FOLLOWING:
a. EASEMENTS FOR COMMON MAINTENANCE OVER THE COMMON AREA, BLANKET IN NATURE.
b. EASEMENTS FOR INGRESS AND EGRESS OVER THE COMMON AREA, BLANKET IN NATURE.
c. UTILITY EASEMENTS FOR THE BENEFIT OF ALL OWNERS AND OCCUPANTS, BLANKET IN NATURE.
d. EASEMENT TO THE CITY AND PUBLIC UTILITY COMPANIES OVER THE PARKING AREAS AND RIGHTS OF WAY FOR POLICE AND FIRE PROTECTION AND OTHER MUNICIPAL SERVICES, BLANKET IN NATURE.
e. SONAGE RESTRICTIONS, NOT PLOTTABLE.
f. DOCUMENTS R2003-468388, R2007-200006 AND R2015-086927 DO NOT CONTAIN ANY PLOTTABLE SURVEY ITEMS.
10. DOCUMENT 563072 IS A DEED FOR LOTS 28 AND 29 IN FERRY ROAD FARMS WHICH IS NOT PART OF THE SURVEYED SITE. NOT PLOTTABLE.
11. DOCUMENT R2003-450554 IS AN EASEMENT AGREEMENT FOR A TEMPORARY AND PERMANENT WATERMAIN EASEMENT. IT APPEARS THAT THERE ARE TWO PAGES MISSING FROM THE DOCUMENT, HOWEVER (I) ON THE SECOND PAGE OF THE DOCUMENT INDICATES THAT THE TEMPORARY CONSTRUCTION EASEMENT HAS EXPIRED. THE PERMANENT WATERMAIN EASEMENT IS SHOWN HEREON.
12. DOCUMENT 781519 IS A DEED FOR LOT 14 IN FERRY ROAD FARMS WHICH IS PART OF PARCEL 1 AND CREATES A RESTRICTION THAT THE AREA OF THE FIRST FLOOR OF ANY MAIN DWELLING SHALL BE NOT LESS THAN 500 SQUARE FEET, AS WELL AS USE RESTRICTIONS.
13. THE DEED RESTRICTION IN DOCUMENT R2016-004489 INDICATES A 20-FOOT-WIDE EASEMENT RESERVATION ALONG THE OUTER 20 FEET OF ANY BOUNDARIES ADJACENT TO A PUBLICLY DEDICATED HIGHWAY OR ROADWAY. SHOWN HEREON.
14. THE TEMPORARY CONSTRUCTION EASEMENT RECORDED AS DOCUMENT R2019-028187 HAS EXPIRED AND THEREFORE IS NOT PLOTTED HEREON. THE TEMPORARY CONSTRUCTION EASEMENT WAS LOCATED ADJOINING THE PERMANENT CITY EASEMENT WHICH WAS GRANTED BY DOCUMENT R2019-010584 AND WAS NOT REPRODUCED IN THE TITLE COMMITMENT, HOWEVER WE HAVE SHOWN THE LOCATION OF THE PERMANENT EASEMENT HEREON.
15. MINERAL RIGHTS ARE NOT PLOTTABLE.
16. IN ACCORDANCE WITH TABLE A ITEM (6)(b), A ZONING REPORT WAS NOT PROVIDED TO THE SURVEYOR.

