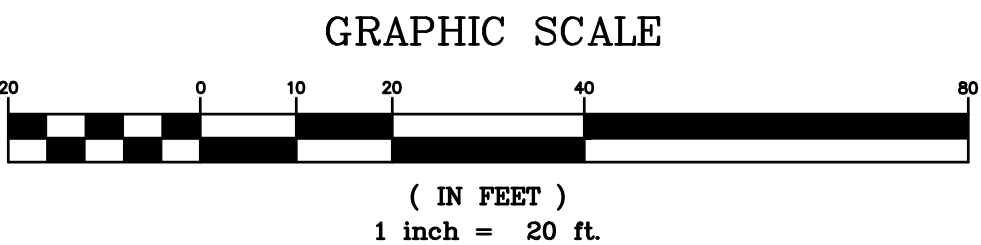
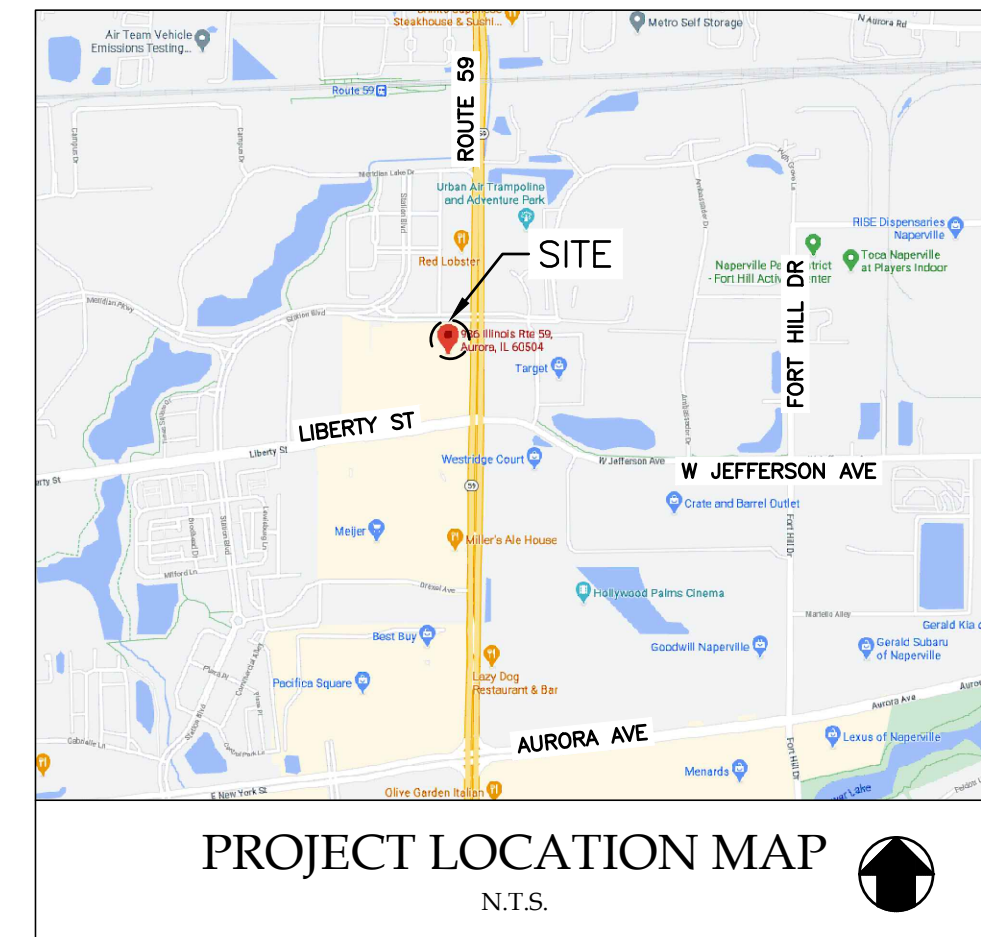


GENERAL SITE NOTES:

