

Exhibit “A”
Roadway Agreement

This ROADWAY AGREEMENT, hereinafter referred to as “AGREEMENT”, is made and entered into this ____ day of _____, 2024 by and between the CITY OF AURORA, ILLINOIS, an Illinois home rule municipal corporation, (“CITY ”); and TLP-Phelan 518 Fairview Property Owner LLC , a Delaware limited liability company (“DEVELOPER”) The City, and Developer are referred to as “Party” or “Parties.”

W I T N E S S E T H:

WHEREAS, the City of Aurora has a population of more than 25,000 person and is therefore, a home rule unit under subsection (a) of Section 6 of Article VII of the Illinois Constitution of 1970; and

WHREAS, subject to said Section, a home rule unit may exercise any power and perform any function pertaining to its government and affairs for the protection of the public health, safety, moral, and welfare; and

WHEREAS, the City of Aurora regulates the construction, access and usage of roadways, and certain utilities within its jurisdiction as part of its municipal services; and

WHEREAS, the City of Aurora has jurisdiction over Sullivan Road; and

WHEREAS, the Developer has constructed the warehouse development at 400 and 410 Smoke Tree Plaza, North Aurora, IL 60542 in the Village of North Aurora (hereinafter “Subject Property”) as depicted on Attachment “A” Location Map, and has requested access from the Subject Property onto Sullivan Road from the City of Aurora (hereinafter “Access”); and

WHEREAS, to facilitate the Access, the City desires the construction of roadway improvements at the intersection of Fairview Drive and Sullivan Road into the Subject Property (hereinafter “Roadway Improvements”) as depicted on the Engineering Plans prepared by Pinnacle Engineering Group dated February 12, 2024 included herein as Attachment “B” (hereinafter “Engineering Plans”) and the City also desires funding toward a portion of the Future Intersection Improvements at Sullivan Road and Illinois Route 31 (Lake Street) (hereinafter “Future Intersection Improvements”); and

WHEREAS, the Developer wishes to come to an agreement with the City to provide for the construction of said Roadway Improvements and said funding for Future Intersection Improvements; and

WHEREAS, the Developer agrees to fund one hundred percent (100%) of the cost of said Roadway Improvements and to provide \$118,000.00 in funding towards a portion of the Future Intersection Improvements; and

NOW, THEREFORE, in consideration of the mutual promises, covenants and obligations herein contained and other good and valuable consideration, the receipt and sufficiency of which are hereby mutually acknowledged, the City hereto agrees as follows:

Roadway Improvement Provisions

1. The preambles hereto and the foregoing statements and recitations are a material part hereof and incorporated herein by reference, and the Parties hereto acknowledge their correctness as to the matters and circumstances therein referred to.
2. City hereby agrees to allow Access from the Subject Property on Sullivan Road as depicted on the Engineering Plans, herein attached as Attachment "B".
3. Developer agrees to construct the Roadway Improvements in accordance with the Engineering Plans, herein attached as Attachment "B" or as approved by the City Engineer.
4. Developer shall provide to the City the performance security (which security shall be posted in the form of a bond acceptable to the City) and payment of all engineering fees prior to plan approval, with security and fee amount to be determined and based on the approved Engineer's Estimated Costs.
5. Developer shall be responsible for all construction related field inspection/ observation and any required testing and shall provide to the City copy of all field reports and testing results upon completion.
6. After the approval by the City of the Engineering Plans, the City shall give Developer written notice to proceed with the Roadway Improvements and Developer shall thereafter construct or cause to be constructed the Roadway Improvements at the earliest practicable date and shall construct and complete the Roadway Improvements in a good and workmanlike manner and in accordance with all applicable laws.
7. The Developer shall notify the City and Village of North Aurora upon the start of construction and shall install construction traffic control and warning sign/message board prior to start of construction. A message board notifying the start of construction shall be installed at least two weeks prior to start of construction.
8. The Developer acknowledges that during construction of the Roadway Improvements, costs and expenses may be incurred that were not included in the Engineer's Estimated Costs, including additional ROW acquisition, temporary construction easement and utilities relocation, which are attributable to unforeseen conditions or circumstances or changes in the Roadway Improvements required by the City (collectively "Cost Increases"). Such Cost Increases shall be the responsibility of the Developer.
9. During construction of the Roadway Improvements, the City shall cooperate with Developer so that the Roadway Improvements shall be completed in a timely fashion. The City shall issue all necessary approvals, permits and licenses required by the City's codes and regulations and this agreement in a timely fashion.
10. The Developer shall provide to the City an as-built survey (record drawing) in pdf format upon completion of the Roadway Improvements and shall prepare a plat of dedication for a City easement over the offsite storm sewer.

3. Should correspondence to Developer be a notification of violation of any provision of this Agreement, Developer shall have thirty (30) days in which to correct such violation. The thirty-day period shall begin at the time of the mailing of said notice.
4. The Parties hereto agree to cooperate in applying the provisions of this Agreement and to fulfill the intent of the provisions set forth herein.
5. The Parties agree that the Parties or their successors in title may enforce this Agreement in any court of competent jurisdiction in an appropriate action at law or in equity, as provided in 65 ILCS 5/11.1-4, as amended, including the right of any of the Parties to seek specific performance of the terms of this Agreement.

Executed in Aurora, Illinois.

SIGNED BY DEVELOPER on the ____ day of _____, 2024.

Company Name: TLP-Phelan 518 Fairview Property Owner LLC

By: _____
Jess Knigge, Manager

Attest: _____

Its: _____

SIGNED BY CITY OF AURORA on the ____ day of _____, 2024.

CITY OF AURORA, an Illinois
Municipal Corporation

By: _____
Mayor

Attest: _____
City Clerk

Attachments "A" Location Map



Attachment "B" Engineering Plan
(pages to follow)

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ENGINEERING IMPROVEMENT PLANS

FOR

SULLIVAN ROAD

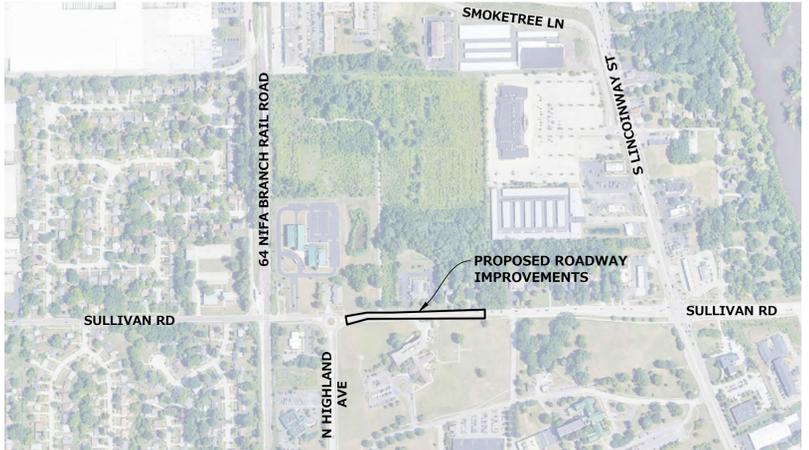
ROADWAY IMPROVEMENTS

AURORA, ILLINOIS 60505

PLANS PREPARED FOR



2600 S. 25TH AVE, SUITE 105
BROADVIEW, ILLINOIS 60505
(773) 520-8766



LOCATION MAP
SCALE: 1"=500'

LEGEND

	EXISTING	PROPOSED
SANITARY MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
CATCH BASIN	□	□
INLET	□	□
PRECAST FLARED END SECTION	△	△
CONCRETE HEADWALL	∩	∩
VALVE VAULT	∩	∩
VALVE BOX	■	■
FIRE HYDRANT	⊙	⊙
BUFFALO BOX	⊙	⊙
CLEANOUT	⊙	⊙
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
WATER MAIN	—	—
UTILITY CROSSING	—	—
GRANULAR TRENCH BACKFILL	—	—
LIGHTING	⊙	⊙
ELECTRICAL CABLE	—	—
ELECTRICAL TRANSFORMER OR PEDESTAL	⊙	⊙
POWER POLE	⊙	⊙
POWER POLE WITH LIGHT	⊙	⊙
GUY WIRE	⊙	⊙
STREET SIGN	⊙	⊙
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	—	—
SPOT ELEVATION	×	×
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	—	—
DITCH OR SWALE	—	—
DIVERSION SWALE	—	—
OVERFLOW RELIEF ROUTING	—	—
TREE WITH TRUNK SIZE	⊙	⊙
SOIL BORING	⊙	⊙
TOPSOIL PROBE	⊙	⊙
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—
PROPERTY LINE	—	—

CONTACTS

PHELEN DEVELOPMENT COMPANY
JESS KNIGGE - PARTNER - MIDWEST
2600 S. 25th AVE, SUITE 105
BROADVIEW, IL 60155
(773) 520-8766

PINNACLE ENGINEERING GROUP, LLC
BRIAN D. JOHNSON, P.E., CPESC, SENIOR PROJECT MANAGER
1051 EAST MAIN STREET | SUITE 217
EAST DUNDEE, ILLINOIS 60118
(630) 551-5300

CITY OF AURORA - PUBLIC WORKS
KEN SCHROTH, PUBLIC WORKS DIRECTOR / CITY ENGINEER
77 S. BROADWAY
2ND FLOOR
AURORA, IL 60507
(630) 256-3229

UTILITY CONTACTS

ELECTRIC
COMED (800) 334-7661

NATURAL GAS
NICOR GAS (847) 443-8157

PHONE/CABLE/INTERNET
AT&T (877) 342-6686
COMCAST (800) 266-2278
DIRECTV (800) 531-5000
FRONTIER (800) 921-8102
METRONET (844) 692-6184

BENCHMARKS

SOURCE BENCHMARK:
NGS MONUMENT IL KANE 32 39 8 (AJ3008), MONUMENT DESCRIBED AS LOCATED APPROXIMATELY 1.0 MI NORTHWEST OF AURORA, 2.5 MI SOUTHWEST OF BATAVIA IN SECTION 32, T39N, R8E. TO REACH FROM THE JUNCTION OF IL RT 31 AND MOOSEHEART RD PROCEED WEST ON MOOSEHEART RD APPROXIMATELY 0.7 MILES TO THE STATION LOCATED 65.4 FT NORTH OF CENTERLINE OF MOOSEHEART RD.

DATUM: NAVD88
ELEVATION: 730.75

SITE BENCHMARK:
NORTHWEST FLANGE BOLT ON FIRE HYDRANT LOCATED NEAR THE SOUTH LINE OF THE SUBJECT PROPERTY

DATUM: NAVD88
ELEVATION: 690.56

EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY PINNACLE ENGINEERING GROUP, LTD., INC. ON JANUARY 14, 2022. CONTRACTOR SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SITE FEATURES AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

GENERAL NOTES

- THE CITY OF AURORA AND THE VILLAGE OF NORTH AURORA PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF WORK AND 24 HOURS PRIOR TO EACH INSPECTION AT (630) 256-3130.
- ALL UTILITY COMPANIES, INCLUDING THE CITY OF AURORA, SHALL BE CONTACTED AND THEIR FACILITIES SHALL BE LOCATED PRIOR TO ANY WORK IN ANY EASEMENT, RIGHT-OF-WAY, OR SUSPECTED UTILITY LOCATION. REPAIR OF ANY DAMAGE TO EXISTING FACILITIES SHALL BE RESPONSIBILITY OF THE CONTRACTOR. UTILITY LOCATIONS SHOWN HEREIN ARE FOR GRAPHIC ILLUSTRATION ONLY AND ARE NOT TO BE RELIED UPON.
- PRIOR TO COMMENCEMENT OF ANY OFFSITE CONSTRUCTION, THE CONTRACTOR SHALL SECURE WRITTEN AUTHORIZATION THAT ALL OFFSITE EASEMENTS HAVE BEEN SECURED, AND THAT PERMISSION HAS BEEN GRANTED TO ENTER ONTO PRIVATE PROPERTY.
- EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREON SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS (LATEST EDITION):
 - CITY OF AURORA AND VILLAGE OF NORTH AURORA, ILLINOIS CODE OF ORDINANCES.
 - "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" BY ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - "STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL ITEMS" BY ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - "SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS" BY ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" BY ILLINOIS SOCIETY OF PROFESSIONAL ENGINEERS, ET AL.
 - OTHER STANDARDS OR SPECIFICATIONS SPECIFICALLY REFERRED TO IN AN INDIVIDUAL PROVISION OF THESE STANDARDS AND SPECIFICATIONS.
 - "ILLINOIS URBAN MANUAL" AS PREPARED BY THE U.S. DEPT. OF AGRICULTURE & IL ASSOCIATION OF SOIL AND WATER CONSERVATION DISTRICTS LAKE COUNTY DIVISION OF TRANSPORTATION AND UNIFIED DEVELOPMENT ORDINANCE.
 - KANE COUNTY "STORMWATER ORDINANCE" AS ADOPTED BY THE CITY OF AURORA AND THE VILLAGE OF NORTH AURORA.
 - THE CONTRACT DOCUMENTS, GENERAL CONDITIONS, SPECIAL PROVISIONS AND SUPPLEMENTAL CONDITIONS OF THE PROJECT AS PREPARED BY PINNACLE ENGINEERING GROUP, LLC.
 - ALL DOCUMENTS CITED IN THE ABOVE STANDARDS AND SPECIFICATIONS RELEVANT TO THE SUBJECT UNDER CONSIDERATION. IF A CONFLICT ARISES BETWEEN ANY PROVISION(S) OF THE REFERENCE ITEMS ABOVE AND ANY PROVISION(S) OF THESE STANDARDS AND SPECIFICATIONS, THEN THE MORE RESTRICTIVE PROVISION(S) SHALL APPLY.
- UPON COMPLETION OF THE PROJECT, THE DEVELOPER SHALL PROVIDE FINAL "RECORD DRAWINGS" (SIGNED AND SEALED BY THE ENGINEER) OF ALL UTILITIES WHICH INCLUDE THE LOCATIONS AND ELEVATIONS OF ALL MAINS, SERVICE LINES, STRUCTURES, PAVED AREAS, SITE GRADING, STREET LIGHTS AND CABLES, CURBS, AND MONUMENTS. FINAL RECORD DRAWINGS MUST ALSO INCLUDE A STATE PLANE COORDINATE SYSTEM TIE-IN. IN ADDITION TO THE DRAWINGS, ELECTRONIC FILES IN BOTH DWG AND PDF FILE FORMAT OF THE RECORD DRAWINGS WILL BE SUBMITTED TO THE CITY OF AURORA AND THE VILLAGE OF NORTH AURORA.

