

Fox Valley Mall Redevelopment

- Residential Development

Planning & Zoning Commission

Aurora, IL

November 4, 2020



Introductions – Ownership Team



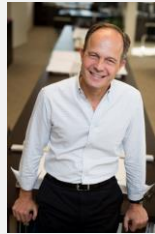
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Development



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Senior Director,
Development



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Development Manager

ATLANTIC RESIDENTIAL

Atlantic Residential is a private commercial real estate firm based in Atlanta, Georgia with regional offices in Chicago, IL and Atlanta, GA. Formed by Richard & Andrew Aaronson in 1995, the firm has been responsible for the construction of over \$1,500,000,000 of institutional quality residential and mixed-use projects containing over 7,000 residential units since its inception.



Focus/Atlantic Co-Development



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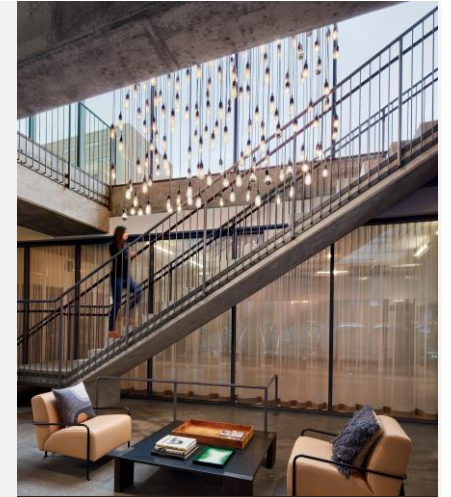


The firm pursues luxury multi-family housing development specifically aligned with the institutional investment market.

- Utilize innovation and creative cost-efficient Design to build best-in-class projects in best-in-class locations.
- Pursue opportunities in primary markets within high-quality neighborhoods that will support long-term appreciation
- Utilize co-Venture investments with compatible investment partners

FOCUS

Focus is a Chicago-based developer and general contractor, that since 1993, has utilized an integrated delivery model to produce a diverse portfolio of distinctive real estate. Our vertically integrated approach uniquely aligns development and construction to create places and spaces for people to experience a better life.



Focus/Atlantic Co-Development



Focus/Atlantic Co-Development



Guided by a passion for design and attention to detail, Focus is responsible for distinctive developments in the Chicago market that value over \$1.8 billion. These projects range from smaller, multifamily communities in historic districts to high-density, mixed-use redevelopments in thriving downtowns. With its multi-disciplinary team of professionals, the company has earned an exceptional reputation for credibility and competency.

Introductions – Consultant Team

MPSLAW
MELTZER, PURTILL & STELLE LLC



Harold Francke

Partner



Steven Bauer

Partner

Zoning Attorney

Kimley»Horn



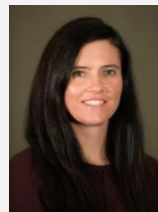
Michi Walker

Project Manager,
Civil Engineer



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Senior Project Manager,
Landscape Architect



Rory Fancler-Splitt

Planner,
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Civil Engineer / Landscape Architect

