

# Property Research Sheet

**Location ID#(s): 27986**

As of: 12/27/2017

Researched By: Steve Broadwell

Address: 907 S River Street

Current Zoning: R-3 One Family Dwelling

Parcel Number(s): 15-28-379-001

1929 Zoning: G Heavy Industrial Districts

Subdivision: Lot 1 of South End Addition

1957 Zoning: R-4 Two-Family Dwelling District

Size: 0.16 Acres / 6,970 Sq. Ft.

Comp Plan Designation: Low Density Residential

School District: SD 129 - West Aurora School District

Park District: FVPD - Fox Valley Park District

Ward: 4

## **Current Land Use**

Current Land Use: Commercial

AZO Land Use Category: One Family Dwelling (1110)

Number of Buildings: 1

Parking Spaces: 11

Building Built In: 1954

Non-Residential Area: 0 sq. ft.

Total Building Area: 12,364 sq. ft.

Total Dwelling Units: 1

Number of Stories: 2

## **Zoning Provisions**

### Setbacks and Other Bulk Standards:

Requirements are pursuant to the Aurora Zoning Ordinance Section(s) 5 and 7.7.

Setbacks are typically as follows:

**Front Yard Setback:** 30 feet

**Side Yard Setback:** 6 feet on lots less than 60 feet wide or less or 8 feet on lots greater than 60 feet

**Exterior Side Yard Setback:** 10 feet **Exterior**

**Side Yard Reverse Corner Setback:** 15 feet

**Rear Yard Setback:** 30 feet

**Exterior Rear Yard Setback:**

**Setback Exceptions:** Front setback exception for an infill lot. On infill lots the public street elevation

of the structure shall be located at the average established setback line of the Impact Area. For additional regulations on infill lots refer to Infill Housing Standards located in the Residential District Specific Regulations of the zoning ordinance.

Side setback exception for religious institutions: On lots upon which a religious institution is constructed or extensions made to an existing religious institution, there shall be a side setback line of not less than ten (10) feet on each side of the

main structure and a combined total of side setback of not less than twenty-five

(25) feet.

**Interior Drive Yard Setback:**

Other bulk standards are typically as follows:

**Building Separations:** None  
**Minimum Lot Width and Area:** Typically 60 feet and 8,000 sq ft  
**Maximum Lot Coverage:** 40%  
**Maximum Structure Height:** Typically 35 feet and not over 2 ½ stories.

**Floor Area Ratio:** None  
**Minimum Primary Structure Size:** Typically 950 sq ft  
**Minimum Dwelling Unit Size:** See minimum Primary Structure /Building Size  
**Maximum Density:**

Parking and Loading:

The Parking and Loading requirements are pursuant to the Aurora Zoning Ordinance Table Two: Schedule of Off-street Parking Requirements and Section(s) 5 and 7.7.

Permitted Uses:

Permitted Uses are pursuant to the Aurora Zoning Ordinance Table One: Use Categories and Section(s) 4.2 and 7.7 Permitted Exceptions:

Special Uses:

Special Uses are pursuant to the Aurora Zoning Ordinance Table One: Use Categories and Section(s) 4.3 and 7.7.

Limited But Permitted Uses:

Limited but Permitted Uses are pursuant to the Aurora Zoning Ordinance Table One: Use Categories and Section(s) 4.3 and 7.7.

**Legislative History**

The known legislative history for this Property is as follows:

**O1929-2250 approved on 6/18/1929:** AN ORDINANCE NO.2250 AMENDING ORDINANCE NO.2050 WHICH AMENDS ORDINANCE NO.1183, KNOWN AS THE BUILDING ZONE ORDINANCE FOR AURORA, ILLINOIS, ESTABLISHING A PLAN FOR DIVIDING THE CITY OF AURORA INTO DISTRICTS FOR THE PURPOSE OF REGULATING THE LOCATION OF TRADES AND INDUSTRIES AND OF BUILDINGS AND STRUCTURES DESIGNED FOR DWELLINGS, APARTMENT HOUSES, TRADES, INDUSTRIES, AND OTHER SPECIFIED USES, FOR REGULATING THE HEIGHT, VOLUME, AND SIZE OF BUILDINGS AND STRUCTURES, AND INTENSITY OF USE OF LOT AREAS, FOR DETERMINING BUILDING LINES, FOR CREATING A BOARD OF APPEALS, AND FOR OTHER PURPOSES.