INDEX OF SHEETS

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ATTACHEMENTS

EX-1	MAINTENANCE OF TRAFFIC
EX-2	MAINTENANCE OF TRAFFIC
EX-3	MAINTENANCE OF TRAFFIC
EX-4	MAINTENANCE OF TRAFFIC

LIST OF STATE STANDARDS

BD400-05	BD32	BUTT JOINT AND HMA TAPER DETAILS
781001-04		TYPICAL APPLICATIONS RAISED REFLECTIVE PVT. MARKERS
280001-07		TEMPORARY EROSION CONTROL SYSTEMS
701301-04		LANE CLOSURE, 2L, 2W, SHORT TIME OPERATIONS
701311-03		LANE CLOSURE 2L, 2W MOVING OPERATIONS-DAY ONLY
701901-08		TRAFFIC CONTROL DEVICES
720011-01		METAL POSTS FOR SIGNS, MARKERS & DELINEATORS
780001-05		TYPICAL PAVEMENT MARKINGS
701011-04		OFF-RD MOVING OPERATIONS, 2L, 2W, DAY ONLY
606001-08		CONCRETE CURB TYPE B AND COMBINATION CONCRETE C&G
606201-04		TYPE B GUTTER (INLET, OUTLET & ENTRANCE)
TC-11		TYPICAL APPLICATIONS RAISED REFLECTIVE PAVEMENT MARKERS
TC-13		DISTRICT ONE TYPICAL PAVEMENT MARKINGS
TC-22		ARTERIAL ROAD INFORMATION SIGN

ABBREVIATIONS

BL	BASE LINE	PC	POINT OF CURVATURE
C	LONG CHORD OF CURVE	PT	POINT OF TANGENCY
C & G	CURB AND GUTTER	PVI	POINT OF VERTICAL INTERSECTION
CB	CATCH BASIN	R	RADIUS
CL	CENTERLINE	ROW	RIGHT-OF-WAY
D	DEGREE OF CURVE	SAN	SANITARY SEWER
EP	EDGE OF PAVEMENT	ST	STORM SEWER
FF	FINISHED FLOOR	T	TANGENCY OF CURVE
FG	FINISHED GRADE	TB	TOP OF BANK
FL	FLOW LINE	TF	TOP OF FOUNDATION
FP	FLOODPLAIN	TP	TOP OF PIPE
FR	FRAME	TS	TOP OF SIDEWALK
FW	FLOODWAY	W	TOP OF WALL ELEVATION
HWL	HIGH WATER LEVEL	BW	BOTTOM OF WALL
INV	INVERT	BC	BACK OF CURB
L	LENGTH OF CURVE	TDC	TOP OF DEPRESSED CURB
MH	MANHOLE	WM	WATER MAIN
NWL	NORMAL WATER LEVEL	EC	EDGE OF CONCRETE

PERMIT SET

EXPIRATION DATE: NOVEMBER 30, 2023

Formerly JULIE 1-800-892-0123

PINNACLE ENGINEERING GROUP, LLC
ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

PLAN | DESIGN | DELIVER
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AURORA, IL 60118
(847) 551-5300

CHICAGO | MILWAUKEE | NATIONWIDE

SULLIVAN ROAD ROADWAY IMPROVEMENTS
SULLIVAN ROAD & FAIRVIEW DRIVE
AURORA, ILLINOIS

REVISIONS	
1	PER CITY REVIEW 10/13/23
2	PER CITY REVIEW 11/20/23
3	PER CITY REVIEW 02/12/24

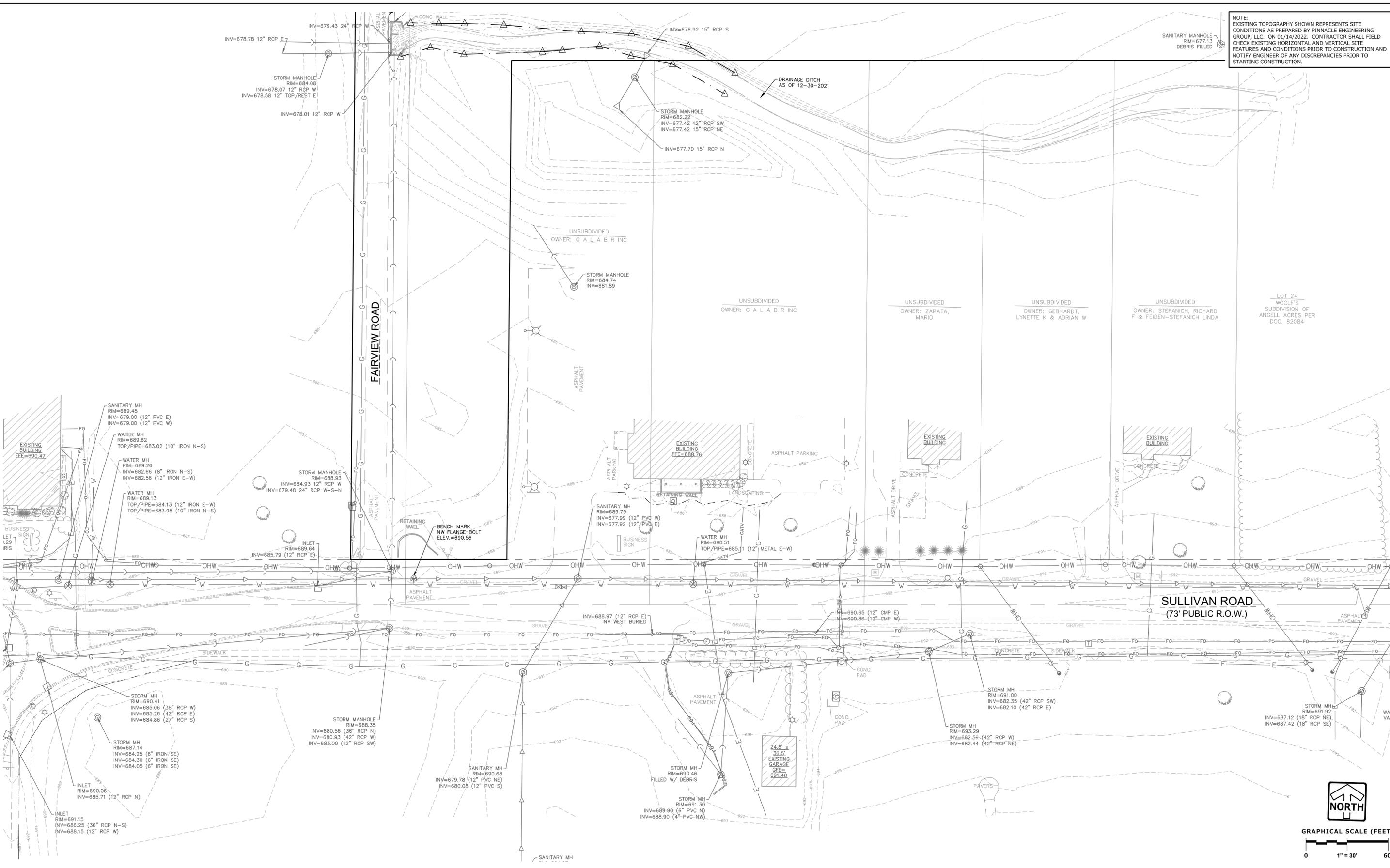
COVER SHEET

SHEET
C-1
OF
C-17

PEE JOB No. 23355-SD-LL
BID
PEG PM
START DATE 06/22/23
SCALE NONE

SULLIVAN ROAD ROADWAY IMPROVEMENTS - COVER SHEET

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 DRAWN: DDC
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NOTE:
 EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE
 CONDITIONS AS PREPARED BY PINNACLE ENGINEERING
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 CHECK EXISTING HORIZONTAL AND VERTICAL SITE
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 NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO
 STARTING CONSTRUCTION.

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 SULLIVAN ROAD ROADWAY IMPROVEMENTS - EXISTING CONDITIONS PLAN

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SULLIVAN ROAD ROADWAY IMPROVEMENTS

SULLIVAN ROAD & FAIRVIEW DRIVE

AURORA, ILLINOIS

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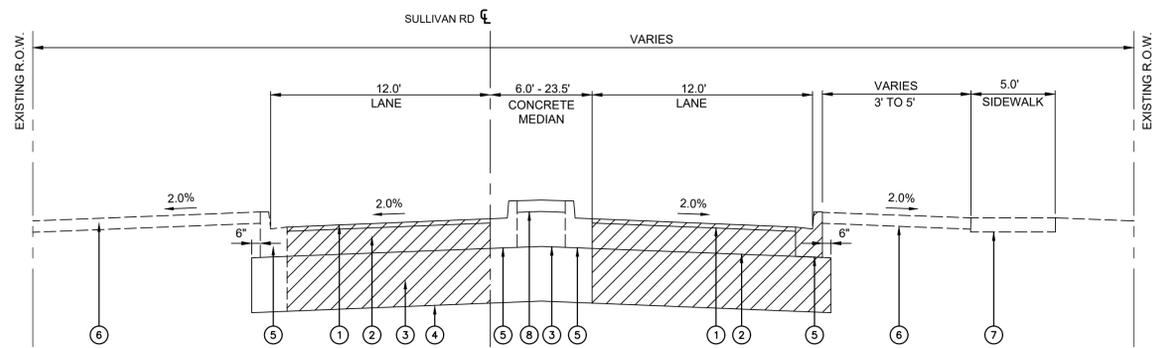
EXISTING CONDITIONS PLAN