 **TORTI
GALLAS +
PARTNERS**



Mike Rollison

Principal

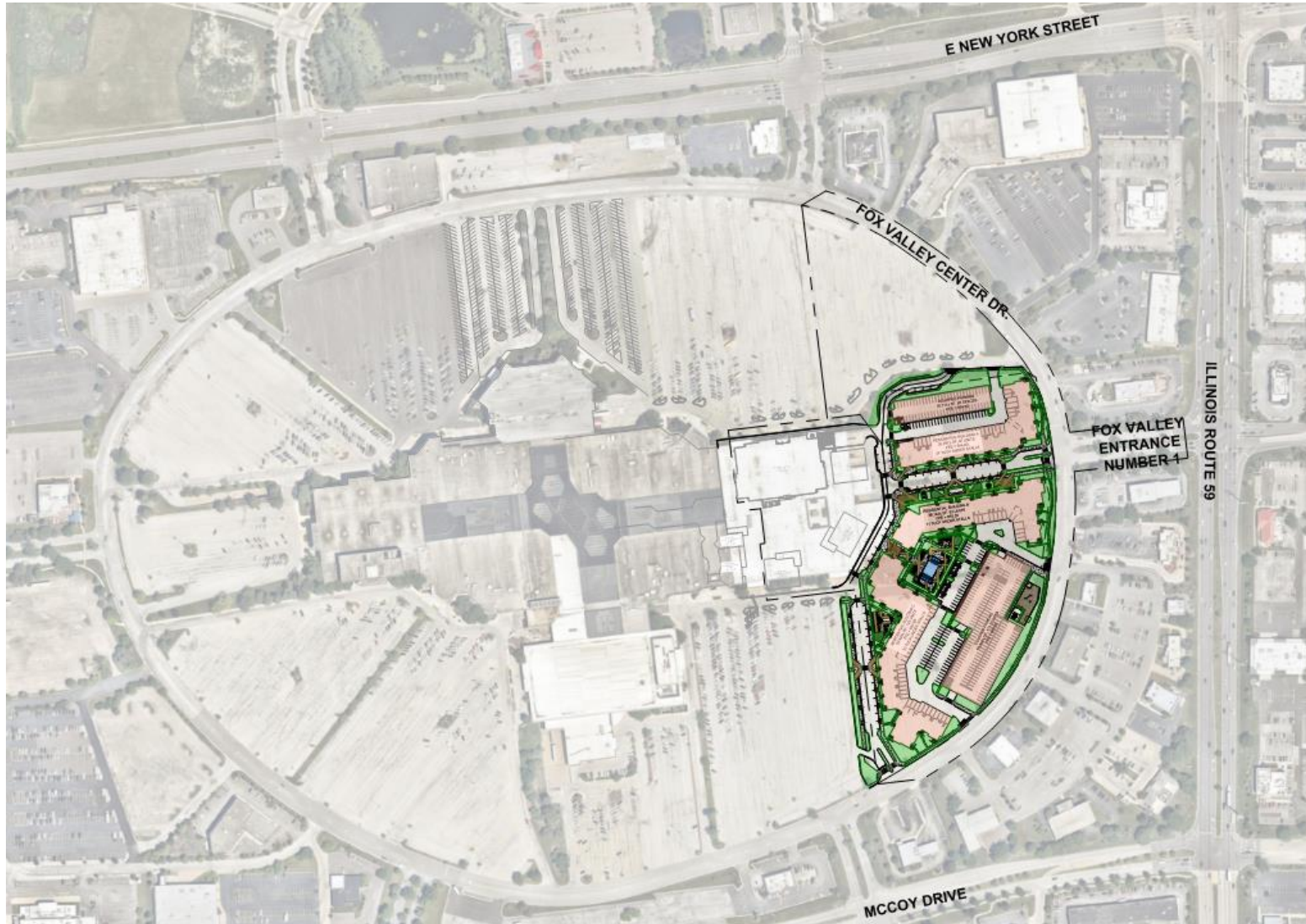


Brandon Diamond

Executive Director

Design Architect

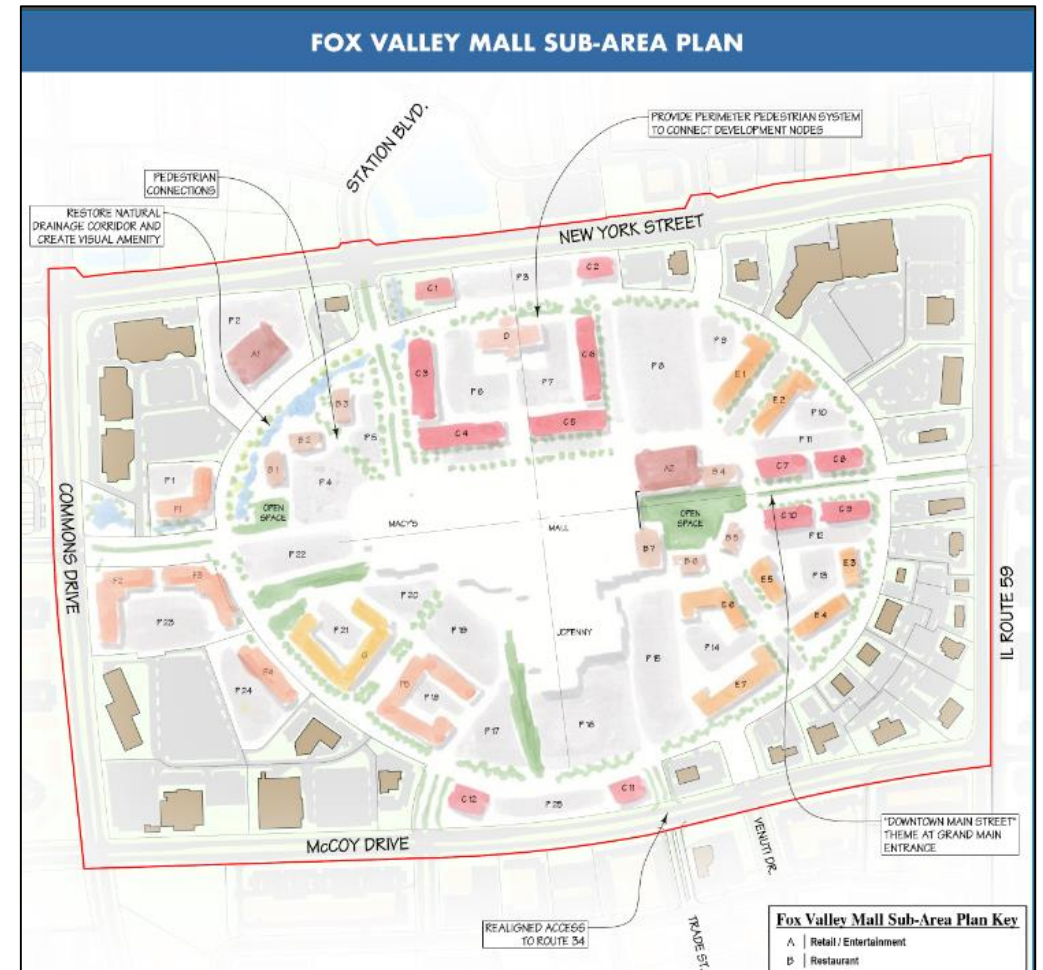
Project Overview



Route 59 Corridor Study Comprehensive Plan

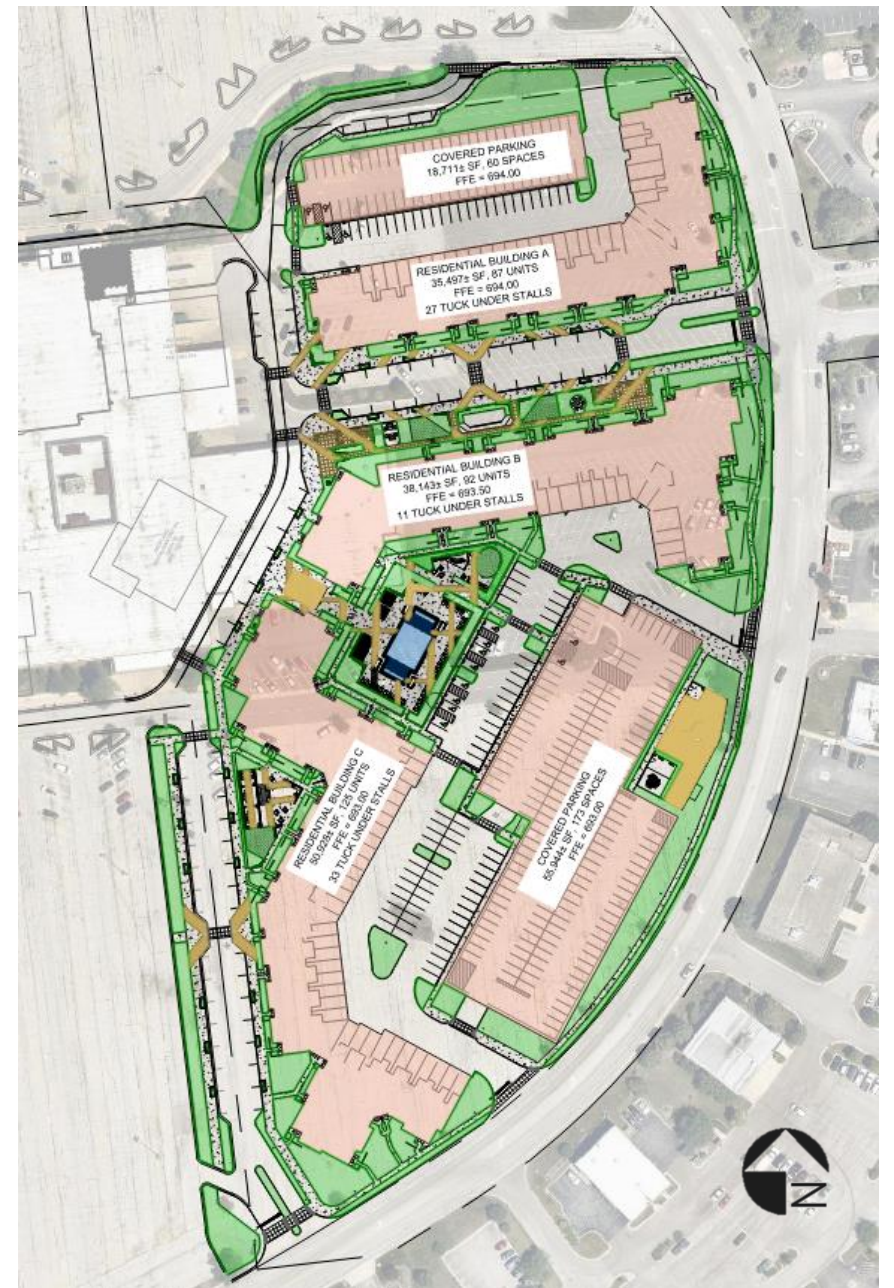
Objectives:

- Support infill development
- Promote connectivity between commercial and residential land uses
- Promote new housing with access to transit and commercial areas (3 to 8 stories)
- Promote compact walkable urban design
- Downtown main-street theme desired at Fox Valley Mall
- Outdoor gathering and experiential space - create community places
- High quality residential building construction with large % masonry.



Residential Overview

- Entrance alignment from Route 59 provides clear visibility to Fox Valley Mall new front door
- Grand street section provides visual gateway to the future retail plaza beyond, featuring a vibrant community park space
- A village of three (3) story buildings that thoughtfully activate streets and community spaces around them.
- Residential density of 305 units – featuring covered parking for all residents