SCHEDULE B

SHOWN OR NOTED HEREON

- TERMS AND CONDITIONS CONTAINED IN EASEMENT AGREEMENT (LANDSCAPE) RECORDED JULY 26, 2011 AS DOCUMENT NUMBER R2011-086927.
- TERMS, PROVISIONS AND CONDITIONS CONTAINED IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AND OF CERTAIN RECIPROCAL RIGHTS AND EASEMENTS RECORDED SEPTEMBER 18, 1996 AS DOCUMENT R96-154465, AS AMENDED FROM TIME TO TIME, REGARDING THE DEVELOPMENT, USE, CHARACTER AND LOCATION OF IMPROVEMENTS ON THE LAND, SAID DECLARATION PROVIDES FOR SPECIAL ASSIGNMENTS TO BE LEVIED FOR THE MAINTENANCE AND OPERATION FOR THE ASSOCIATION, CREATED BY THE DECLARATION.
- DECLARATION OF INCLUSION NO. 8 RECORDED DECEMBER 12, 2003 AS DOCUMENT NUMBER R2003-468388.
- DECLARATION OF INCLUSION NO. 9 BY AND BETWEEN CHICAGO TITLE LAND TRUST COMPANY, A CORPORATION OF ILLINOIS SUCCESSOR TRUSTEE AS TRUSTEE UNDER TRUST AGREEMENT DATED OCT. 8, 1971 AND KNOWN AS TRUST NUMBER 43123, DUPAGE PROPERTY VENTURE AND BUTTERFIELD OWNERS ASSOCIATION RECORDED NOVEMBER 15, 2007 AS DOCUMENT R2007-205006, AND THE TERMS AND PROVISIONS THEREIN CONTAINED.
- DECLARATION OF INCLUSION NO. 10 BY AND BETWEEN CHICAGO TITLE LAND TRUST COMPANY, A CORPORATION OF ILLINOIS SUCCESSOR TRUSTEE AS TRUSTEE UNDER TRUST AGREEMENT DATED OCT. 8, 1971 AND KNOWN AS TRUST NUMBER 43123, DUPAGE PROPERTY VENTURE AND BUTTERFIELD OWNERS ASSOCIATION RECORDED JUNE 29, 2015 AS DOCUMENT NUMBER R2015-068827.
- RESTRICTIONS CONTAINED IN WARRANTY DEED RECORDED AS DOCUMENT 563072, RELATING TO THE FLOOR AREA, SANITARY PROVISIONS, CONSTRUCTION AND PLANS AND SPECIFICATIONS OF BUILDINGS TO BE DEDICATED ON THE LAND.
- TERMS AND CONDITIONS CONTAINED IN WATER MAIN EASEMENT AGREEMENT (TEMPORARY AND PERMANENT) DATED AS OF MARCH 27, 2003 AND RECORDED DECEMBER 4, 2003 AS DOCUMENT NO. R2003-459554.
- COVENANTS AND RESTRICTIONS (BUT OMITTING ANY SUCH COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS), CONTAINED IN THE DOCUMENT RECORDED DECEMBER 23, 1995 AS DOCUMENT NO. 784519 WHICH DOES NOT CONTAIN A REVERSIONARY OR FORFEITURE CLAUSE.
- DEED RESTRICTIONS IN TRUSTEE DEED AS SHOWN ON EXHIBIT C RECORDED ON JANUARY 14, 2016 AS DOCUMENT NUMBER R2016-004489.
- TEMPORARY CONSTRUCTION EASEMENT DATED APRIL 3, 2019 AND RECORDED ON APRIL 16, 2019 AS DOCUMENT NUMBER R2019-028187, MADE BY AND BETWEEN OLD FREIGHT LINE, INC., A VIRGINIA CORPORATION TO BUTTERFIELD LOT 401 OWNER, LLC, A DELAWARE LIMITED LIABILITY COMPANY.
- MINERALS OF WHATSOEVER KIND, SUBSURFACE AND SURFACE SUBSTANCES, INCLUDING BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND AND GRAVEL, IN OR UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B, THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. THERE MAY BE LEASES, GRANTS, EXCEPTIONS, OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED.

SURVEYOR'S CERTIFICATION

TO: LPC ACQUISITION COMPANY, LLC, AND ITS SUCCESSORS AND ASSIGNS; AND STEWART TITLE GUARANTY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(D), 7(A), 7(B)(1), 7(C), 8, 9, 11(A), 13, 14, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 15, 2021.

COMPASS SURVEYING LTD
PROFESSIONAL DESIGN FIRM
LAND SURVEYOR CORPORATION NO. 184-002778
LICENSE EXPIRES 4/30/2023

DATE OF PLAT OR MAP: SEPTEMBER 16, 2021
BY: *Daniel W. Walter*
DANIEL W. WALTER
IL PROFESSIONAL LAND SURVEYOR NO. 3585
LICENSE EXPIRES 11/30/22