SHEET
C-3
 OF
C-17

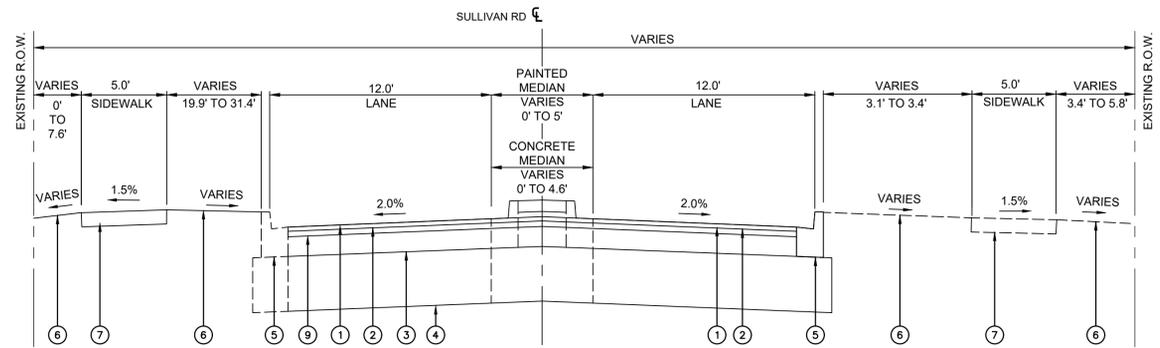
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 START DATE 06/22/23
 SCALE 1"=30'
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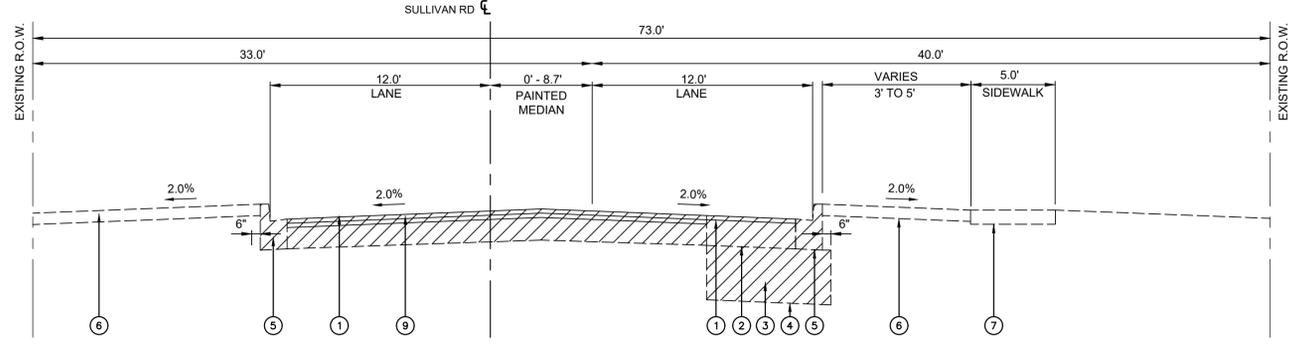
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 SULLIVAN ROAD ROADWAY IMPROVEMENTS - TYPICAL SECTIONS
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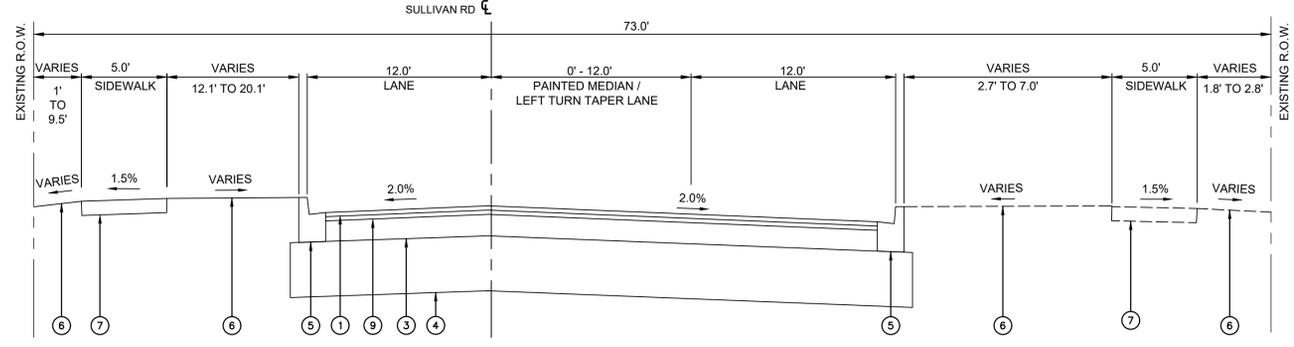
EXISTING TYPICAL SECTION
SULLIVAN ROAD
STA. 0+45.30' TO STA. 0+50.91'



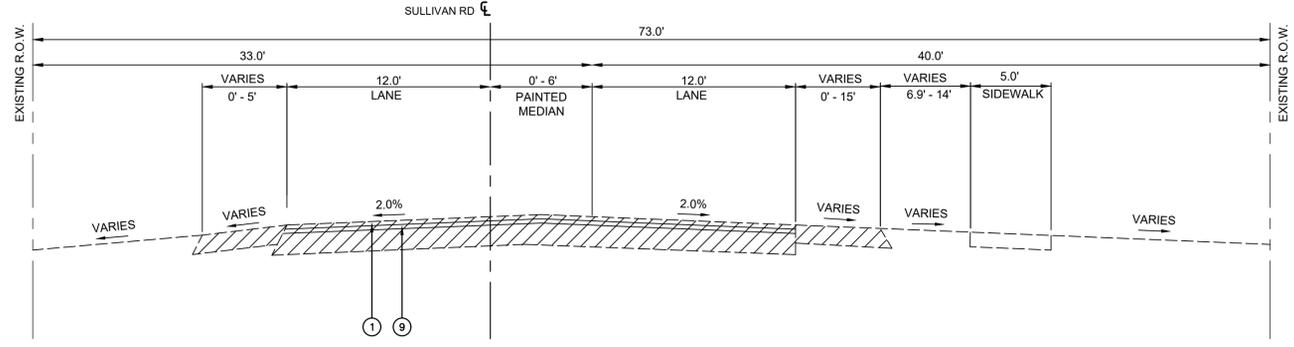
PROPOSED TYPICAL SECTION
SULLIVAN ROAD
STA. 0+45.30' TO STA. 0+50.91'



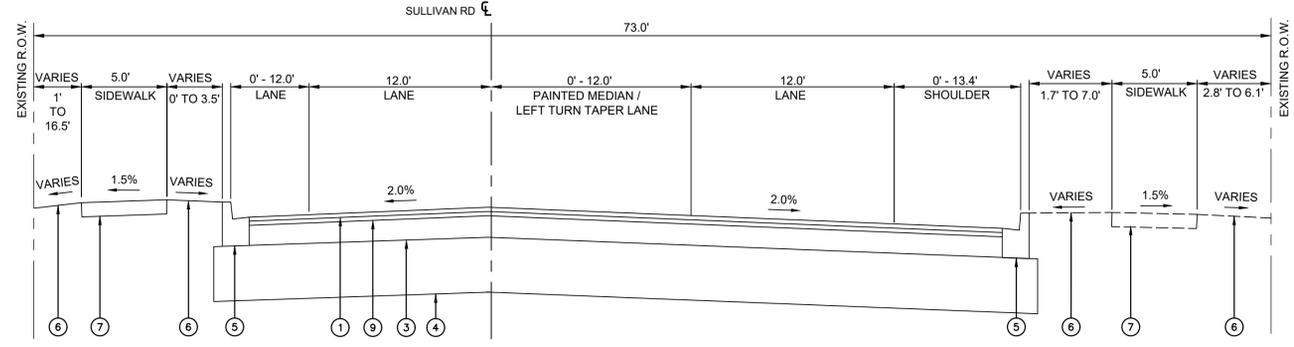
EXISTING TYPICAL SECTION
SULLIVAN ROAD
STA. 0+50.91' TO STA. 2+16.10'



PROPOSED TYPICAL SECTION
SULLIVAN ROAD
STA. 0+50.91' TO STA. 1+92.00'



EXISTING TYPICAL SECTION
SULLIVAN ROAD
STA. 2+16.10' TO STA. 7+69.84'



PROPOSED TYPICAL SECTION
SULLIVAN ROAD
STA. 1+92.00' TO STA. 7+69.84'

- LEGEND**
- ① BIT. CONCRETE SURFACE COURSE, SUPERPAVE 1.5"
 - ② HMA BINDER COURSE, NS0 10"
 - ③ BIT. BASE COURSE, SUPERPAVE 10"
 - ④ SUBBASE GRANULAR MATERIAL, TYPE B 4"
 - ⑤ COMBINATION CONCRETE CURB AND GUTTER, B-6.12
 - ⑥ 4" TOPSOIL AND CLASS 1 SEEDING
 - ⑦ PCC SIDEWALK 5" (8" TRHU COMMERCIAL DRIVEWAYS) WITH 4" SUBBASE
 - ⑧ CONCRETE MEDIAN SURFACE 4"
 - ⑨ BIT. CONCRETE BINDER COURSE, SUPERPAVE 2.5"
 - ▨ ITEM TO BE REMOVED/DEMOLISHED

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TYPICAL SECTIONS

SHEET
C-4
 OF
C-17

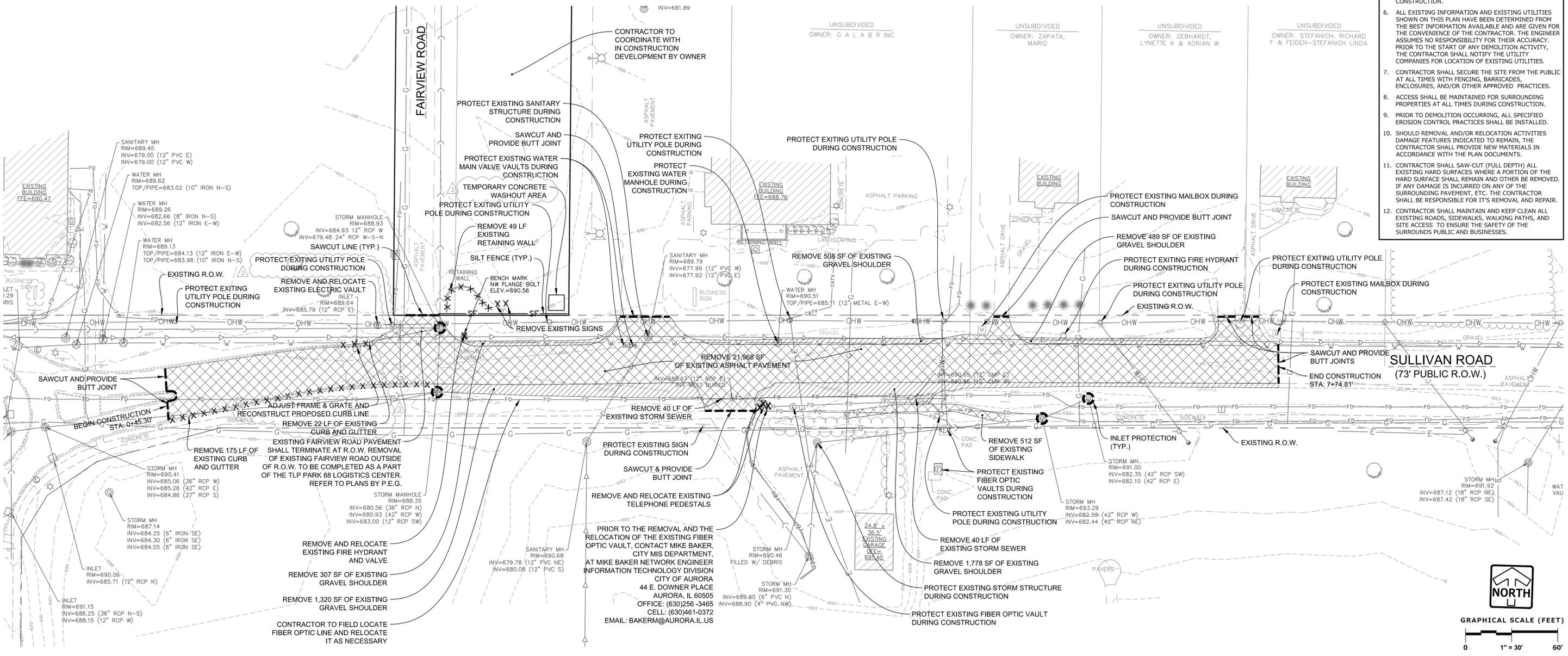
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 PEG PM
 START DATE 06/22/23
 SCALE NONE

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 DESIGNED: DDC
 REVIEWED: BDJ
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DEMOLITION LEGEND

	FULL DEPTH PAVEMENT REMOVAL
	SHOULDER REMOVAL
	PIPE / UTILITY REMOVAL
	SITE FEATURE TO BE REMOVED
	SILT FENCE
	INLET PROTECTION
	SAW CUT

- NOTE:**
 EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY PINNACLE ENGINEERING GROUP, LLC. ON 01/14/2022. CONTRACTOR SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SITE FEATURES AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- ### DEMOLITION NOTES
- CONTRACTOR SHALL CONTACT 811 PRIOR TO CONSTRUCTION AND NOTIFY ENGINEERING OF ANY CONFLICTS WITH THE PROPOSED IMPROVEMENTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION, REMOVAL AND DISPOSAL OF ALL STRUCTURES, FOUNDATIONS, SIDEWALKS, PAVEMENT, DRIVES, DRAINAGE STRUCTURES, UTILITIES, BRUSH/TREE CLEARING ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THESE PLANS CAN BE CONSTRUCTED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. ALL MATERIAL REMOVED SHALL BE DISPOSED OF IN AN APPROVED LOCATION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
 - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING FOR ALL FEES AND CHARGES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY DRAIN TILES AND NOTIFYING ENGINEER PRIOR TO CONSTRUCTION.
 - ALL EXISTING INFORMATION AND EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATION OF EXISTING UTILITIES.
 - CONTRACTOR SHALL SECURE THE SITE FROM THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, AND/OR OTHER APPROVED PRACTICES.
 - ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING CONSTRUCTION.
 - PRIOR TO DEMOLITION OCCURRING, ALL SPECIFIED EROSION CONTROL PRACTICES SHALL BE INSTALLED.
 - SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FEATURES INDICATED TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS IN ACCORDANCE WITH THE PLAN DOCUMENTS.
 - CONTRACTOR SHALL SAW-CUT (FULL DEPTH) ALL EXISTING HARD SURFACES WHERE A PORTION OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
 - CONTRACTOR SHALL MAINTAIN AND KEEP CLEAN ALL EXISTING ROADS, SIDEWALKS, WALKING PATHS, AND SITE ACCESS TO ENSURE THE SAFETY OF THE SURROUNDING PUBLIC AND BUSINESSES.