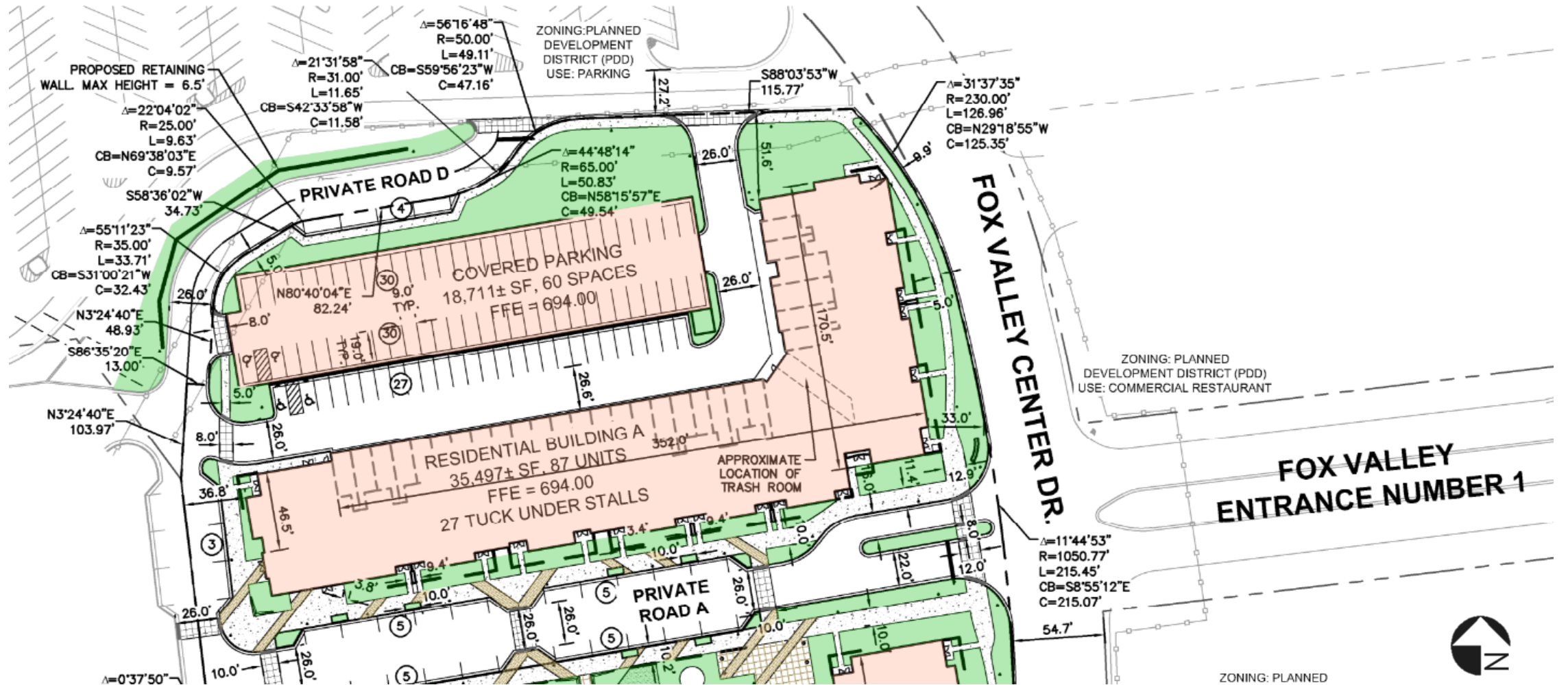
Architectural Overview



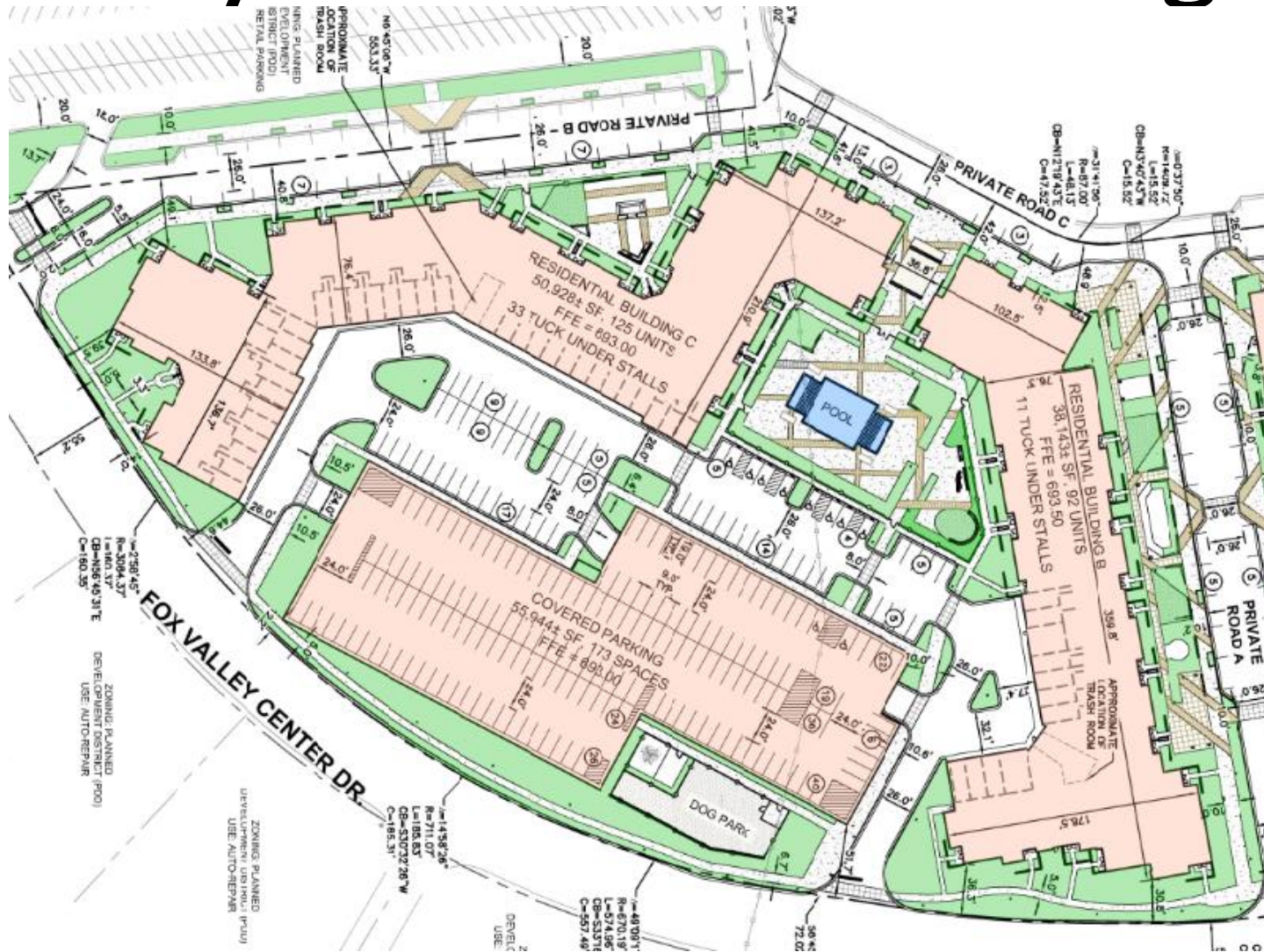
Architectural Overview



Preliminary Plan Review - Building A



Preliminary Plan Review - Buildings B & C



Main Street Character (Private Road A)



Main Street Character (Private Road A)



View from the Plaza



Amenity Spaces (Pocket Park)



Amenity Spaces (Courtyard)



Amenity Spaces (Courtyard)



Request – Overview

- Establishment of a Special Use Planned Development, and to change the underlying zoning district to R-5A Midrise Multiple Family Dwelling District
- Approval of a Preliminary Plan
- Approval of the Final Plat for the First Resubdivision of the Fox Valley East Region 1 Unit No. 1

THANK YOU

Planning & Zoning Commission

Aurora, IL

November 4, 2020



Parking Analysis and Studies

Property	Parking Supply			Utilized Parking Supply				
	Total Provided Stalls	Parking Spaces per Unit	Parking Spaces per Bed	Peak Occupancy*	Utilization %	Occupied Units	Spaces per Occupied Unit	Spaces per Occupied Bed
Elan	476	1.6	1.16	291	59%	255 (of 295)	1.14	0.82
Station Blvd	831	1.99	1.2	371	45%	407 (of 417)	0.91	0.55
Fox Valley	304	1.5	1.17	--	--	--	--	--

*Note: Total occupancy is based on peak demand

Unit Mix – Building A

Building A - Building Areas

	Building GBA	Parking Garage GBA	Amenity and Lobby SF	Rentable SF	Units DU	Studio DU	1-Bed DU	1-Bed+Den DU	2-Bed DU	2-Bed + Den DU
Level 3	35,497 sqft.			30,942 sqft.	35	3	21	2	7	2
Level 2	34,466 sqft.			30,942 sqft.	35	3	21	2	7	2
Level 1	34,466 sqft.	16,854 sqft.	1,230 sqft.	15,356 sqft.	17	1	11		3	2
Total	104,429 sqft.	16,854 sqft.	1,230 sqft.	77,240 sqft.	87	7	53	4	17	6
			100.0%	100.0%	Ratio:	8.0%	60.9%	4.6%	19.5%	6.9%

Parking Required (1.5 sp./ DU=	131	covered Deck	Tuck Under	Parking Lot	Street Spaces
Covered Parking Req.(1 sp./ DU)	87	60	27	27	17
Parking Provided for Block	131				

Unit Mix – Building B

Building B - Building Areas

	Building GBA	Parking Garage GBA	Amenity and Lobby SF	Rentable SF	Units DU	Studio DU	1-Bed DU	1-Bed+Den DU	2-Bed DU	2-Bed + Den DU
Level 3	36,084 sqft.			32,407 sqft.	36	3	20	2	9	2
Level 2	35,998 sqft.		975 sqft.	30,157 sqft.	34	3	20	2	7	2
Level 1	38,143 sqft.	26,909 sqft.	8,713 sqft.	19,981 sqft.	22	1	14		5	2
Total	110,225 sqft.	26,909 sqft.	9,688 sqft.	82,545 sqft.	92	7	54	4	21	6
			100.0%	100.0%	Ratio:	7.6%	58.7%	4.3%	22.8%	6.5%

Parking Required (1.5 sp./ DU=	138	covered Deck	Tuck Under	Parking Lot	Street Spaces
Covered Parking Req.(1 sp./ DU)	92	81	11	33	13
Parking Provided for Block	138				

Unit Mix – Building C

Building C - Building Areas

	Building GBA	Parking Garage GBA	Amenity and Lobby SF	Rentable SF	Units DU	Studio DU	1-Bed DU	1-Bed+Den DU	2-Bed DU	2-Bed + Den DU
Level 3	50,033 sqft.			42,922 sqft.	47	4	23	6	11	3
Level 2	50,033 sqft.			42,922 sqft.	47	4	23	6	11	3
Level 1	50,928 sqft.	26,909 sqft.	1,230 sqft.	28,322 sqft.	31	4	13	6	5	3
Total	150,994 sqft.	26,909 sqft.	1,230 sqft.	114,166 sqft.	125	12	59	18	27	9

100.0% 100.0% **Ratio:** 9.6% 47.2% 14.4% 21.6% 7.2%

Parking Required (1.5 sp./ DU=	188	covered Deck	Tuck Under	Parking Lot	Street Spaces
Covered Parking Req.(1 sp./ DU)	125	92	33	45	17
Parking Provided for Block	187				

Unit Mix – Overall

Overall Development - Building Areas

	Building GBA	Parking Garage GBA	Amenity and Lobby SF	Rentable SF	Units DU	Studio DU	1-Bed DU	1-Bed+Den DU	2-Bed DU	2-Bed + Den DU
Level 3	121,614 sqft.			106,271 sqft.	118	10	64	10	27	7
Level 2	120,497 sqft.		975 sqft.	104,021 sqft.	116	10	64	10	25	7
Level 1	123,537 sqft.	70,672 sqft.	11,173 sqft.	63,659 sqft.	70	6	38	6	13	7
Total	365,648 sqft.	70,672 sqft.	12,148 sqft.	273,951 sqft.	304	26	166	26	65	21
			100.0%	100.0%	Ratio:	8.6%	54.6%	8.6%	21.4%	6.9%

Parking Required (1.5 sp./ DU=	456	covered Deck	Tuck Under	Parking Lot	Street Spaces
Covered Parking Req.(1 sp./ DU)	304	233	71	105	47
Parking Provided for Block	456				

Plan Description

DRAFT

EXHIBIT "B"

A PLAN DESCRIPTION FOR THE FOX VALLEY SP, LLC DEVELOPMENT
LOCATED ON THE EAST SIDE OF THE FOX VALLEY MALL
CONSISTING OF APPROXIMATELY 11.11 ACRES

A Plan Description for the property located on the east side of the Fox Valley Mall with R-5A(S) Midrise Multiple-Family Dwelling District zoning with a Special Use for Planned Development for the Fox Valley SP, LLC Development pursuant to Section 10.6-6 of the Aurora Zoning Ordinance.