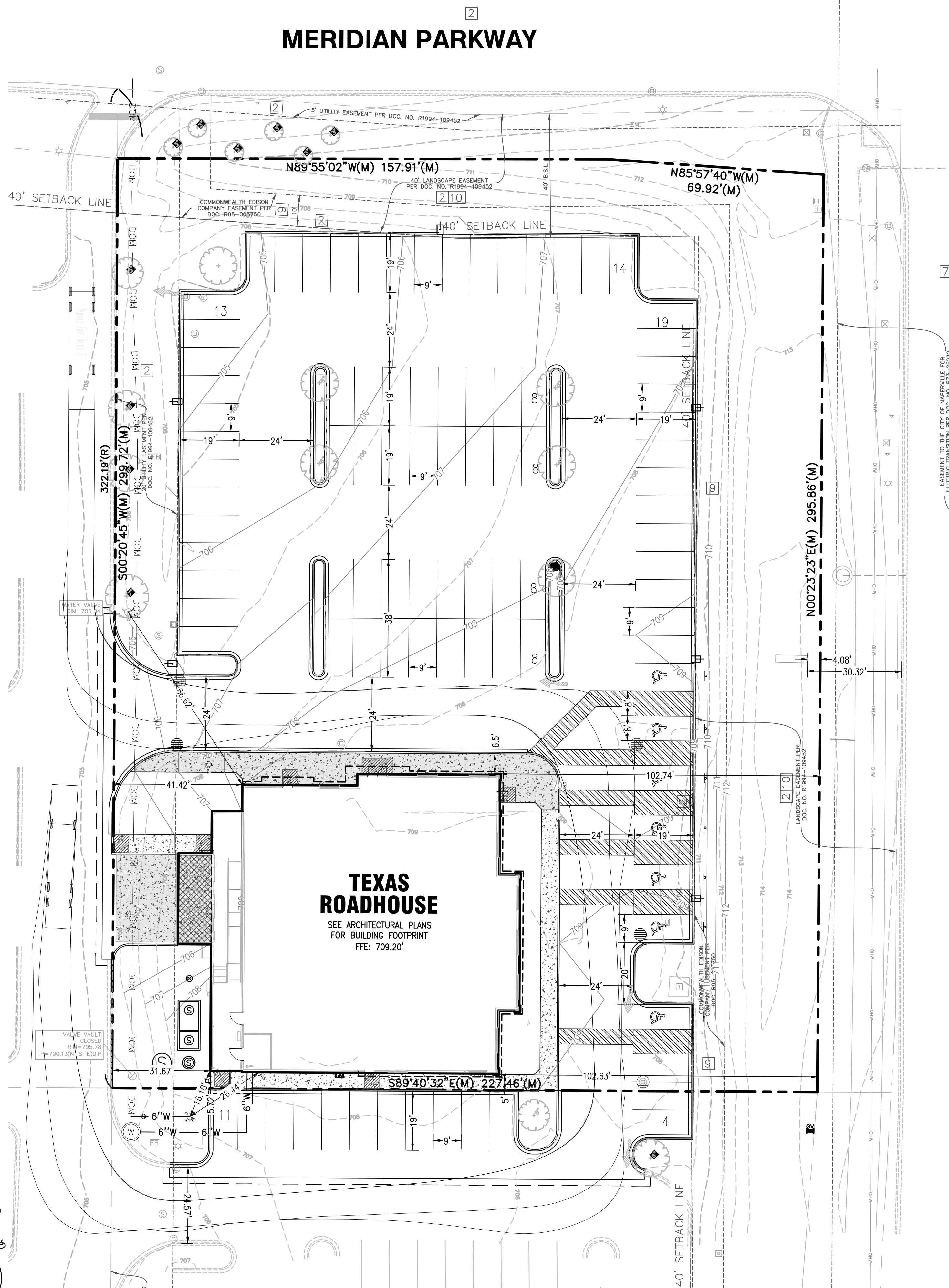
1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SITE SETBACKS, EASEMENTS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
5. ALL HANDICAP ACCESSIBLE SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS.
6. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER, UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED BY THE CONTRACTOR AFTER SUCH A DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
7. CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL PLANS. ARCHITECTURAL PLANS SHALL BE USED FOR BUILDING STAKEOUT.
8. CONTRACTOR SHALL COORDINATE ALL LANDSCAPE IMPROVEMENTS, INCLUDING NEW PLANTINGS AND TURF AREA RESTORATION REQUIREMENTS, WITH LANDSCAPE PLANS.
9. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB OR EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
11. ALL CURB RADII ARE MEASURED AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
12. ALL NEW ASPHALT AND/OR CONCRETE PAVING SHALL MATCH EXISTING PAVEMENTS FLUSH.
13. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
14. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
15. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
16. ALL DETECTABLE WARNING PLATES SHALL BE PREFORMED PLASTIC INSERTS UNLESS OTHERWISE NOTED.
17. SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