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AURORA, ILLINOIS

REVISIONS	
1	PER CITY REVIEW 10/13/23
2	PER CITY REVIEW 11/20/23
3	PER CITY REVIEW 02/12/24

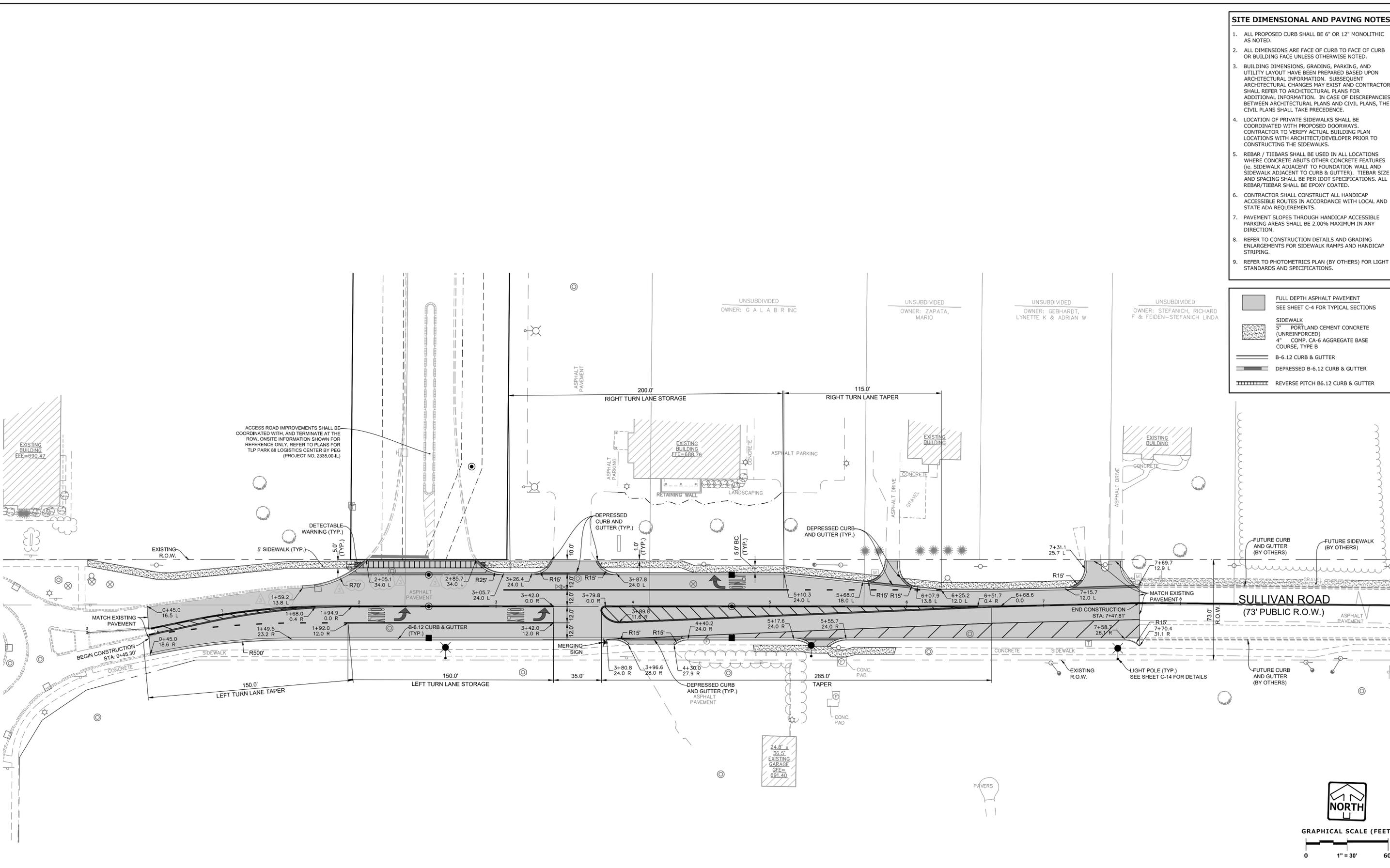
DEMOLITION PLAN

SHEET
C-5
 OF
C-17

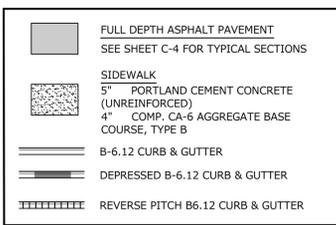
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- SITE DIMENSIONAL AND PAVING NOTES**
- ALL PROPOSED CURB SHALL BE 6" OR 12" MONOLITHIC AS NOTED.
 - ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FACE UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS, GRADING, PARKING, AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST AND CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. IN CASE OF DISCREPANCIES BETWEEN ARCHITECTURAL PLANS AND CIVIL PLANS, THE CIVIL PLANS SHALL TAKE PRECEDENCE.
 - LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED DOORWAYS. CONTRACTOR TO VERIFY ACTUAL BUILDING PLAN LOCATIONS WITH ARCHITECT/DEVELOPER PRIOR TO CONSTRUCTING THE SIDEWALKS.
 - REBAR / TIEBARS SHALL BE USED IN ALL LOCATIONS WHERE CONCRETE ABUTS OTHER CONCRETE FEATURES (i.e. SIDEWALK ADJACENT TO FOUNDATION WALL AND SIDEWALK ADJACENT TO CURB & GUTTER). TIEBAR SIZE AND SPACING SHALL BE PER IDOT SPECIFICATIONS. ALL REBAR/TIEBAR SHALL BE EPOXY COATED.
 - CONTRACTOR SHALL CONSTRUCT ALL HANDICAP ACCESSIBLE ROUTES IN ACCORDANCE WITH LOCAL AND STATE ADA REQUIREMENTS.
 - PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 - REFER TO CONSTRUCTION DETAILS AND GRADING ENLARGEMENTS FOR SIDEWALK RAMP AND HANDICAP STRIPING.
 - REFER TO PHOTOMETRICS PLAN (BY OTHERS) FOR LIGHT STANDARDS AND SPECIFICATIONS.



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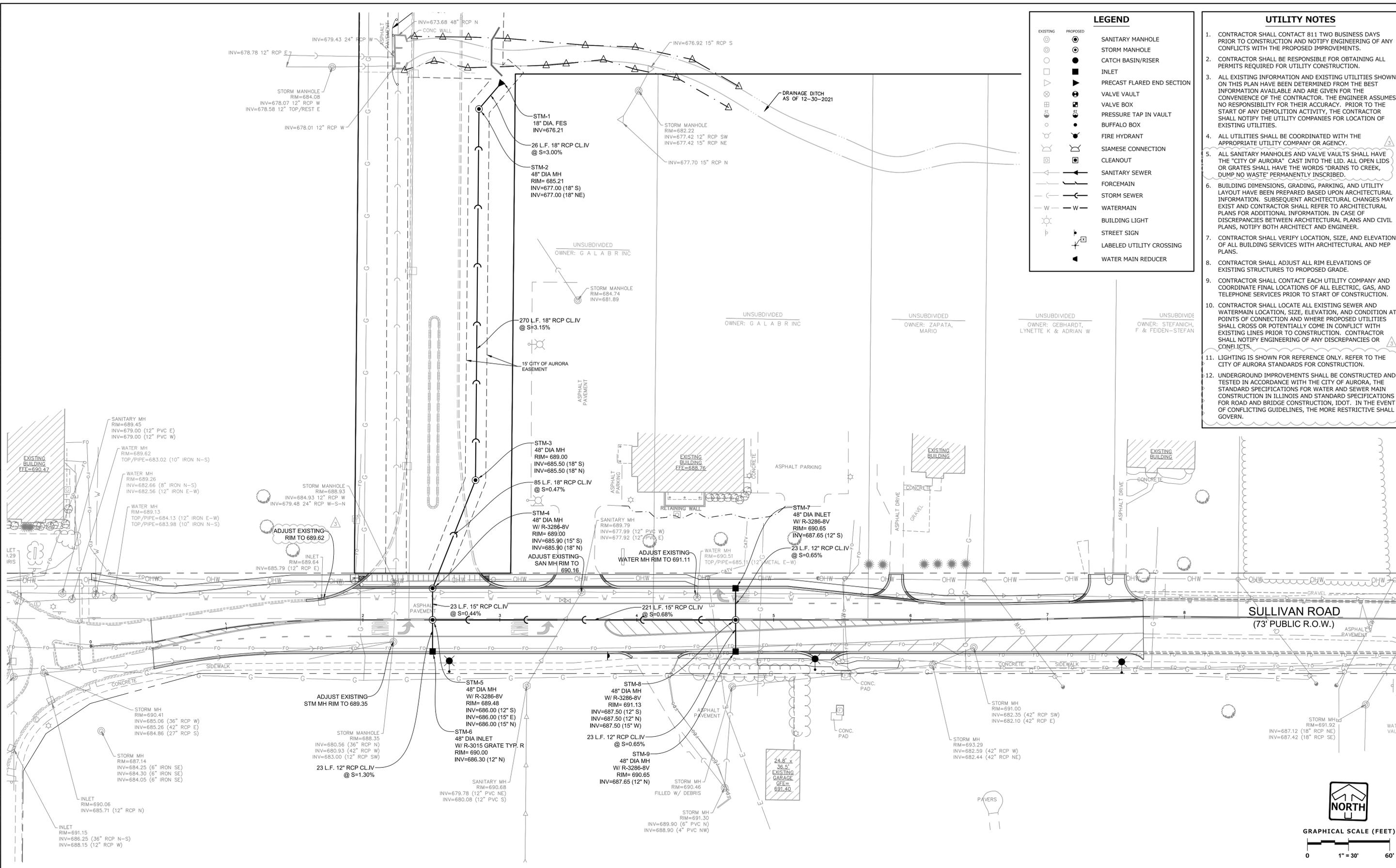
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3	PER CITY REVIEW	02/12/24

SITE DIMENSIONAL & PAVING PLAN
 SHEET **C-6** OF **C-17**
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 BJD
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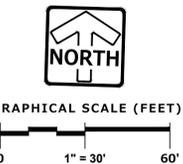
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LEGEND

EXISTING	PROPOSED	DESCRIPTION
⊙	⊙	SANITARY MANHOLE
⊙	⊙	STORM MANHOLE
⊙	⊙	CATCH BASIN/RISER
⊙	⊙	INLET
⊙	⊙	PRECAST FLARED END SECTION
⊙	⊙	VALVE VAULT
⊙	⊙	VALVE BOX
⊙	⊙	PRESSURE TAP IN VAULT
⊙	⊙	BUFFALO BOX
⊙	⊙	FIRE HYDRANT
⊙	⊙	SIAMENSE CONNECTION
⊙	⊙	CLEANOUT
⊙	⊙	SANITARY SEWER
⊙	⊙	FORCEMAIN
⊙	⊙	STORM SEWER
⊙	⊙	WATERMAIN
⊙	⊙	BUILDING LIGHT
⊙	⊙	STREET SIGN
⊙	⊙	LABELED UTILITY CROSSING
⊙	⊙	WATER MAIN REDUCER

- ### UTILITY NOTES
- CONTRACTOR SHALL CONTACT 811 TWO BUSINESS DAYS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEERING OF ANY CONFLICTS WITH THE PROPOSED IMPROVEMENTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR UTILITY CONSTRUCTION.
 - ALL EXISTING INFORMATION AND EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATION OF EXISTING UTILITIES.
 - ALL UTILITIES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
 - ALL SANITARY MANHOLES AND VALVE VAULTS SHALL HAVE THE "CITY OF AURORA" CAST INTO THE LID. ALL OPEN LIDS OR GRATES SHALL HAVE THE WORDS "DRAINS TO CREEK, DUMP NO WASTE" PERMANENTLY INSCRIBED.
 - BUILDING DIMENSIONS, GRADING, PARKING, AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST AND CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. IN CASE OF DISCREPANCIES BETWEEN ARCHITECTURAL PLANS AND CIVIL PLANS, NOTIFY BOTH ARCHITECT AND ENGINEER.
 - CONTRACTOR SHALL VERIFY LOCATION, SIZE, AND ELEVATION OF ALL BUILDING SERVICES WITH ARCHITECTURAL AND MEP PLANS.
 - CONTRACTOR SHALL ADJUST ALL RIM ELEVATIONS OF EXISTING STRUCTURES TO PROPOSED GRADE.
 - CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS OF ALL ELECTRIC, GAS, AND TELEPHONE SERVICES PRIOR TO START OF CONSTRUCTION.
 - CONTRACTOR SHALL LOCATE ALL EXISTING SEWER AND WATERMAIN LOCATION, SIZE, ELEVATION, AND CONDITION AT POINTS OF CONNECTION AND WHERE PROPOSED UTILITIES SHALL CROSS OR POTENTIALLY COME IN CONFLICT WITH EXISTING LINES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEERING OF ANY DISCREPANCIES OR CONFLICTS.
 - LIGHTING IS SHOWN FOR REFERENCE ONLY. REFER TO THE CITY OF AURORA STANDARDS FOR CONSTRUCTION.
 - UNDERGROUND IMPROVEMENTS SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE CITY OF AURORA, THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, IDOT. IN THE EVENT OF CONFLICTING GUIDELINES, THE MORE RESTRICTIVE SHALL GOVERN.