Plan Description

I. QUALIFYING STATEMENTS

A. PURPOSE

This Special Use Planned Development has evolved to assist the Aurora Planning Commission and City Council in governing their recommendations and actions on this development as it relates to the existing zoning and land uses in the area.

Developer shall mean the person(s) or entity who brings the Subject Property described herein to a more complete, complex, or desirable state.

Owner shall mean the person(s) or entity who is as the legal owner of record of the Subject Property described herein.

For the purposes of this document, Developer and Owner shall be one and the same and held equally accountable for all requirements within this Plan Description.

B. INTENT

This Plan Description has been prepared pursuant to the requirements of Section 10.6-6.2 of the Aurora Zoning Ordinance. It is the intent of this document to promote and protect the public health, safety, morals, comfort, and general welfare of the area; and to guide the development toward the realization of the appropriate Physical Development Policies of the City of Aurora Comprehensive Plan. These policies include:

- 10.0 To provide for the orderly, balanced and efficient growth and redevelopment of the City through the positive integration of land use patterns, functions, and circulation systems. To protect and enhance those assets and values that establishes the desirable quality and general livability of the City. To promote the City's position as a regional center.
- 11.1(3) To encourage new development contiguous to existing development.
- 11.1(5) To guide and promote development to areas where public utilities, public roads and municipal services are either available or planned.
- 12.1(3) To encourage residential development in close proximity to places of work, shopping and recreation.
- 13.1(4) To provide for the location of high density residential, commercial, and industrial centers close to or along transportation routes designed to accommodate the movement of people and goods to and from such centers.

Plan Description

13.1(7) To promote mass transit stations and intensive land uses, including high-density residential complexes, to locate in relative proximity to one another so as to stimulate transit use.

II. GENERAL CHARACTER

A. EXISTING CONDITIONS

1. Subject Property

The Subject Property consists of approximately 11.11 acres lying on the east side of the Fox Valley Mall. The Subject Property is currently zoned PDD Planned Development District and is improved as a surface parking lot for the now vacant Sears building. The Subject Property lies within the Indian Prairie School District #204 boundaries. The City of Aurora Comprehensive Plan designates the Subject Property as Mixed Use: Residential/Office/Commercial.

2. Surrounding Property

The surrounding properties are zoned PDD Planned Development District with retail, restaurant, and office uses. The City of Aurora Comprehensive Plan designates these properties as Mixed Use: Residential/Office/Commercial.

III. DEVELOPMENT STANDARDS FOR EACH PARCEL

A. ZONING

The Subject Property shall be one zoning parcel and is also referenced in this document as "Parcel A", as legally described herein on Attachment "A", and generally depicted herein on Attachment "B".

Development of Parcel A shall be regulated as follows:

1. Parcel A – R-5A(S) Midrise Multiple-Family Dwelling District

1.1. Parcel Size and Use Designation

Parcel A contains approximately 11.11 acres. Upon approval of this document, said property shall be designated as R-5A(S) Midrise Multiple-Family Dwelling District Zoning with a Special Use Planned Development on the City of Aurora Zoning Map, and be regulated by the Aurora Zoning Ordinance except as modified herein, including but not limited to the provisions for the underlying base zoning district being Section 7.11 titled "R-5A Midrise Multiple-Family Dwelling District".

Plan Description

1.2. Statement of Intent

The R-5A Midrise Multiple-Family Dwelling District has been chosen as the underlying base zoning for Parcel A to provide for the long-term viability of the property and to ensure consistency and compatibility with the adjacent zoning and uses. Parcel A is intended to be developed with approximately 304 market-rate, multi-story residential apartment dwelling units and associated parking. This development is envisioned to create an urban "main street" design which leads into the Fox Valley Mall and should encourage a walkable neighborhood environment. It is anticipated that this development will have regularly scheduled public transit service within close proximity to Parcel A with connections to the Route 59 Train Station. Vehicle and pedestrian access to Parcel A will be from Fox Valley Center Drive, which is a private ring road around the Fox Valley Mall, with access via State Route 59, New York Street, Commons Drive, and McCoy Drive.

1.3 Rules

1. Parcel A shall be subject to the Rules in R-5A(S) Midrise Multiple-Family Dwelling District, Section 7.11, and Section 4.4 of the Aurora Zoning Ordinance with the following modifications:
 - a. More than one principal building shall be allowed on a zoning lot.
 - b. No Property Management Agreement shall be required.

1.4 Use Regulations

1. Parcel A shall be limited to those uses permitted in the R-5A Midrise Multiple-Family Dwelling District, Section 7.11 of the Aurora Zoning Ordinance.

1.5 Accessory Uses and Structures

1. Parcel A shall be subject to the Accessory Uses and Structures in R-5A(S) Midrise Multiple-Family Dwelling District, Section 7.11, and Section 4.4 of the Aurora Zoning Ordinance with the following modifications:
 - a. More than one accessory building shall be allowed on a zoning lot.

1.6 Bulk Restrictions

1. Parcel A shall be subject to the Bulk Restrictions in the R-5A Midrise Multiple-Family Dwelling District, Section 7.11, and Section 5 of the Aurora Zoning Ordinance with the following modifications:
 - a. Building, Dwelling & Structure Standards

Plan Description

- (1) Multi-family residential structures shall be constructed with the following design elements:
 - (a) Residential dwelling units shall be permitted on all floor levels.
 - (b) Three (3) bedroom units shall not be permitted.
 - (c) Each residential dwelling unit shall have an individually accessible balcony or patio from the unit.
 - (d) Residential parking spaces shall be reserved for residents or visitors and designated as such with appropriate signage. No commercial/shopper parking shall be allowed on parking areas dedicated for the residential development.
 - (e) Parking may be provided in the following methods:
 - i. Resident parking shall be provided either or both:
 1. Within tuck-under parking. Tuck-under parking will be allowed within the first floor of the primary residential buildings, accessible from the rear of the buildings. Management shall ensure that tuck-under parking should not be used primarily for non-automobile storage.
 2. Within a standalone open-air covered parking garage. All references to "open-air covered parking garage" within this Plan Description shall be defined as a covered structure used primarily for the parking or storage of private motor vehicles and having openings in the exterior walls to the outside. A minimum of a three (3) foot high wall is required around all sides of an open-air covered parking garage with the exception of the vehicular access/egress points, which shall be limited to a maximum of four (4) points to control entry and assist in controlling circulation routes.
 - ii. Visitor parking and drop-off/pick-up/delivery parking shall be provided either or both:
 1. Open off-street surface parking
 2. On-street parking, if located within 400 feet of a residential entrance.
- (2) Minimum floor area per dwelling unit:
 - (a) Efficiency: 570 square feet
 - (b) One bedroom: 700 square feet
 - (c) Two bedroom: 1,000 square feet

Plan Description

- b. Lot Size
 - (1) No minimum lot size shall be required.
- c. Density
 - (1) The maximum density shall not exceed 28 dwelling units per acre.
- d. Lot Coverage
 - (1) There shall be no maximum lot coverage.
- e. Setbacks
 - (1) The minimum setbacks shall be as follows:
 - (a) Fox Valley Center Drive (front yard): ten feet (10')
 - (b) Interior Side and Rear Yard Setback: zero feet (0')
- f. Parking and Loading

All parking and loading shall be pursuant to Section 5.13., "Off-Street Parking and Loading" of the Aurora Zoning Ordinance except that one and one-half (1 ½) parking spaces per dwelling unit shall be provided, of which a minimum of one (1) space per dwelling unit shall be either tuck under parking or within an open-air covered parking garage and one-half (½) space per dwelling unit may be off-street surface or on-street parking.
- g. Landscaping

Landscaping should be designed in a manner to promote an "urban" feel. The landscaping theme will introduce hardscape elements, plaza areas, and a uniform landscape streetscape. The style of landscaping is difficult to quantify into the City's standard canopy tree equivalents. Therefore, City staff shall work with the Developer to facilitate the overall landscaping theme and to apply credit therefore against otherwise applicable landscape requirements pursuant to Section 5.4 "Landscaping" of the Aurora Zoning Ordinance.