PROJECT INFORMATION:

SITE AREA: ±1.56 ACRES
ZONED: B-2(S) SPECIAL USE DISTRICT
PROPOSED BUILDING AREA: 8,000 SQ. FT.
PROPOSED USE: RESTAURANT
BUILDING HEIGHT: 25'-6"
PARKING REQUIRED: 97 STALLS
(1 STALL PER 3 SEATS AND 290 SEATS TOTAL)
PARKING PROVIDED: 93 STALLS
(INCLUDING 6 ADA STALLS)



MERIDIAN PARKWAY

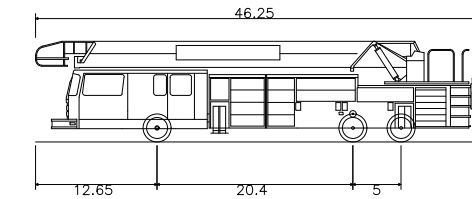


ROUTE 59

PROPOSED LEGEND:

- PROPERTY LINE
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED REVERSE PITCH CURB AND GUTTER
- PROPOSED PARKING STALL COUNT
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED STORM SEWER STRUCTURES
- PROPOSED SANITARY SEWER STRUCTURES
- PROPOSED SANITARY SEWER GREASE INTERCEPTOR
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- PROPOSED GAS METER
- PROPOSED ELECTRIC METER, CT CABINET AND DISCONNECT

NOTE: SEE SHEET C1.0 FOR EXISTING LEGEND



Aurora Fire Truck 2
Overall Length 46.25ft
Overall Width 12.85ft
Overall Body Height 10.48ft
Min. Body Ground Clearance 0.91ft
Track Width 30.4ft
Lock-to-lock time 300ft
Max Wheel Angle 45.00°

Fire Access Plan Data Table		
Description	Value	Unit
a) Building Height	27'-6" -	feet
b) Square footage of each building	8,000 -	feet
c) Building fire suppression information including any proposed use of sprinkler systems, fire alarm systems, whether fire extinguishers are needed:		
Sprinkler system to be installed - deferred submittal by general contractor Fire alarm system to be installed - deferred submittal by general contractor Fire extinguishers provided by owner		
d) General description of business to be conducted within each building including: will there be rack storage in the building, will there be storage of combustible materials over twelve feet in height, clearance of sprinkler heads and stored materials (18 inch minimum):		
Restaurant with dining areas, bar, and carryout. Fully sprinklered kitchen with sprinkler heads at 9-feet A.F.F. Rack storage in back of building. No combustible materials to be stored above 12-feet.		

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
04/08/21	PERMIT SET
05/05/21	PERMIT RESUBMITTAL

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE
KERI WILLIAMS
PROFESSIONAL ENGINEER
LICENSE NO. 062-058662

PROJECT MANAGER
EDWARD GOSS

QUALITY CONTROL
EDWARD GOSS

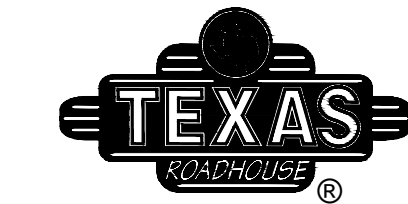
DRAWN BY
MITCH HEFFERNAN

PROJECT NAME

TEXAS
ROADHOUSE

AURORA
ILLINOIS

986 ILLINOIS RTE 59
AURORA, IL 60504



PROJECT NUMBER
20200881.0

SHEET TITLE

FIRE
ACCESS
PLAN

SHEET NUMBER

FP-2