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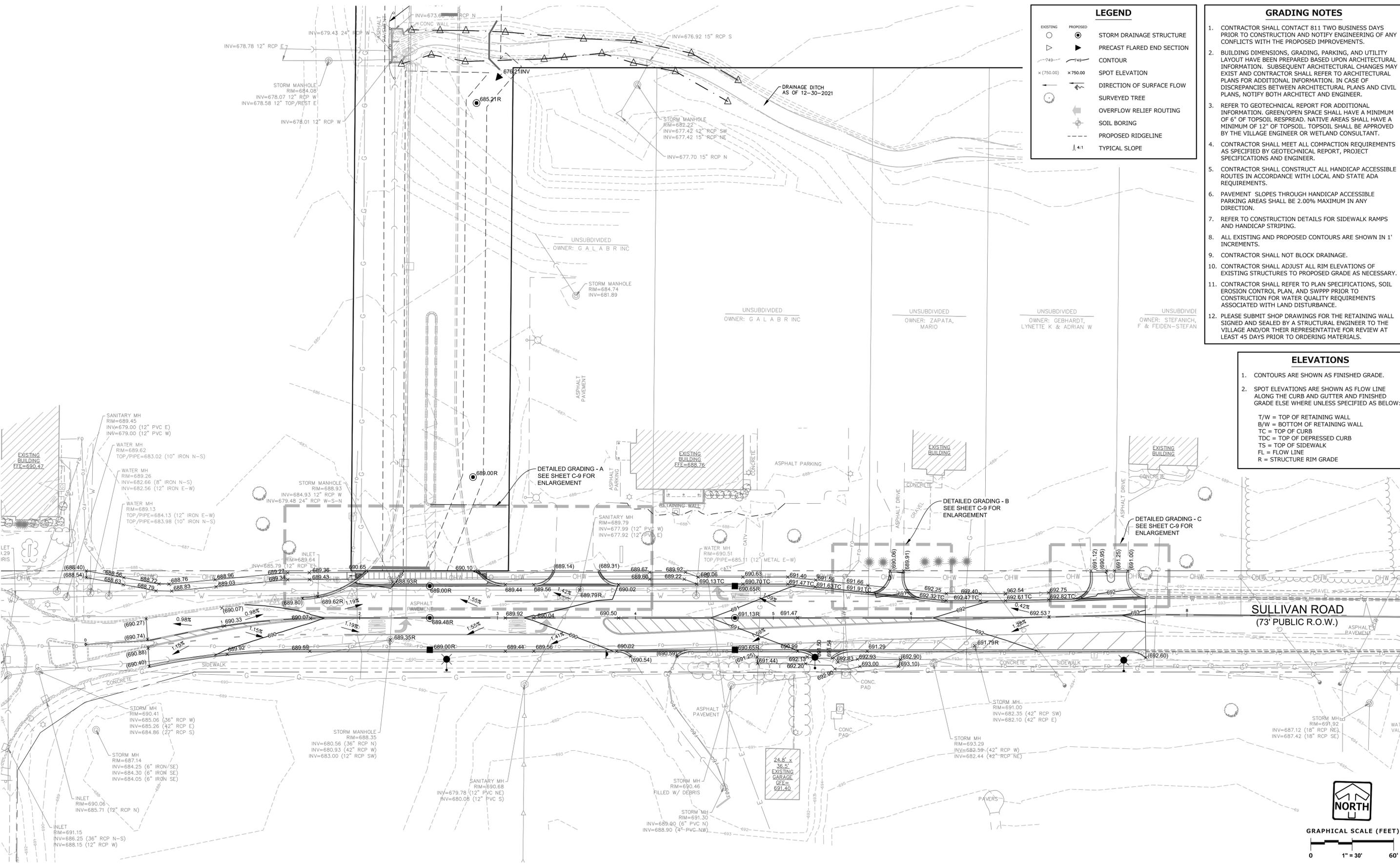
UTILITY PLAN

SHEET
C-7
 OF
C-17

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 BDU
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 PROJECT: 2335-50-11-000 - CAD VINA SHEET SET
 DRAWN: BDU
 DATE: 06/20/24
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LEGEND

EXISTING	PROPOSED	STORM DRAINAGE STRUCTURE
▽	▶	PRECAST FLARED END SECTION
---	---	CONTOUR
x (750.00)	x 750.00	SPOT ELEVATION
---	---	DIRECTION OF SURFACE FLOW
○	○	SURVEYED TREE
○	○	OVERFLOW RELIEF ROUTING
○	○	SOIL BORING
---	---	PROPOSED RIDGELINE
1:4.1		TYPICAL SLOPE

- GRADING NOTES**
- CONTRACTOR SHALL CONTACT 811 TWO BUSINESS DAYS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEERING OF ANY CONFLICTS WITH THE PROPOSED IMPROVEMENTS.
 - BUILDING DIMENSIONS, GRADING, PARKING, AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST AND CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. IN CASE OF DISCREPANCIES BETWEEN ARCHITECTURAL PLANS AND CIVIL PLANS, NOTIFY BOTH ARCHITECT AND ENGINEER.
 - REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION. GREEN/OPEN SPACE SHALL HAVE A MINIMUM OF 6" OF TOPSOIL RESPREAD. NATIVE AREAS SHALL HAVE A MINIMUM OF 12" OF TOPSOIL. TOPSOIL SHALL BE APPROVED BY THE VILLAGE ENGINEER OR WETLAND CONSULTANT.
 - CONTRACTOR SHALL MEET ALL COMPACTION REQUIREMENTS AS SPECIFIED BY GEOTECHNICAL REPORT, PROJECT SPECIFICATIONS AND ENGINEER.
 - CONTRACTOR SHALL CONSTRUCT ALL HANDICAP ACCESSIBLE ROUTES IN ACCORDANCE WITH LOCAL AND STATE ADA REQUIREMENTS.
 - PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
 - REFER TO CONSTRUCTION DETAILS FOR SIDEWALK RAMPS AND HANDICAP STRIPING.
 - ALL EXISTING AND PROPOSED CONTOURS ARE SHOWN IN 1' INCREMENTS.
 - CONTRACTOR SHALL NOT BLOCK DRAINAGE.
 - CONTRACTOR SHALL ADJUST ALL RIM ELEVATIONS OF EXISTING STRUCTURES TO PROPOSED GRADE AS NECESSARY.
 - CONTRACTOR SHALL REFER TO PLAN SPECIFICATIONS, SOIL EROSION CONTROL PLAN, AND SWPPP PRIOR TO CONSTRUCTION FOR WATER QUALITY REQUIREMENTS ASSOCIATED WITH LAND DISTURBANCE.
 - PLEASE SUBMIT SHOP DRAWINGS FOR THE RETAINING WALL SIGNED AND SEALED BY A STRUCTURAL ENGINEER TO THE VILLAGE AND/OR THEIR REPRESENTATIVE FOR REVIEW AT LEAST 45 DAYS PRIOR TO ORDERING MATERIALS.

- ELEVATIONS**
- CONTOURS ARE SHOWN AS FINISHED GRADE.
 - SPOT ELEVATIONS ARE SHOWN AS FLOW LINE ALONG THE CURB AND GUTTER AND FINISHED GRADE ELSE WHERE UNLESS SPECIFIED AS BELOW:
- T/W = TOP OF RETAINING WALL
 B/W = BOTTOM OF RETAINING WALL
 TC = TOP OF CURB
 TDC = TOP OF DEPRESSED CURB
 TS = TOP OF SIDEWALK
 FL = FLOW LINE
 R = STRUCTURE RIM GRADE

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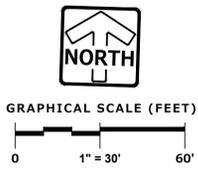
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2	PER CITY REVIEW	11/20/23
3	PER CITY REVIEW	02/12/24

GRADING PLAN
 SHEET
C-8
 OF
C-17

PEG JOB NO. 2335-50-11-000
 PEG PM BDU
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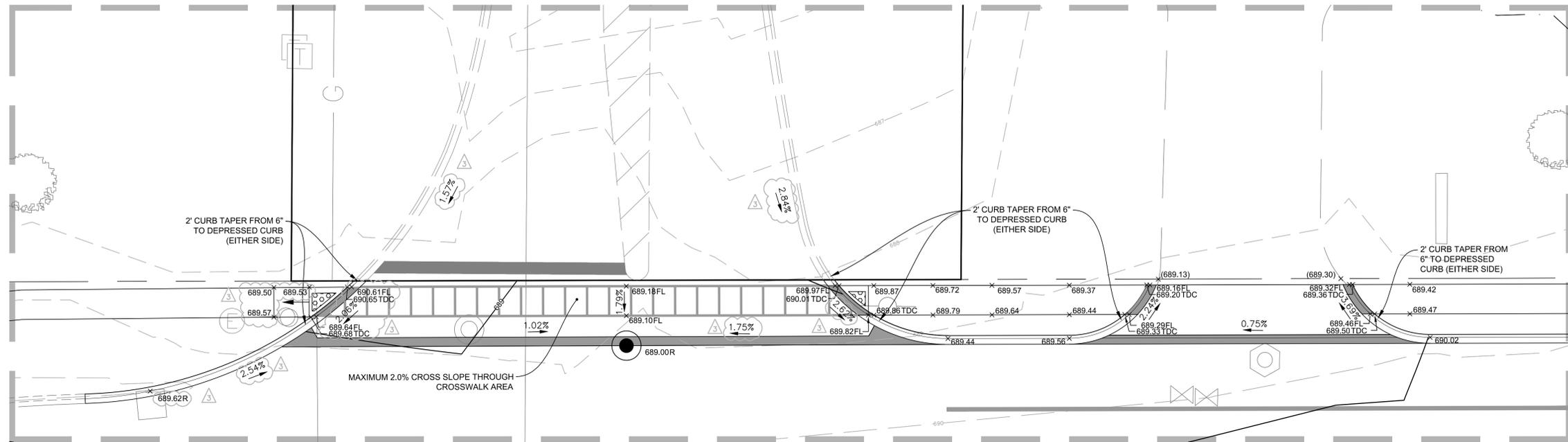
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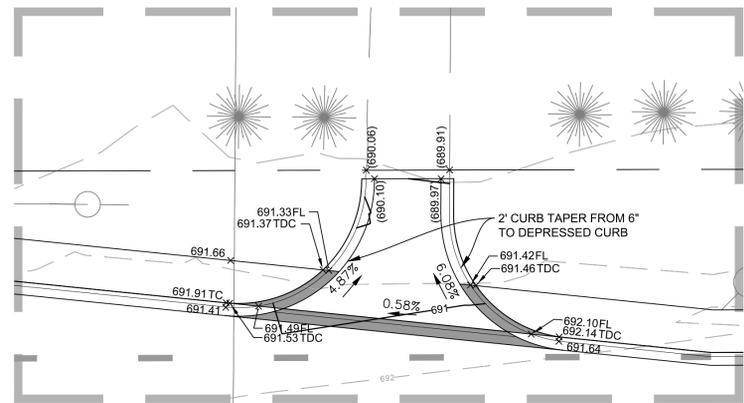
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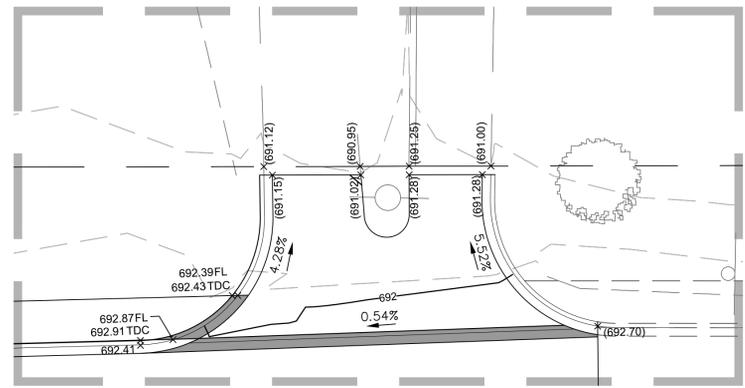
SHEET
C-9
OF
C-17