B. BUILDING, STRUCTURES AND SIGNAGE

- 1. Building elevations and signage elevations shall be subject to approval with the Final Plan and will be evaluated based on the quality and variety of building materials, orientation, presentation and the use of architectural elements. The building elevations shall be high quality materials, as outlined in the applicable sections of the Design Guidelines herein attached as Attachment "C", and shall include architectural elements that are cohesive, compatible and in harmony within this development.

Plan Description

C. PRIVATE IMPROVEMENTS

1. Sidewalks are required to be installed and maintained by the Developer. The sidewalk material, size, and location shall be determined at the time of Final Plan approval, and in general accordance with the Preliminary Plan herein attached as Attachment "B".
2. The installation of street trees and landscaping shall be a condition of the issuance of a Full Certificate of Occupancy and shall not be included in the security required under the Aurora Subdivision Control Ordinance, Section 43-55(a)3.

E. SALES/LEASING, CONSTRUCTION OFFICE AND STORAGE TRAILERS

1. The Developer shall be permitted, at the Developer's sole risk, to place, maintain and occupy sales/leasing, construction office and storage trailers on the Subject Property and any property adjacent to the Subject Property that is owned or controlled by the Owner or an affiliate of the Owner, subject to the following:
 - a. Permits for a sales/leasing trailer(s) will not be issued until a Preliminary Plan is approved and a plan designating the area to be devoted to a sales/leasing trailer(s) is submitted.
 - b. Upon Preliminary Plan approval for the Subject Property and in advance of final engineering approval, final plat approval and construction of sanitary sewer, storm sewer, stormwater detention facilities, water main, streets, curbs and gutters, the Developer shall be permitted to place temporary sales/leasing, construction office and storage trailer(s) on the Subject Property. Approval for placement of such trailer(s) shall be subject only to staff review, which includes meeting the applicable requirements of the City of Aurora Stormwater Ordinance, except as indicated in this document. Neither Planning Commission nor City Council approval shall be required.
 - c. Installation of sanitary sewer and public water shall not be a condition to the issuance of permits for trailers used for sales/leasing, construction office and storage, unless required by the State of Illinois Department of Public Health Plumbing Program.
 - d. Sales/leasing trailers shall be removed at such time as the Developer receives occupancy permits for all sales/leasing model units constructed in multi-family residential structures on the Subject Property.
 - e. The Developer shall be permitted to construct and maintain other appurtenant facilities for construction, storage or sales/leasing trailers including temporary driveways.
 - f. The Developer, upon approval of the City Engineer, may construct temporary parking facilities, haul roads, and other pertinent facilities on the

Plan Description

Subject Property in advance of receipt of approved formal permits applicable to any portion of the Subject Property. The City Engineer's approval shall not be unreasonably withheld.

- g. Construction office and storage trailers shall be removed within sixty (60) days following the completion of construction activity on the affected parcel.
2. All sales/leasing, construction office and storage trailers shall be maintained in a neat and orderly manner. The Developer shall maintain and repair any and all temporary facilities.

IV. GENERAL PROVISIONS

A. PLAN DESCRIPTION DOCUMENT

1. All current codes and ordinances of the City in effect at the time of the building permit application shall govern except where expressly stated within this Plan Description document to the contrary.
2. Amendments to this Plan Description document shall be subject to Section 10 and 11 of the Aurora Zoning Ordinance. Public notice shall be provided in accordance with said sections and to all then current owners of property subject to this Plan Description.
3. This Plan Description document shall be mutually binding upon the heirs, executors, administrators, successors and assigns of present or future owners who use the Subject Property for the same permitted use.
4. If any section, subsection or paragraph of this Plan Description document shall be held invalid, the invalidity of such section, subsection or paragraph shall not affect any of the other provisions of this Plan Description document.
5. Any provisions contained within this Plan Description document that are in conflict shall be enforced in accordance with the more restrictive provision.

V. LIST OF ATTACHMENTS

ATTACHMENT "A" – LEGAL DESCRIPTION OF DEVELOPMENT PARCEL
ATTACHMENT "B" – PRELIMINARY PLAN
ATTACHMENT "C" – DESIGN GUIDELINES

Design Guidelines



FOX VALLEY MALL REDEVELOPMENT DESIGN GUIDELINES HANDBOOK

PREPARED FOR:
CENTENNIAL REAL ESTATE



OCTOBER 12, 2020

Design Guidelines

INTRODUCTION

The Fox Valley Mall in Aurora, Illinois, is a regional shopping center that is the heart of the Route 59 Corridor generally located at the southwest corner of intersection of Route 59 and New York Street. As envisioned in the City of Aurora Route 59 Corridor Study, the Mall is seeking to transform the commercial and commercial development into a more walkable, mixed-use environment.

The design guidelines established in this document relate to the proposed development in this area.

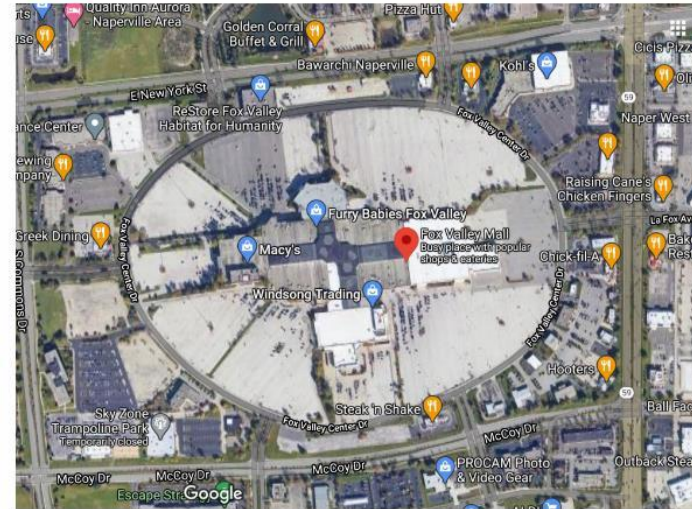
The design guidelines outline the key design elements of the development that integrate and connect the architecture and landscape within this “Main Street” redevelopment.

The proposed redevelopment is consistent with the goals of the Fox Valley Mall sub-area of the Route 59 Corridor Study. The project seeks to establish a new “city center” of the Route 59 Corridor and is based on a Main Street theme integrating both residential and commercial uses with walkable streets and public spaces that will connect to future phases and existing surrounding communities.

This handbook is designed to define guidelines and offer examples of the components for this development.

It is also the intent of these guidelines to help the developer lay the groundwork moving forward for tying future phases of the mall’s evolution and redevelopment. The guidelines should be used as each phase comes to fruition to help create one cohesive sustainable and livable environment

Phase One: Development Site



Design Guidelines

SECTION ONE: PEDESTRIAN-ORIENTED STREETScape

The streetscape design plays a major component in creating a friendly, walkable and safe environment while tying the commercial and residential areas together. As each phase of redevelopment happens at the Fox Valley Mall, it is the streetscaping that can really make a connection, therefore, whatever streetscaping design/theme that is ultimately chosen in the first phase must become the template moving forward for future developments. Elements don't have to be exactly the same in future phases, but they must follow the "table that is set". This redevelopment project should include streetscape design elements such as:

1. Wide walkways for comfortable walkable pedestrian areas
2. Well-defined zones for shared pedestrian-vehicular movement
3. Landscaping treatments that separate vehicles and pedestrian areas
4. Street furniture such as benches, trash receptacles, and pedestrian lighting
5. Storefronts and entrances that connect to pedestrian areas which add interest and attract customers
6. Distinctive signage and lighting at a personal scale
7. Convenient and visible wayfinding

Redevelopment projects should be designed with multiple modes of transportation including pedestrians, bicyclists, transit riders, and vehicles.

Parking shall become a shared resource within the development in order to increase the efficient use of existing and proposed parking within the development. Residential parking shall be provided in both enclosed parking facilities and surface parking areas. Street parking is also encouraged to further activate the streetscape.

Pedestrian crossings should be added at key points within the project. Highlight key pedestrian crossings with distinctive markings for safety and aesthetics. Crossings should be distinguished from vehicular surfaces through the use of durable, low maintenance surface materials such as pavers, bricks, or scored concrete.

Examples of Recommended Pedestrian Crossings



Design Guidelines

SECTION ONE: PEDESTRIAN-ORIENTED STREETScape

Wherever feasible, bump outs should be installed especially along any main streets in the Fox Valley Mall. For example, bump outs should be installed along the main east-west road leading into the redevelopment of Phase One. Bump outs are curb extensions that extend into the right-of-way to reduce the distances that pedestrians have to cross the street. These are also effective at slowing vehicular traffic.

Examples of Bump-Outs



Fox Valley Mall Redevelopment Design Guidelines Handbook

Developers should work with Pace to ensure that bus transit can serve the mall including the residential area section of phase one. Developers should also work with Pace to include appropriate and aesthetically pleasing bus shelters that should include real time bus tracking information

Examples of Bus Shelter



Design Guidelines

SECTION ONE: PEDESTRIAN-ORIENTED STREETSCAPE

Bike racks should be located at key locations within the public park/plaza and near the commercial areas.