**O1957-3100 approved on 11/4/1957:** AURORA ZONING ORDINANCE AND MAP.

**R1995-450 approved on 9/19/1995:** A RESOLUTION INITIATING A PUBLIC HEARING TO CONSIDER THE REZONING OF THE PROPERTIES LOCATED IN THE SOUTH END ADDITION TO AURORA AND RUSS PLACE ADDITION TO AURORA FROM R-4 TWO-FAMILY RESIDENTIAL DISTRICT TO R-1 SINGLE-FAMILY RESIDENTIAL DISTRICT.

**O2006-007 approved on 2/28/2006:** AN ORDINANCE AMENDING ORDINANCE NUMBER 3100, BEING THE AURORA ZONING ORDINANCE AND THE ZONING MAP ATTACHED THERETO, BY COMPREHENSIVELY REZONING THE SOUTH EAST QUADRANT OF THE 4TH WARD (AROUND SARD AVENUE AND OLIVER AVENUE) FROM R-4 TWO FAMILY DWELLING TO R-3 ONE FAMILY. DWELLING.

**Location Maps Attached:**

- Aerial Overview
- Location Map
- Zoning Map
- Comprehensive Plan Map

Aerial Photo (1:1,000):




Oliver Av

Arnold Av


Mason Av

S River St

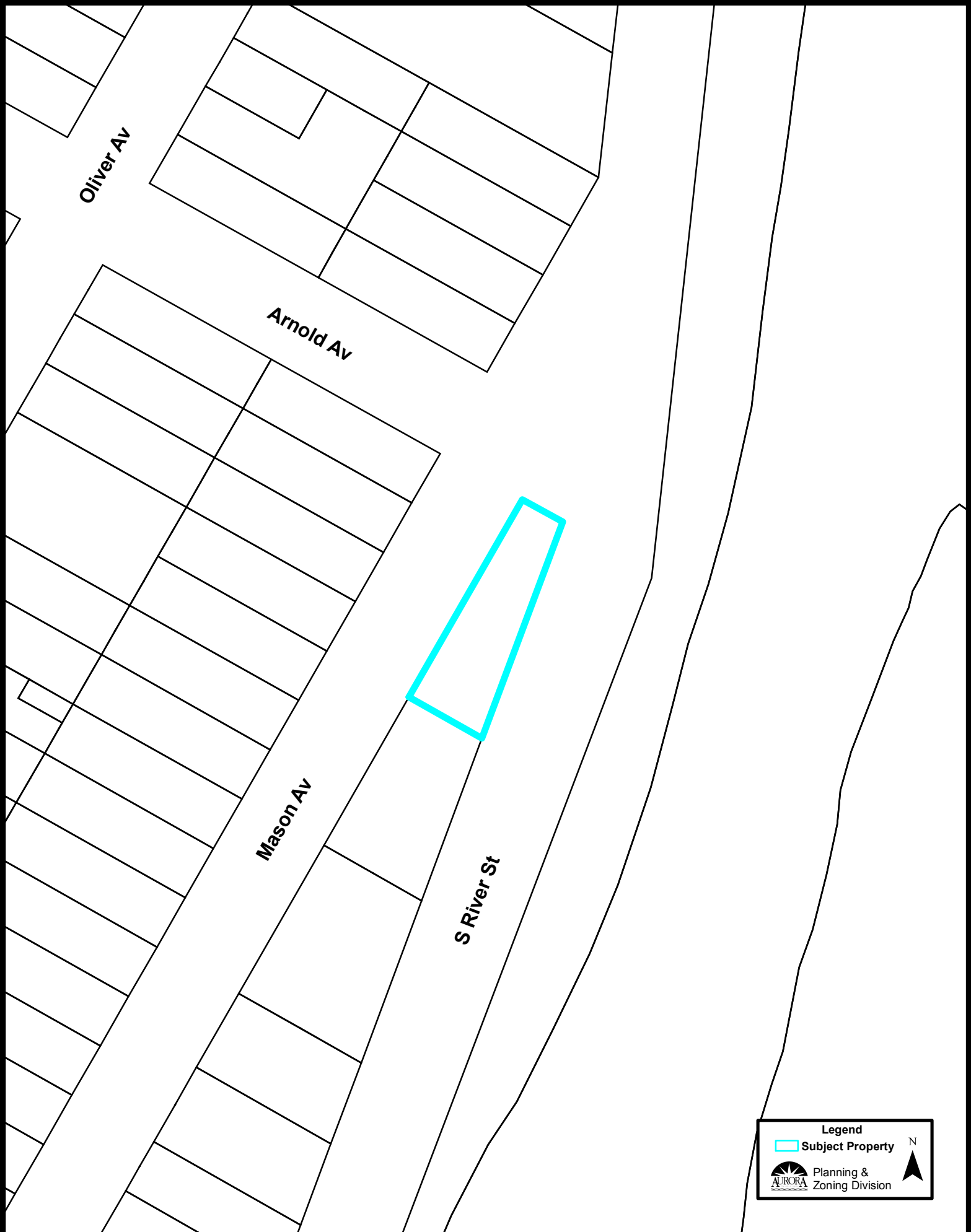
**Legend**  
Subject Property



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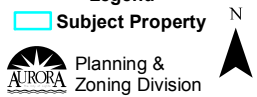
Location Map (1:1,000):