DETAILED GRADING - A
SCALE: 1"=10'



DETAILED GRADING - B
SCALE: 1"=10'



DETAILED GRADING - C
SCALE: 1"=10'

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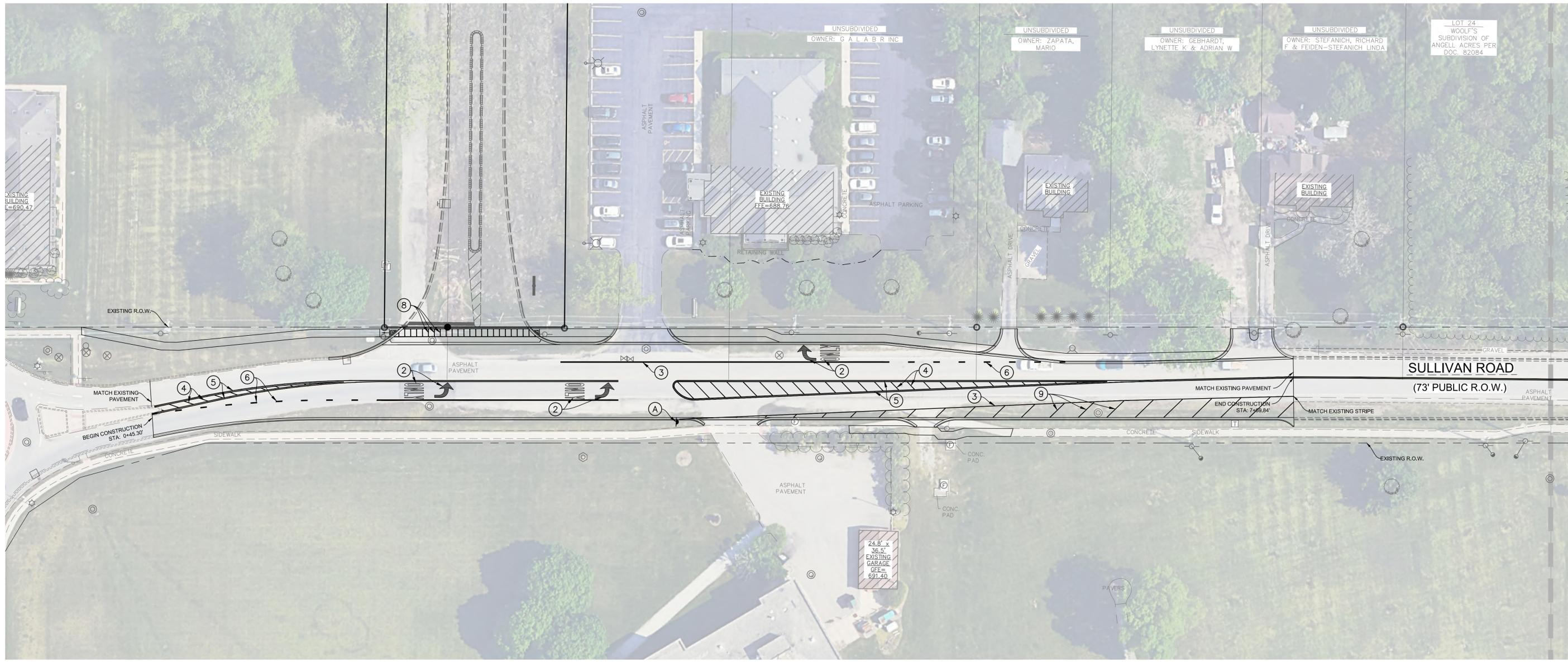
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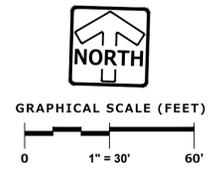
1. RAISED REFLECTIVE PAVEMENT MARKERS (SNOW PLOW RESISTANT) SHALL BE INSTALLED IN ACCORDANCE WITH IDOT STANDARD TC-11. SEE SHEET C-14.
2. ALL PAVEMENT MARKING SHALL BE THERMOPLASTIC.
3. ALL IDOT RELATED PAVEMENT MARKINGS SHALL CONFORM TO IDOT STANDARD TC-13. SEE SHEET C-15.

LEGEND	
①	4" YELLOW STRIPE
②	YELLOW SYMBOLS / PAVEMENT MARKINGS
③	4" WHITE STRIPE
④	4" YELLOW NO CROSSING STRIPE
⑤	DOUBLE 4" YELLOW NO CROSSING STRIPE
⑥	4" SKIP DASH
⑦	4" YELLOW CENTERLINE
⑧	CROSSWALK MARKINGS
⑨	12" WHITE STRIPE
A	"MERGING" SIGN



MATCHLINE (SEE SHEET C-12)

- GENERAL NOTES:**
1. WOOD POSTS SIZES, FOR TYPE II SIGNS ARE ESTIMATED LENGTHS AND THE ACTUAL LENGTH WILL BE DETERMINED IN THE FIELD.
 2. 2 X 2 STEEL POSTS SHALL BE USED.
 3. STREET NAME SIGNS ARE PROPERTY OF THE MUNICIPALITY (CITY, VILLAGE OR TOWN). THE MUNICIPALITY SHALL BE CONTACTED TO REMOVE THEIR STREET NAME SIGNS PRIOR TO CONSTRUCTION AND IT IS THEIR RESPONSIBILITY TO REINSTALL THE OLD SIGNS OR REPLACE THEM FOLLOWING CONSTRUCTION. THE STREET NAME SIGNS SHALL NOT BE PLACED ON TOP OF THE STOP SIGNS.




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MATCHLINE (SEE SHEET C-11)

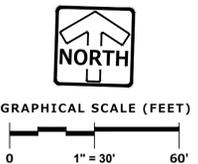


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②	YELLOW SYMBOLS / PAVEMENT MARKINGS
③	4" WHITE STRIPE
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⑨	12" WHITE STRIPE
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SIGNAGE & STRIPING
PLAN

PEG JOB No. 2335.00-IL
 BDU
 START DATE 06/22/23
 SCALE 1"=30'
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SULLIVAN ROAD ROADWAY IMPROVEMENTS - SIGNAGE & STRIPING PLAN

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 DESIGNED: DDC
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 CHECKED: DF
 DATE: 1/04
 REVISIONS: 02/25/23 BY: DGoewey
 02/04/22 BY: CArmin
 06/22/22 BY: CArmin
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STORM INLET, TYPE A DETAIL

REVISIONS

DATE	BY	REVISIONS
02/20/11	jhs	

SCALE: NOT TO SCALE
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 DRAWING NUMBER: EXHIBIT III-A-5
 DATE: 1/04
 DRAWN: NM

TEMPORARY EROSION CONTROL SYSTEMS

STANDARD 280001-07

REVISIONS

DATE	REVISIONS
1-1-13	Corrected notation for Fencing (E to an SEDIMENT BASIN ELEVATION).
1-1-12	Deleted unnecessary dimensions. Corrected SLOPE METHOD to SECTION A-A.

GENERAL NOTES:
 The installation details and dimensions shown for perimeter erosion barriers shall also apply for inlet and pipe protection.
 All dimensions are in inches unless otherwise stated.

TEMPORARY EROSION CONTROL SYSTEMS

STANDARD 280001-07

REVISIONS

DATE	REVISIONS
1-1-13	Corrected notation for Fencing (E to an SEDIMENT BASIN ELEVATION).
1-1-12	Deleted unnecessary dimensions. Corrected SLOPE METHOD to SECTION A-A.

CATCH BASIN TYPE B

REVISIONS

DATE	BY	REVISIONS
02/25/23	DGoewey	
02/04/22	CArmin	
06/22/22	CArmin	

SCALE: NOT TO SCALE
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 DRAWING NUMBER: EXHIBIT III-A-4
 DATE: 1/04
 DRAWN: NM

STORM MANHOLE, TYPE A DETAIL

REVISIONS

DATE	BY	REVISIONS
01/20/11	jhs	
01/20/14	dlg	
06/20/22	gja	

SCALE: NOT TO SCALE
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TEMPORARY EROSION CONTROL SYSTEMS

STANDARD 280001-07

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SULLIVAN ROAD & FAIRVIEW DRIVE
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CONSTRUCTION STANDARDS

REVISIONS

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STANDARD DWG. NO. IL-620
 SHEET 1 OF 2
 DATE: 11-20-01

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 SHEET C-13 OF C-17

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CONCRETE CURB TYPE B AND COMBINATION CONCRETE CURB AND GUTTER
STANDARD 606001-08

GENERAL NOTES:
1. The bottom slope of combination curb and gutter constructed adjacent to PCC pavement shall be the same slope as the subbase or 0% when subbase is omitted.
2. Longitudinal joint between curb and gutter shall be 6 (No. 6, 19) at 36 (9.14) center to center in accordance with details for longitudinal construction joint shown on Standard 420001.
3. A minimum clearance of 2 (50) between the end of the tie bar and the back of the curb shall be maintained.
4. The dowel bars shown in construction joints will only be required for monolithic construction.
5. See Standard 606301 for details of corner islands.
6. All dimensions are in inches (millimeters) unless otherwise shown.

DATE	REVISIONS
1-1-22	Revised construction joint spacing adjacent to PCC pavement.
1-15-18	Revised General Note for tie bar spacing to 36 (905) cts.

CONCRETE CURB TYPE B AND COMBINATION CONCRETE CURB AND GUTTER
STANDARD 606001-08

GENERAL NOTES:
1. The bottom slope of combination curb and gutter constructed adjacent to PCC pavement shall be the same slope as the subbase or 0% when subbase is omitted.
2. Longitudinal joint between curb and gutter shall be 6 (No. 6, 19) at 36 (9.14) center to center in accordance with details for longitudinal construction joint shown on Standard 420001.
3. A minimum clearance of 2 (50) between the end of the tie bar and the back of the curb shall be maintained.
4. The dowel bars shown in construction joints will only be required for monolithic construction.
5. See Standard 606301 for details of corner islands.
6. All dimensions are in inches (millimeters) unless otherwise shown.

DATE	REVISIONS
1-1-22	Revised construction joint spacing adjacent to PCC pavement.
1-15-18	Revised General Note for tie bar spacing to 36 (905) cts.

ROAD WORK AHEAD
EXPECT DELAYS

NOTES:
1. USE BLACK LETTERING ON ORANGE BACKGROUND.
2. ERECT SIGNS IN ADVANCE OF THE LOCATION FOR THE "ROAD CONSTRUCTION AHEAD" SIGN AT LOCATIONS AS DIRECTED BY THE ENGINEER.
3. ERECT SIGN (1) WITH INSTALLED PANEL (2) ONE WEEK PRIOR TO THE START OF CONSTRUCTION.
4. REMOVE PANEL (2) SOON AFTER THE START OF CONSTRUCTION.
5. SEE SPECIAL PROVISION FOR "TEMPORARY INFORMATION SIGNING" FOR ADDITIONAL INFORMATION.
6. ONE SIGN ASSEMBLY EQUALS 25 TO SQ. FT. (2.3 SQ. M.)
7. SHALL BE PAID FOR AS TEMPORARY INFORMATION SIGNING.

ALL DIMENSIONS ARE IN INCHES (MILLIMETERS) UNLESS OTHERWISE SHOWN.

TYPE B GUTTER (INLET, OUTLET & ENTRANCE)
STANDARD 606201-04

GENERAL NOTES:
1. Gutter, inlet, gutter and gutter entrance shall be tied to the pavement in accordance with details for longitudinal construction joint shown on Standard 420001.
2. Two 1-1/4 x 18 (32 x 450) dowel bars shall be installed in all joints when the gutter is constructed adjacent to flexible pavement.
3. All dimensions are in inches (millimeters) unless otherwise shown.

DATE	REVISIONS
1-1-18	Deleted first General Note.
4-1-18	General Note 1. No avoid conflict with second.
4-1-18	Changed terminology to welded wire reinforcement.