Examples of Bike Racks



Fox Valley Mall Redevelopment Design Guidelines Handbook

4

Design Guidelines

SECTION ONE: PEDESTRIAN-ORIENTED STREETScape

The project will provide new landscape and hardscape areas adjacent to the Mall entrance and stand-alone commercial structures as well as the multi-family buildings.

Landscape materials shall help strengthen an urban, walkable environment, raised landscaped areas, or large flower pots should be used along the main entrance leading into the project. Landscape areas shall be irrigated as required based on the plant materials. Parking lot landscaping within the redevelopment area should include landscape islands at the City's ratio of one per 20 parking spaces. Islands should include shade trees and appropriate, low maintenance landscaping. Drought resistant plants and native materials shall also be considered outside of the active park/plaza area and in parking lot islands.

Examples of Landscaped Area



Examples of Landscaped Area



Design Guidelines

SECTION ONE: PEDESTRIAN-ORIENTED STREETScape

Lighting shall also be provided along pedestrian walkways and at building entrances for aesthetic, safety and security purposes. Decorative lighting standards of the same theme and design for street lights and pedestrian scaled lighting should be incorporated throughout the development – not only tying the commercial, park and residential areas together, but also creating a united image and identity. Decorative light poles and bollards should be the same color, ideally black.

Lighting is important for security and aesthetics. Similar to the recommendation in the separate commercial and residential sections, exterior spotlighting could be used to illuminate prominent details as part of overall streetscaping.

Examples of Decorative Lighting



Fox Valley Mall Redevelopment Design Guidelines Handbook

Examples of Decorative Lighting



Design Guidelines

SECTION ONE: PEDESTRIAN-ORIENTED STREETSCAPE

Wayfinding signage should be used within the project to help direct visitors, shoppers, and residents within the new development and the larger mall property. Wayfinding signage should be designed and used for not just vehicles, but also for pedestrians, bicyclists, and transit users.

Examples of Wayfinding Signage



Fox Valley Mall Redevelopment Design Guidelines Handbook

Design Guidelines

SECTION TWO: RESIDENTIAL BUILDINGS

As recommended in the City of Aurora's Route 59 Corridor Plan, multi-family residential uses are appropriate in the redevelopment of the Fox Valley Mall. According to similar projects throughout the country, adding residential units helps strengthen the remaining commercial portions of the mall.

Future multi-family residential should be at least 3 stories but no more than 8 stories in height to encourage a urban "downtown main street" setting and promote the feeling of a live-work-play environment.

Distinctive Architecture

Distinctive Architecture or an architecture theme is an important component to help create a unique setting and enhance the charm of the development.

Distinctive Architecture or an architecture theme is an important component to help create a unique setting and enhance the charm of the development.

The residential development shall include a range of building materials and finishes that complement the proposed commercial area and the more recent improvements within the mall courtyards. These buildings shall be consistent with the current zoning and building code and include distinctive architecture and design elements as such:

1. Modulated façades, massing, fenestration and rooflines
2. Recessed or projected entries
3. Recessed or projected balconies with dark metal or glass railings
4. Architectural details within the overall design such as arches, columns, piers, entablatures, brackets, stringcourses, multi-paned windows, backlit glass panels, ornament and ironwork
5. Textured and patterned wall facades created with natural elements such as brick, stone, stucco, wood, metal panels /siding and fiber cement siding and/ or panels
6. Light fixtures that enhance the facades at entrances, balconies and outdoor amenity areas
7. Dark steel support structure or metal, glass or fabric canopies
8. Dark metal cornices, copings, and other trim

Building facades shall provide for modulation of the exterior surfaces to create a change of plane along each façade adjacent to a street. Parapets shall be provided to provide screening of roof mounted equipment and shall vary in height. Cornices, copings or other trim shall be encouraged to provide delineation of the top of the building.

Main doors and entrances should be designed to draw your attention. There should be a clear visual cue that these are residential buildings and that the buildings are of market rate quality and create an urban living environment. Visual interest from the street, especially from the mall and the park/plaza will help integrate the residential developments and add a mixed use atmosphere to the development area. Doors should be appropriately sized and in scale with the building's façade. Placement of the residential building entrances shall relate to other site activity areas, such as exterior plazas, retail, parking and be located appropriately within the site. Use of building materials, modulation of building form/façade shall draw interest or highlight building entrances and/or corner or other site entry locations.

Examples of Proposed Development



Design Guidelines

SECTION TWO: RESIDENTIAL BUILDINGS

Examples of Residential buildings



Fox Valley Mall Redevelopment Design Guidelines Handbook

Parking for residential buildings shall be located on grade or within parking structures that may be separated from the primary residential building. Separated parking structures shall be clad with materials consistent with those used on the primary residential building. Parking shall be shared with the adjoining retail use for guest and overflow parking requirements when necessary.

Trash enclosures, if not located within the residential building should be screened from the public, and if possible located away from the outdoor gathering areas and should be architecturally integrated into the design of the building. Enclosures should be constructed with masonry walls, and metal “non see through” doors.

Examples of Trash Enclosure



Design Guidelines

SECTION TWO: RESIDENTIAL BUILDINGS

Utility boxes and panels should be screened from view where possible or where public access is not required. Electric utility transformers should be located in an area that is accessible and safe but should not be prominently positioned on primary pedestrian streets or at/near building entrances or within walkways.

To help promote the new residential development, the developer should consider the installation of a new gateway that announces to visitors that there is a new residential portion within the mall. Gateway elements could include new monument or projecting style signs, public art, landscaping and lighting. Banners could be installed on street lights within the development to also tie the area together. Overall, this will help strengthen the image and identity of the area.

Examples of Gateways



Hardscape design should provide a quality of paving materials and patterns consistent with the quality of the surrounding architecture. Hardscape should create interest and variation within paved surfaces that includes special paving. Examples of special paving include uncolored concrete, colored concrete, and brick. Special paving should be durable and be used to emphasize important building entries, provide interest, and differentiate between sidewalks, plazas, and pedestrian crossings.



Design Guidelines

SECTION TWO: RESIDENTIAL BUILDINGS

Place Making Amenities

Amenities provide that extra “something special” that can play a major role creating an inviting and fun place to visit. The residential developments may include amenities or design elements such as:

1. Plazas or courtyards for gathering, events and special occasions
2. Abundant landscaping at the base of the building and surrounding the exterior amenity areas
3. Decorative touches such as accent lighting or ornamental structures (i.e. lights on trees)
4. Benches or planting area that provide a place to sit, relax, people watch or visit with friends

Amenities for the residents may include lounges, fitness, game rooms, pet grooming area or other place-making spaces. Exterior amenities may include swimming pools, grill/ patio areas, game or activity areas and casual seating areas.



Fox Valley Mall Redevelopment Design Guidelines Handbook

11

Final Plat

FINAL PLAT OF SUBDIVISION THE FIRST RESUBDIVISION OF FOX VALLEY EAST REGION I UNIT NO. 1

BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

City Resolution: _____ Passed On: _____

GRAPHIC SCALE
1 in. = 100 ft.