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

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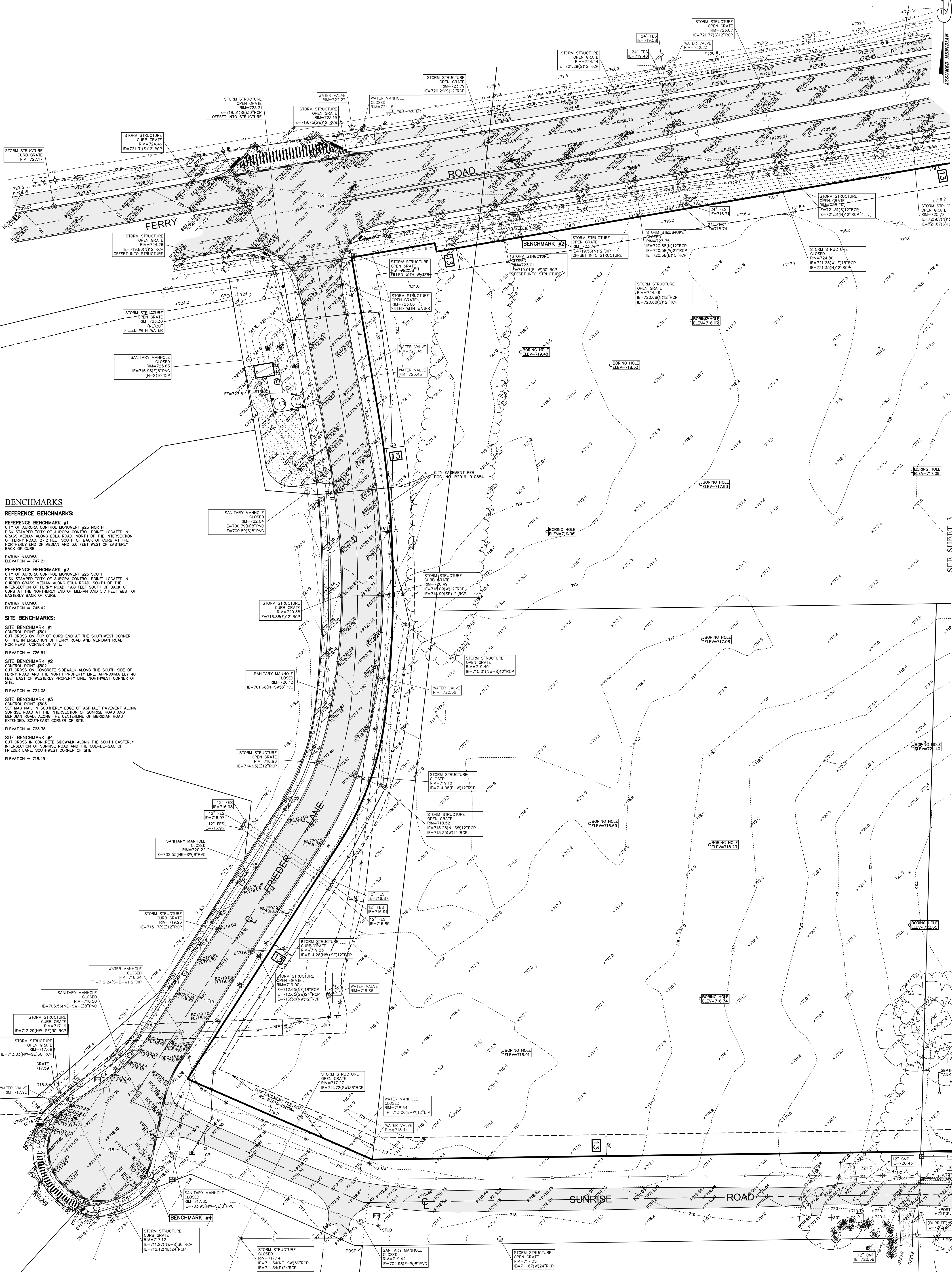
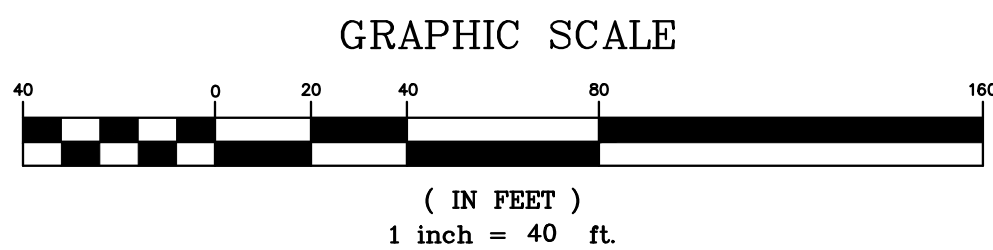
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ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING
2631 GINGER WOODS PARKWAY, STE. 100
AURORA, IL 60502
PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

PROJECT: Butterfield Phase II Unit 4 C - Aurora
CLIENT: Logistics Property Company, LLC
One North Wacker Drive, Suite 1925
Chicago IL 60606

NO.	REVISIONS	DATE	BY
1.	PER EMAIL DATED 10-04-2021	10-05-21	RHM

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ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY



BENCHMARKS

REFERENCE BENCHMARKS:

REFERENCE BENCHMARK #1

CITY OF AURORA CONTROL MONUMENT #25 NORTH
DISK STAMPED "CITY OF AURORA CONTROL POINT" LOCATED IN
GRASS MEDIAN ALONG EOLA ROAD, NORTH OF THE
INTERSECTION OF FERRY ROAD, 27.2 FEET SOUTH OF BACK OF
CURB AT THE NORTHERLY END OF MEDIAN AND 3.0 FEET WEST OF
EASTERNY BACK OF CURB.