TYPE B GUTTER (INLET, OUTLET & ENTRANCE)
STANDARD 606201-04

GENERAL NOTES:
1. Gutter, inlet, gutter and gutter entrance shall be tied to the pavement in accordance with details for longitudinal construction joint shown on Standard 420001.
2. Two 1-1/4 x 18 (32 x 450) dowel bars shall be installed in all joints when the gutter is constructed adjacent to flexible pavement.
3. All dimensions are in inches (millimeters) unless otherwise shown.

DATE	REVISIONS
1-1-18	Deleted first General Note.
4-1-18	General Note 1. No avoid conflict with second.
4-1-18	Changed terminology to welded wire reinforcement.

TYPICAL APPLICATIONS
Utility construction

SYMBOLS
Work area
Sign
Flag with traffic control sign as required

GENERAL NOTES:
1. This Standard is applicable to all types of utility construction projects.
2. Minimum distance is 200 (162) m. Maximum distance to be determined by the Engineer.
3. Signs shall be placed in the advance warning area, where the average speed is 15 to 25 mph or less.
4. When the work operation does not exceed 60 minutes, the traffic control sign may be according to Standard 03101.
5. All dimensions are in inches (millimeters) unless otherwise shown.

DATE	REVISIONS
1-1-18	Revised warning sign number to comply with current MUTCD.
1-1-18	Deleted first General Note.

CONCRETE CURB & GUTTER
EXHIBIT II-C-4

NOTES:
1. CURB & GUTTER SHALL HAVE A LIGHT BROOM FINISH.
2. CURB & GUTTER TO BE PLACED ON MINIMUM COMPACTED 4" CA-7 LIMESTONE BASE.
3. EQUALS 2" AT DRIVEWAYS, 1/2" MAXIMUM AT ACCESSIBLE CURB RAMPS.

CURB RAMP DETAIL
EXHIBIT II-C-6

NOTES:
1. DETECTABLE WARNING TILES SHALL BE RED ADA SOLUTIONS, INC.
2. TILES SHALL BE SECURELY SET FLUSH WITHIN THE P.C. CONCRETE SIDEWALK OR DISTING CURB DEPRESSION AS DETERMINED BY ENGINEER AT TIME OF CONSTRUCTION.
3. DETECTABLE WARNING TILES SHALL ADHERE TO LOCATIONS & SETBACKS AS SHOWN IN APPLICABLE DOT STANDARDS FOR VARIOUS FIELD CONDITIONS.
4. THE COLORING AND STAMPING OF CONCRETE WILL NOT BE ALLOWED.
5. DETECTABLE WARNING TILES SHALL BE INSTALLED AT ALL CURB RAMPS, BIKE PATH TIE AREA SHALL MEASURE 10' WIDE.

CURB CONNECTION DETAIL
EXHIBIT II-C-8

NOTES:
1. INSTALL TWO 3/4" Ø DOWEL BAR TIES AT EACH SAWCUT LOCATION PER EXHIBIT II-C-12
2. NEW CURB & GUTTER INSTALLATION AND MATERIALS PER EXHIBIT II-C-4

CURB AND GUTTER GENERAL NOTES:

1. Contraction joints shall be placed ten (10) feet on centers and shall be saw cut to a minimum depth of two (2) inches from top to back within twenty four (24) hours of concrete placement.
2. The concrete material, curing, protection, and placement for all curb, combination curb and gutter or, depressed curb and gutter shall meet the requirements of Articles 606.1020, 1021, 1022, and 1023 of the State of Illinois "Standard Specifications for Road and Bridge Construction", latest edition. Membrane curing and concrete sealing shall be accompanied by W.R. Meadows CS-309 Cure and Seal or approved equal like Okon S-20. If the forecast indicates temperatures below 32° F, protection methods shall be installed in accordance with the Standard Specifications for Road and Bridge Construction and shall be approved by the City Engineer.
3. The minimum longitudinal curb slope shall be 0.40%.
4. Cuts into the existing curb shall be made full depth with full expansion joints drilled at each per Exhibit II-C-12 herein.

REVISIONS
DATE: 02/20/13
BY: DG

CONCRETE CURB & GUTTER
EXHIBIT II-C-4

SCALE: NOT TO SCALE
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REVISIONS
DATE: 02-26-20
BY: DG

CURB RAMP DETAIL
EXHIBIT II-C-6

SCALE: NOT TO SCALE
CHECKED: CL
DRAWN: DG

REVISIONS
DATE: 04/20/18
BY: DGoewey

CURB CONNECTION DETAIL
EXHIBIT II-C-8

SCALE: NOT TO SCALE
CHECKED: CL
DRAWN: D. GOEWEY

REVISIONS
DATE: 02/20/13
BY: DG

CURB AND GUTTER GENERAL NOTES
EXHIBIT II-C-5

SCALE: NOT TO SCALE
CHECKED: J. MOORE
DRAWN: J. MOORE

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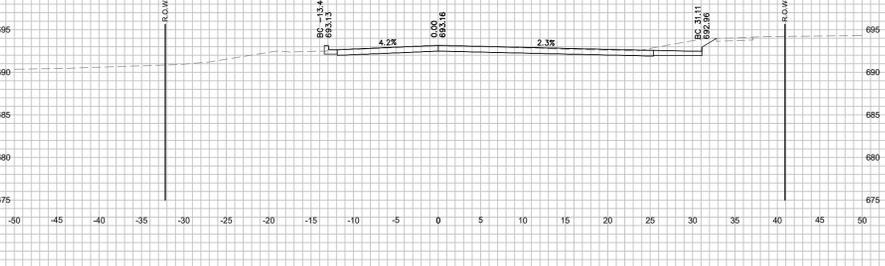
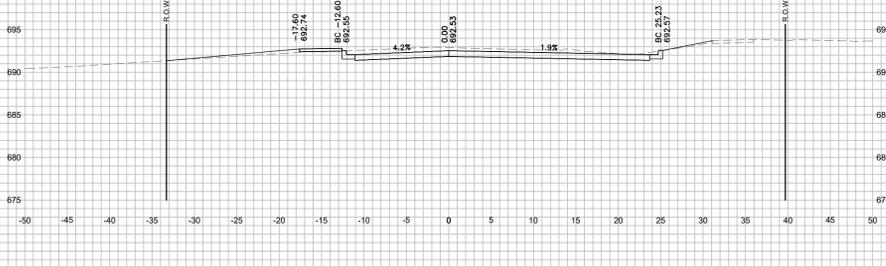
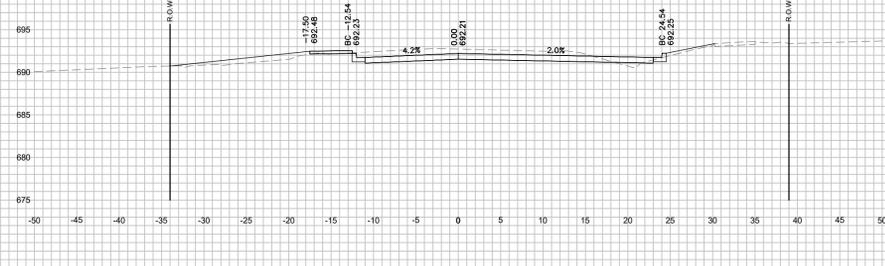
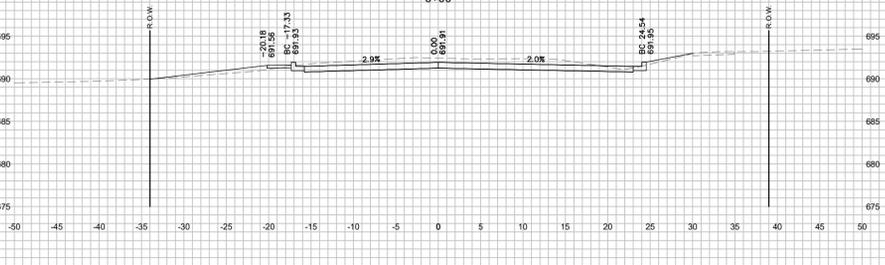
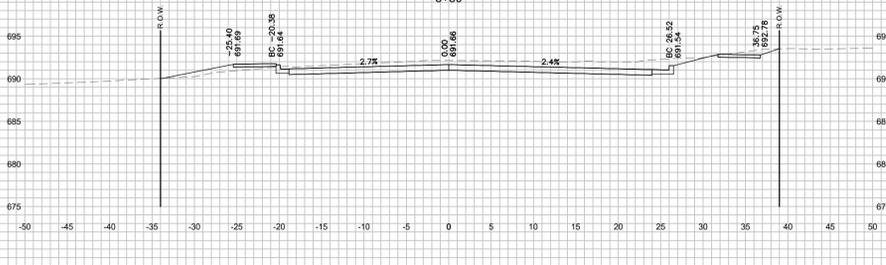
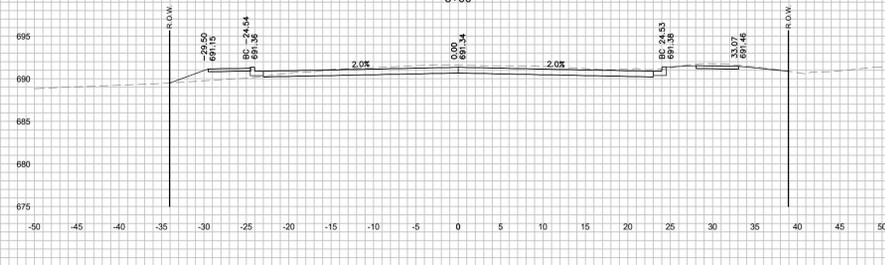
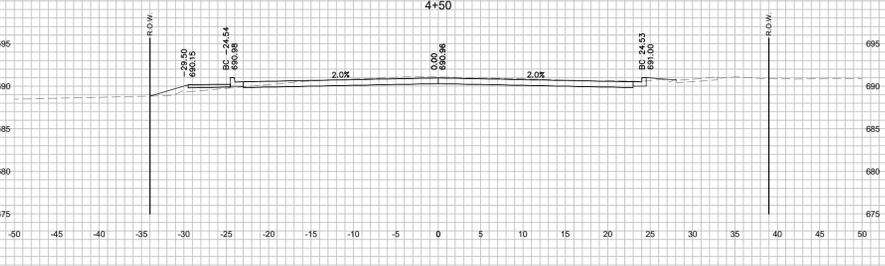
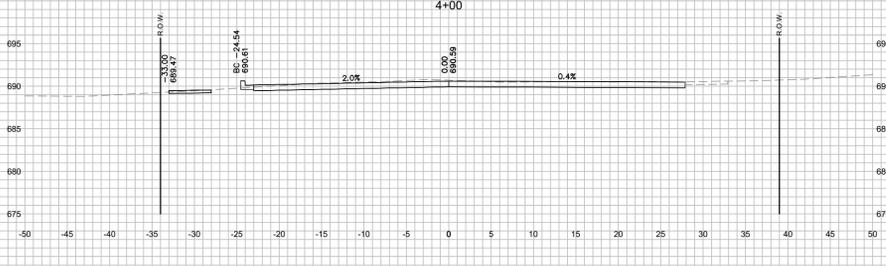
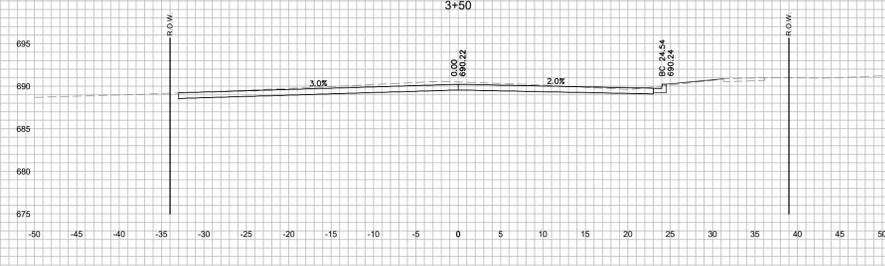
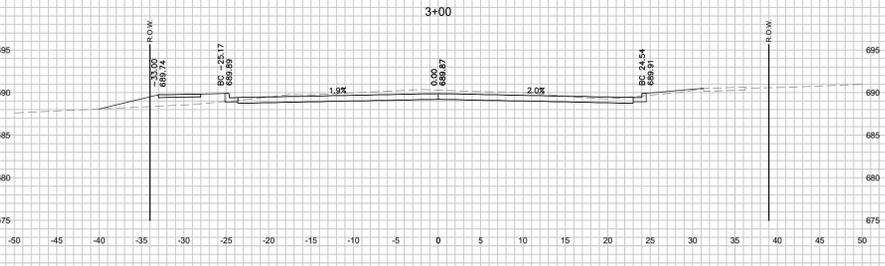
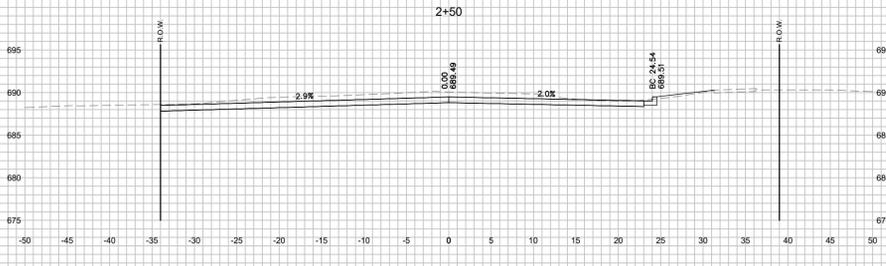
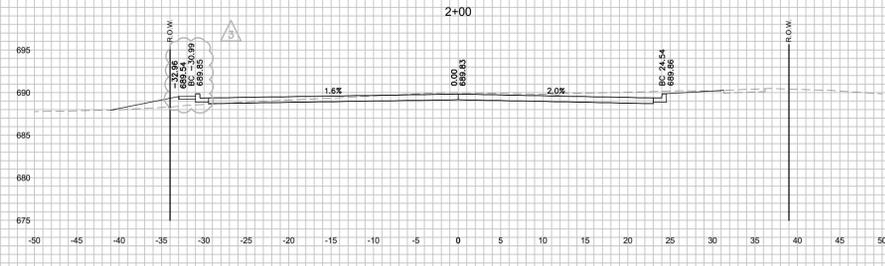
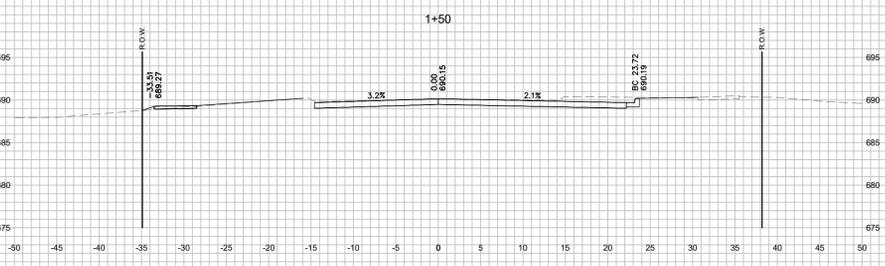
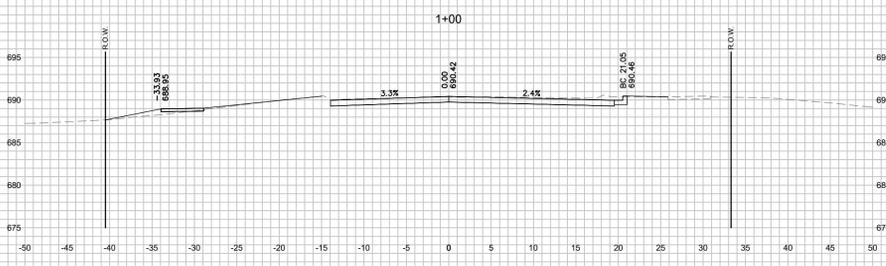
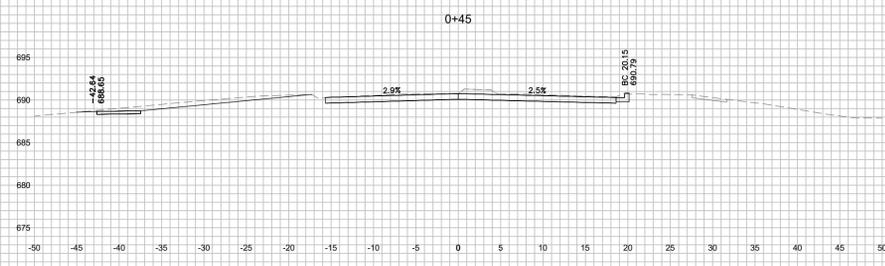
CONSTRUCTION STANDARDS