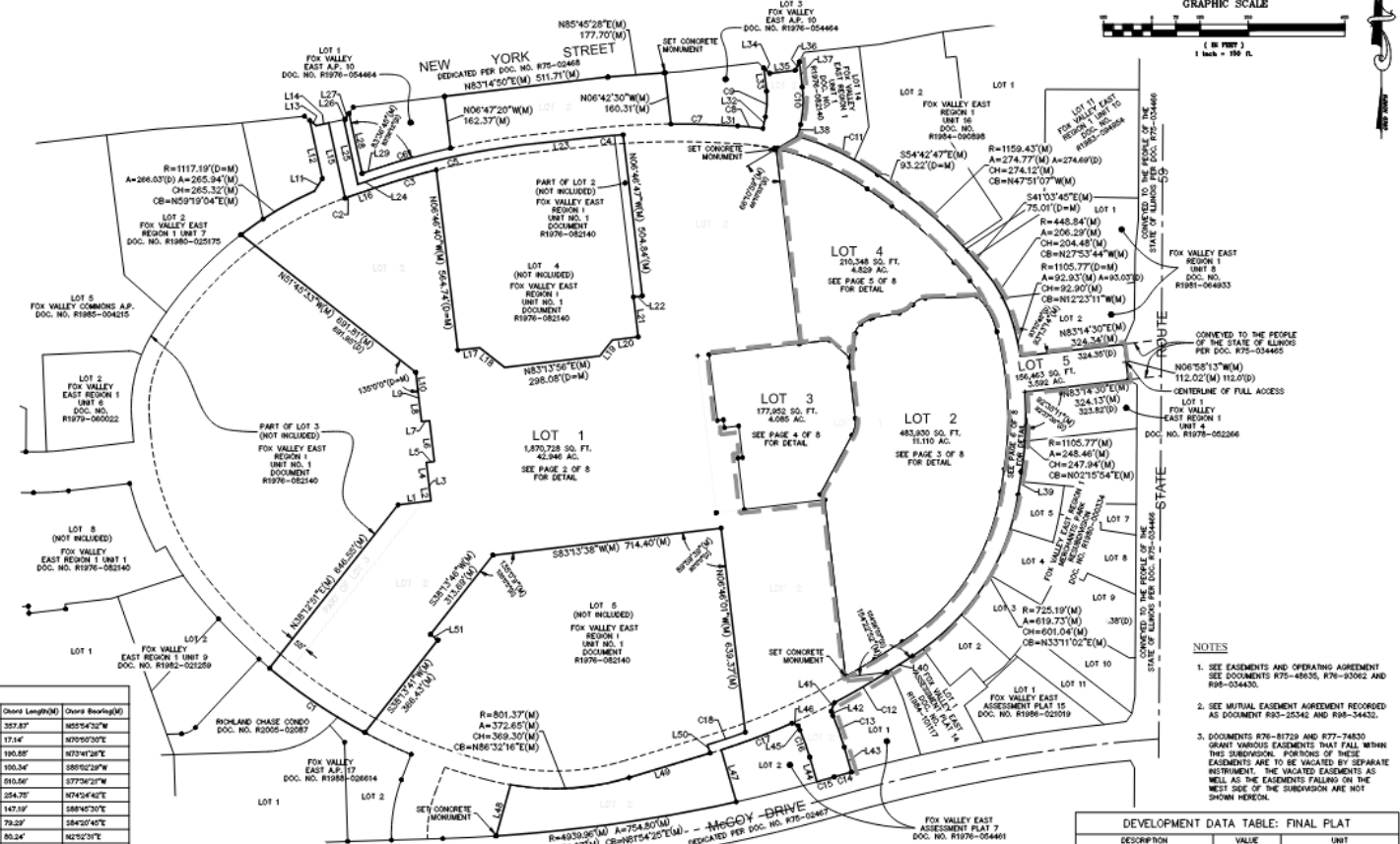
Line #	Elevation	Length
L1	883'00"00"	102.80'00"(M)
L2	882'33"78"	46.50'00"(M)
L3	883'42"27"	0.98'00"(M)
L4	884'03"57"	74.40'00"(M)
L5	883'42"27"	25.00'00"(M)
L6	884'03"57"	127.58'00"(M)
L7	883'42"27"	25.00'00"(M)
L8	884'03"57"	75.71'00"(M)
L9	883'42"27"	0.98'00"(M)
L10	882'33"78"	80.76'00"(M)
L11	882'39"02"	46.42'00"(M)
L12	882'59'06"	184.94'(M)(885.00'00")
L13	881'11'44"	25.41'00"(M)
L14	877'43'13"	30.84'(M)(840.00'00")
L15	812'10'06"	239.38'(M)(239.28'00")
L16	871'18'40"	88.22'(M)(88.08'00")
L17	885'13'56"	47.36'(M)(47.41'00")
L18	229'46'04"	28.40'00"(M)
L19	823'32'56"	64.28'00"(M)
L20	883'13'56"	80.55'(M)(80.69'00")
L21	884'01'47"	125.07'00"
L22	883'25'41"	27.47'00"
L23	883'54'48"	176.01'(M)(879.00'00")
L24	271'18'45"	54.86'(M)(54.77'00")
L25	882'19'58"	206.17'00"
L26	877'07'37"	4.07'(M)(4.00'00")
L27	824'52'42"	22.52'00"
L28	823'23'02"	180.80'00"
L29	871'18'40"	21.64'00"
L30	887'05'58"	65.00'00"(M)
L31	883'07'28"	26.48'00"
L32	883'48'78"	73.72'00"
L33	847'00'27"	24.88'00"
L34	883'10'27"	80.27'(M)(80.01'00")
L35	824'52'42"	22.52'(M)(22.51'00")
L36	823'23'02"	180.80'(M)(80.80'00")
L37	847'01'47"	78.52'(M)(78.69'00")
L38	823'23'02"	26.88'(M)(26.89'00")
L39	884'03'57"	72.02'(M)(72.00'00")
L40	887'43'13"	103.87'(M)(103.88'00")
L41	821'41'23"	29.81'(M)(29.28'00")
L42	823'23'02"	14.89'(M)(15.00'00")
L43	886'10'11"	80.33'(M)(80.49'00")
L44	886'14'25"	79.87'(M)(79.89'00")
L45	823'23'02"	14.89'(M)(15.00'00")
L46	886'11'58"	20.59'(M)(20.46'00")
L47	816'09'11"	68.30'00"
L48	881'39'23"	65.37'00"
L49	879'10'48"	263.49'(M)(263.03'00")
L50	867'27'46"	27.87'00"(M)
L51	851'34'43"	28.87'(M)(28.90'00")

Curve #	Length	Radius	Chord Length(M)	Chord Bearing(M)
C1	358.64'(M)	1686.23'(D=M)	357.67'	N05°54'32"W
C2	17.44'(M)	1561.69'(D=M)	17.44'	N70°50'30"E
C3	164.21'(M)(164.12'00")	2521.40'(D=M)	160.88'	N73°47'28"E
C4	102.34'(M)	2912.24'(D=M)	100.34'	S85°02'29"W
C5	261.40'(M)(261.34'00")	3329.47'(D=M)	260.56'	S77°56'23"W
C6	254.87'(M)	3357.47'(D=M)	254.73'	N74°54'42"E
C7	147.21'(M)	2541.24'(D=M)	147.13'	S88°40'30"E
C8	79.30'(M)	825.42'(D=M)	79.28'	S24°20'40"E
C9	80.41'(M)	241.80'(M)	80.24'	N23°52'37"E
C10	117.82'(M)(117.70'00")	353.80'(D=M)	117.27'	S24°22'27"W
C11	295.79'(M)(295.75'00")	525.40'(D=M)	274.48'	S84°17'50"E
C12	173.87'(M)(173.85'00")	2162.34'(D=M)	173.87'	S40°25'24"W
C13	194.82'(M)(194.87'00")	523.24'(D=M)	193.86'	S19°45'42"E
C14	163.79'(M)(163.81'00")	3060.00'(D=M)	163.79'	S74°27'36"W
C15	165.79'(M)(165.81'00")	4439.96'(D=M)	165.79'	S74°27'36"W
C16	86.89'(M)(86.89'00")	7115.44'(D=M)	86.87'	S19°51'39"E
C17	235.04'(M)	2195.24'(D=M)	234.87'	S81°47'19"W
C18	123.86'(D=M)	2147.24'(D=M)	123.84'	N71°38'50"E

ABBREVIATIONS
 O.D.P. = OUTSIDE DIAMETER IRON PIPE
 (B) = RECORD BEARING OR DISTANCE
 (M) = MEASURED BEARING OR DISTANCE
 (C) = CALCULATED BEARING OR DISTANCE
 (E) = DEED BEARING OR DISTANCE
 B.L. = BUILDING SETBACK LINE
 D.E. = DRAINAGE EASEMENT
 P.U.E. = PUBLIC UTILITY EASEMENT
 P.O.C. = POINT OF COMMENCEMENT
 P.O.B. = POINT OF BEGINNING
 P.U. & D.U. = PUBLIC UTILITY AND DRAINAGE EASEMENT

- SET 7/8" O.D.I.P.
- UNLESS OTHERWISE NOTED
- SET CONCRETE MONUMENT UNLESS OTHERWISE NOTED
- SET CROSS IN CONCRETE UNLESS OTHERWISE NOTED

LINE LEGEND
 --- SUBDIVISION BOUNDARY LINE
 --- ADJACENT LAND PARCEL LINE
 --- LOT LINE
 --- EASEMENT LINE
 --- CENTERLINE
 --- BUILDING SETBACK LINE
 --- SECTION LINE



- NOTES**
1. SEE EASEMENTS AND OPERATING AGREEMENT SEE DOCUMENTS R75-48635, R76-33062 AND R76-03442.
 2. SEE MUTUAL EASEMENT AGREEMENT RECORDED AS DOCUMENT 883-25342 AND R88-34423.
 3. DOCUMENTS R76-81729 AND 877-74653 GRANT VARIOUS EASEMENTS THAT FALL WITHIN THE SUBDIVISION. PORTIONS OF THESE EASEMENTS ARE TO BE VACATED BY SEPARATE INSTRUMENT. THE VACATED EASEMENTS AS WELL AS THE EASEMENTS FALLING ON THE WEST SIDE OF THE SUBDIVISION ARE NOT SHOWN HEREON.