DATUM: NAVD83
ELEVATION = 747.21

REFERENCE BENCHMARK #2

CITY OF AURORA CONTROL MONUMENT #25 SOUTH
DISK STAMPED "CITY OF AURORA CONTROL POINT" LOCATED IN
CURBED GRASS MEDIAN ALONG EOLA ROAD, SOUTH OF THE
INTERSECTION OF FERRY ROAD, 15.8 FEET SOUTH OF BACK OF
CURB AT THE NORTHERLY END OF MEDIAN AND 5.7 FEET WEST OF
EASTERNY BACK OF CURB.

DATUM: NAVD83
ELEVATION = 745.42

SITE BENCHMARKS:

SITE BENCHMARK #1

CONTROL POINT #501
CUT CROSS ON TOP OF CURB END AT THE SOUTHWEST CORNER
OF THE INTERSECTION OF FERRY ROAD AND MERIDIAN ROAD,
NORTHEAST CORNER OF SITE.

ELEVATION = 726.54

SITE BENCHMARK #2

CONTROL POINT #502
CUT CROSS ON CONCRETE SIDEWALK ALONG THE SOUTH SIDE OF
FERRY ROAD AND THE NORTH PROPERTY LINE, APPROXIMATELY 40
FEET EAST OF WESTERLY PROPERTY LINE, NORTHWEST CORNER OF
SITE.

ELEVATION = 724.08

SITE BENCHMARK #3

CONTROL POINT #503
SET MAG NAIL IN SOUTHERLY EDGE OF ASPHALT PAVEMENT ALONG
SUNRISE ROAD AT THE INTERSECTION OF SUNRISE ROAD AND
MERIDIAN ROAD, ALONG THE CENTERLINE OF MERIDIAN ROAD
EXTENDED, SOUTHEAST CORNER OF SITE.

ELEVATION = 723.38

SITE BENCHMARK #4

CUT CROSS IN CONCRETE SIDEWALK ALONG THE SOUTH EASTERLY
INTERSECTION OF SUNRISE ROAD AND THE CUL-DE-SAC OF
FRIDGER LANE, SOUTHWEST CORNER OF SITE.

ELEVATION = 718.45

SEE SHEET 3

PROJ. NO.: 210262

2 OF 3

SCALE: 1" = 40'



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PROJECT

Butterfield Phase II Unit 4 C - Aurora

CLIENT

Logistics Property Company, LLC
One North Wacker Drive, Suite 1925
Chicago IL 60606