PEC JOB No. 2335-00-IL
BID #
REG. NO.
START DATE: 06/22/23
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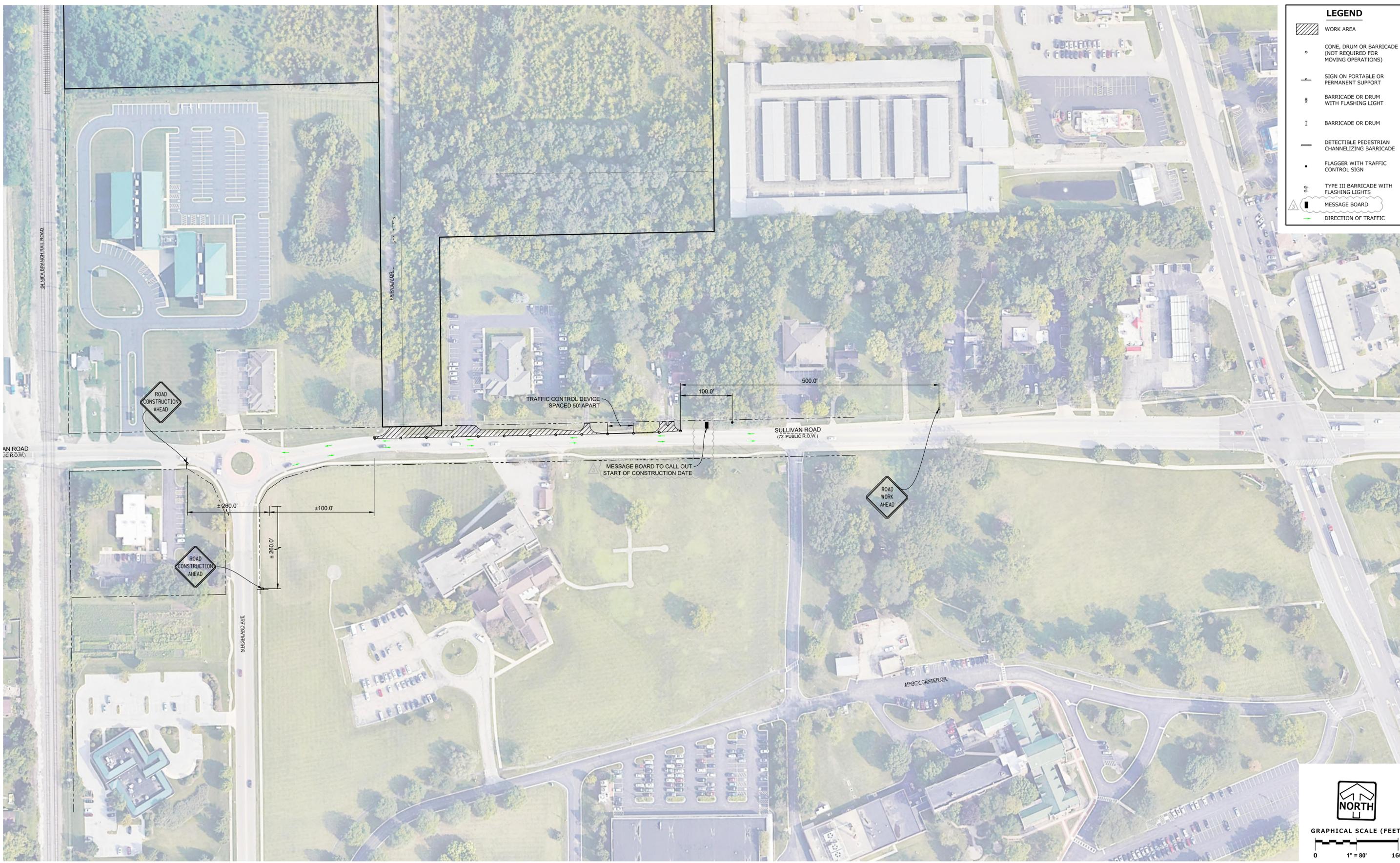
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SULLIVAN RD CROSS SECTIONS

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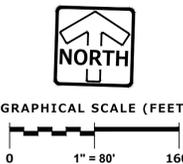
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 DRAWN: BDL
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 SCALE: 1"=80'
 SHEET: EX-1 OF EX-4
 PROJECT: SULLIVAN ROAD ROADWAY IMPROVEMENTS - MAINTENANCE OF TRAFFIC
 CLIENT: Pinnacle Engineering Group, LLC
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- BARRICADE OR DRUM
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- FLAGGER WITH TRAFFIC CONTROL SIGN
- TYPE III BARRICADE WITH FLASHING LIGHTS
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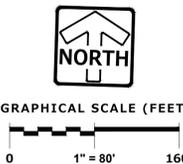
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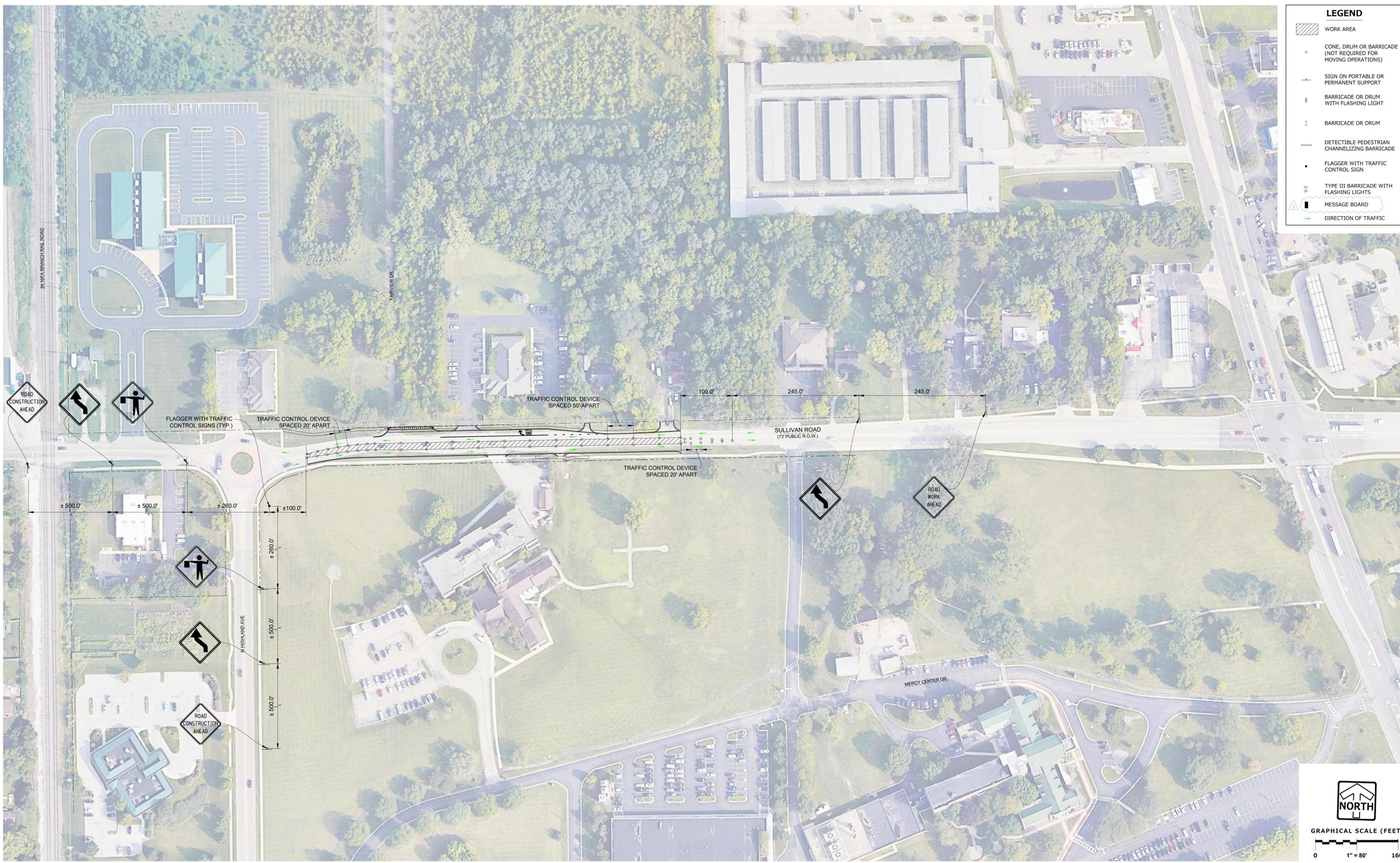
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MAINTENANCE OF TRAFFIC

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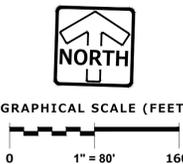
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