**Legend**

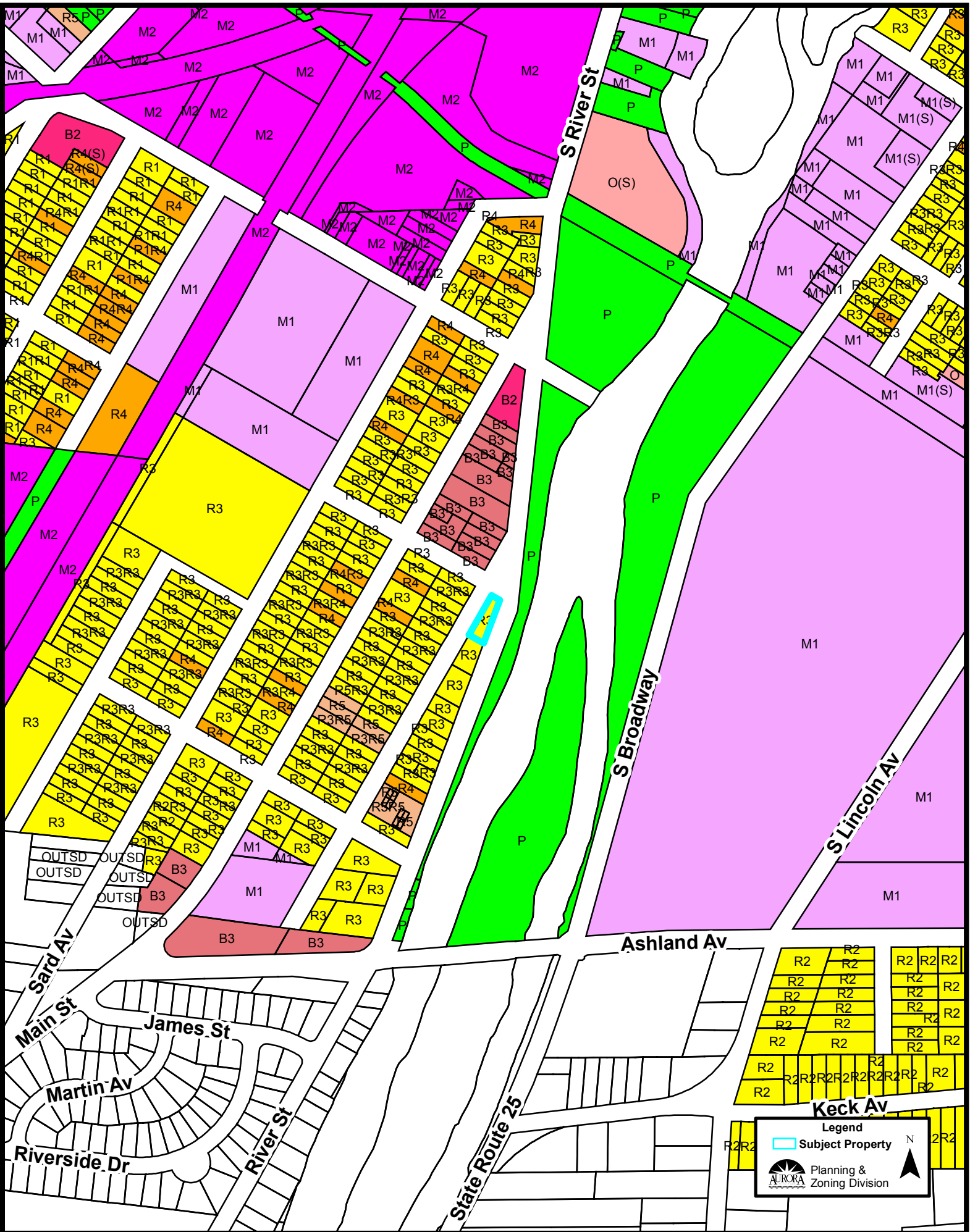
- Subject Property

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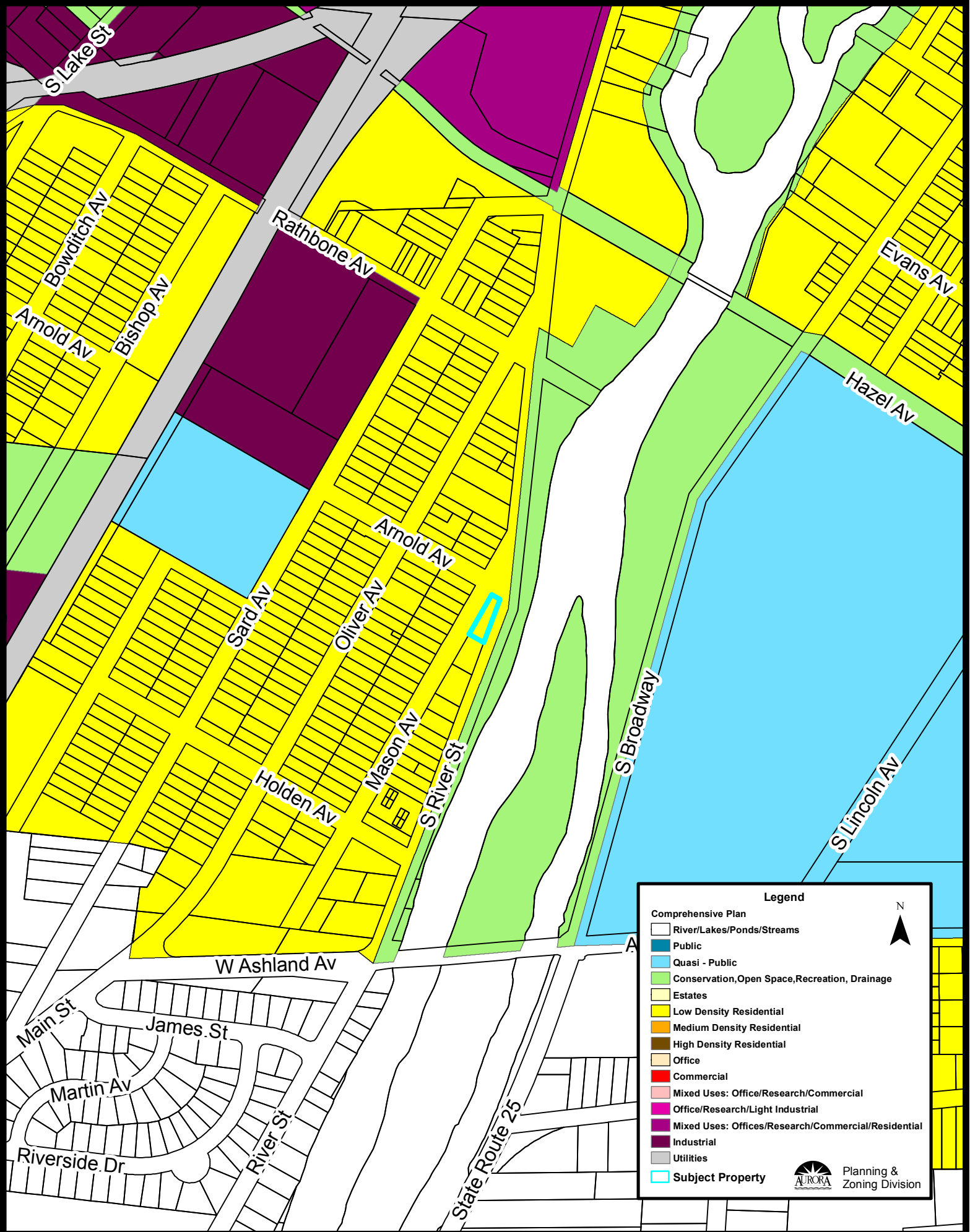


The legend includes the Aurora logo, the text "Planning & Zoning Division", and a north arrow pointing upwards.

# Zoning Plan (1:5,000):



Comprehensive Plan (1:5,000):



**Legend**

Comprehensive Plan

- River/Lakes/Ponds/Streams
- Public
- Quasi - Public
- Conservation, Open Space, Recreation, Drainage
- Estates
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Office
- Commercial
- Mixed Uses: Office/Research/Commercial
- Office/Research/Light Industrial
- Mixed Uses: Offices/Research/Commercial/Residential
- Industrial
- Utilities
- Subject Property

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