DATE: 09-16-21

PC: AW

DRAWN BY: RHM

CHECKED BY: DW

BOOK 610 PG 18

NO.	REVISIONS	DATE	BY
1.	PER EMAIL DATED 10-04-2021	10-05-21	RHM

J:\PSDATA\2021 PROJECTS\21.0262\21.0262-LTS-TOPO.DWG

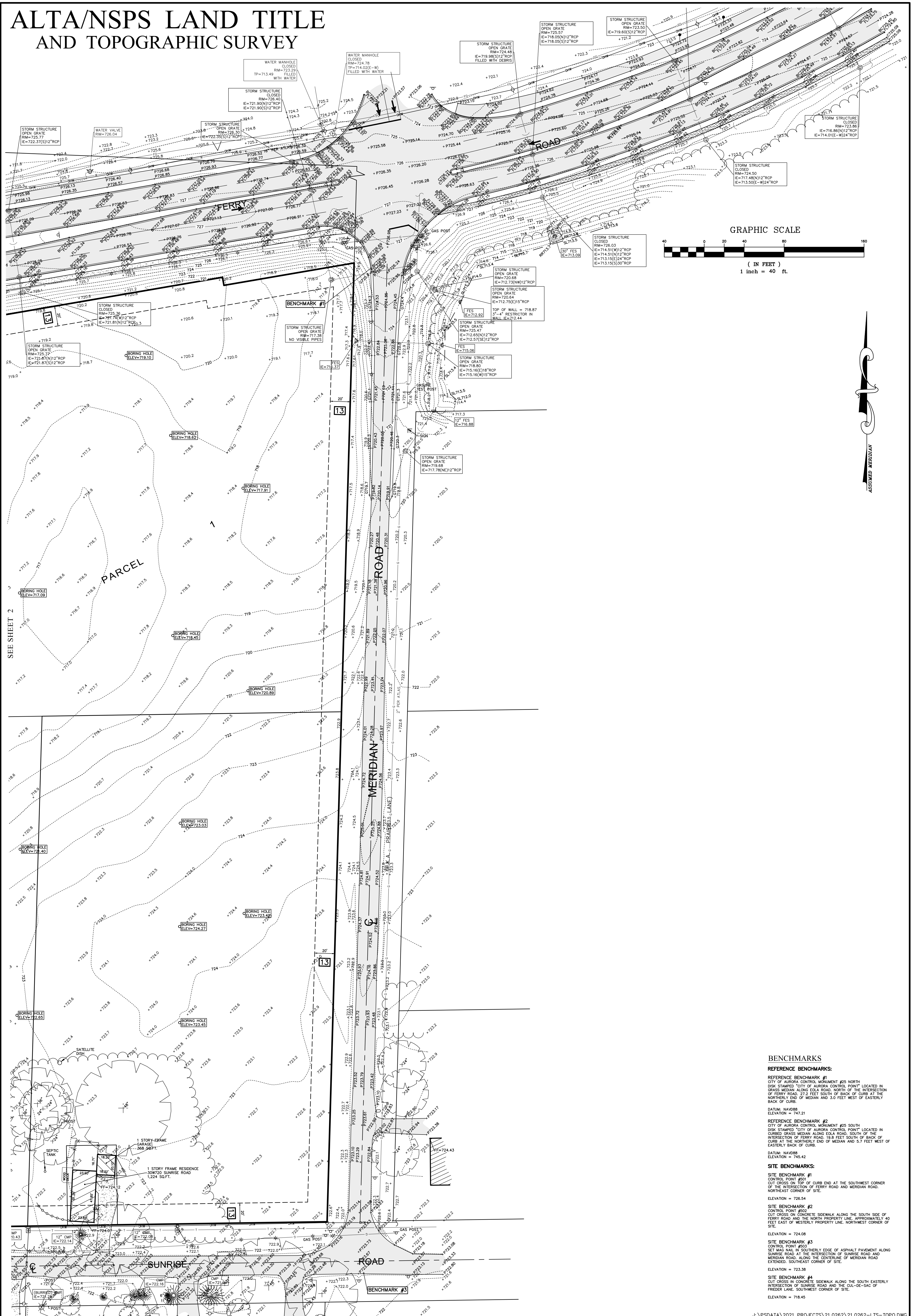
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ALTA/NSPS LAND TITLE
AND TOPOGRAPHIC SURVEY



BENCHMARKS

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DATUM: NAVD83
ELEVATION = 745.42

SITE BENCHMARKS:

SITE BENCHMARK #1
CONTROL POINT #201
CUT CROSS ON TOP OF CURB END AT THE SOUTHWEST CORNER
OF THE INTERSECTION OF FERRY ROAD AND MERIDIAN ROAD.
NORTHEAST CORNER OF SITE.
ELEVATION = 726.54

SITE BENCHMARK #2
CONTROL POINT #202
CUT CROSS ON CONCRETE SIDEWALK ALONG THE SOUTH SIDE OF
FERRY ROAD AND THE NORTH PROPERTY LINE, APPROXIMATELY 40
FEET EAST OF WESTERLY PROPERTY LINE, NORTHWEST CORNER OF
SITE.
ELEVATION = 724.08

SITE BENCHMARK #3
CONTROL POINT #203
SET MAG NAIL IN SOUTHERLY EDGE OF ASPHALT PAVEMENT ALONG
SUNRISE ROAD AT THE INTERSECTION OF SUNRISE ROAD AND
MERIDIAN ROAD, EXTENDED, SOUTHEAST CORNER OF SITE.
ELEVATION = 723.38

SITE BENCHMARK #4
CUT CROSS IN CONCRETE SIDEWALK ALONG THE SOUTH EASTERLY
INTERSECTION OF SUNRISE ROAD AND THE CUL-DE-SAC OF
FREDER LANE, SOUTHWEST CORNER OF SITE.
ELEVATION = 718.45

3 OF 3

SCALE: 1" = 40'

COMPASS

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AURORA, IL 60502
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PROJECT

Butterfield Phase II Unit 4 C - Aurora

CLIENT

Logistics Property Company, LLC
One North Wacker Drive, Suite 1925
Chicago, IL 60606

DATE: 09-16-21	PC: AW	DRAWN BY: RHM	CHECKED BY: DW	BOOK: 610 PG 18
NO. 1.		REVISIONS		DATE BY
1.		PER EMAIL DATED 10-04-2021		10-05-21 RHM

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