DEVELOPMENT DATA TABLE: FINAL PLAT		
DESCRIPTION	VALUE	UNIT
A) TAX PARCEL IDENTIFICATION NUMBERS(S) (P.N.)	07-21-401-004, 07-21-401-005, 07-21-401-001, 07-21-401-002, 07-21-401-003, 07-21-401-004, 07-21-401-005, PART OF 07-21-302-505	
B) SUBJECT PROPERTY AREA	68,562	ACRES
C) PROPOSED NEW RIGHT-OF-WAY	2,899,427	SQUARE FEET
D) PROPOSED NEW EASEMENTS	3,682	ACRES
	105,392	SQUARE FEET

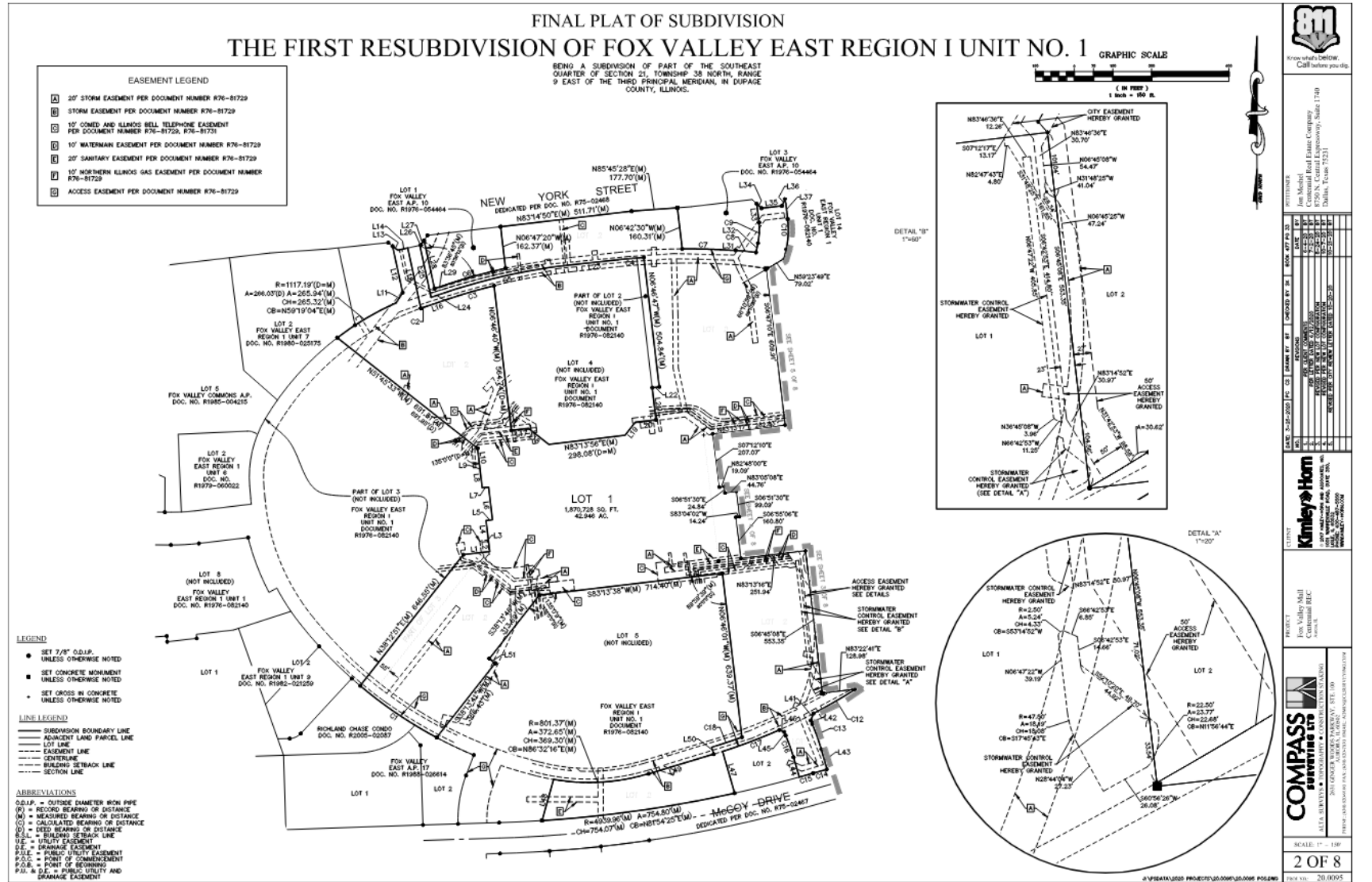
COMPASS SURVEYING, INC.
 1130 S. GARDEN PARK AVENUE, SUITE 200, DEERFIELD, ILLINOIS 60015
 PHONE: (630) 420-1100 FAX: (630) 420-1101
 WWW.COMPASSSURVEYING.COM

PLAT INFORMATION

DATE	BY	CHECKED BY	BOOK	PAGE
12/27/2019	AM	AM		
12/27/2019	AM	AM		
12/27/2019	AM	AM		
12/27/2019	AM	AM		

PROJECT: Fox Valley Mall
CLIENT: Kinley Horn
SCALE: 1" = 100'
DATE: 12/27/2019

Final Plat



Final Plat

FINAL PLAT OF SUBDIVISION THE FIRST RESUBDIVISION OF FOX VALLEY EAST REGION I UNIT NO. 1

BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 23, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN IN SARASOTA COUNTY, FLORIDA.

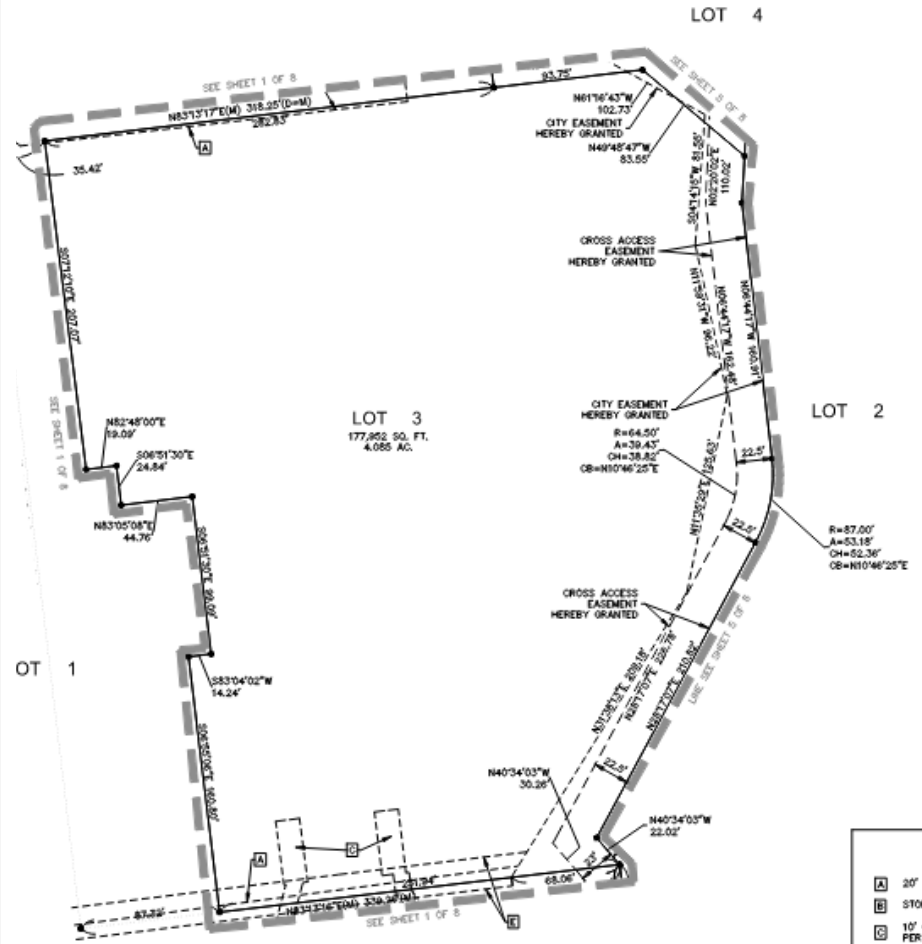


- LEGEND:**
- BY TYP. BOUND.
 - UNLESS OTHERWISE NOTED
 - BY TYP. CONCRETE MONUMENT
 - UNLESS OTHERWISE NOTED
 - BY TYP. CONCRETE MONUMENT
 - UNLESS OTHERWISE NOTED
- ABBREVIATIONS:**
- CLAMP - CONCRETE BARRIER SIGN (SEE CITY OF SARASOTA ORDINANCE NO. 1539)
 - CONC. - CONCRETE
 - CONC. W/ REINFORCING - CONCRETE WITH REINFORCING
 - CONC. W/ REINFORCING AND POLYESTER FIBER - CONCRETE WITH REINFORCING AND POLYESTER FIBER
 - CONC. W/ REINFORCING AND POLYESTER FIBER AND STAINLESS STEEL - CONCRETE WITH REINFORCING AND POLYESTER FIBER AND STAINLESS STEEL
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- LINE STYLES:**
- SUBDIVISION BOUNDARY LINE
 - ADJACENT LINE PARCEL LINE
 - LOT LINE
 - CONCRETE MONUMENT
 - CONCRETE MONUMENT WITH REINFORCING
 - CONCRETE MONUMENT WITH REINFORCING AND POLYESTER FIBER
 - CONCRETE MONUMENT WITH REINFORCING AND POLYESTER FIBER AND STAINLESS STEEL
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EASEMENT LEGEND

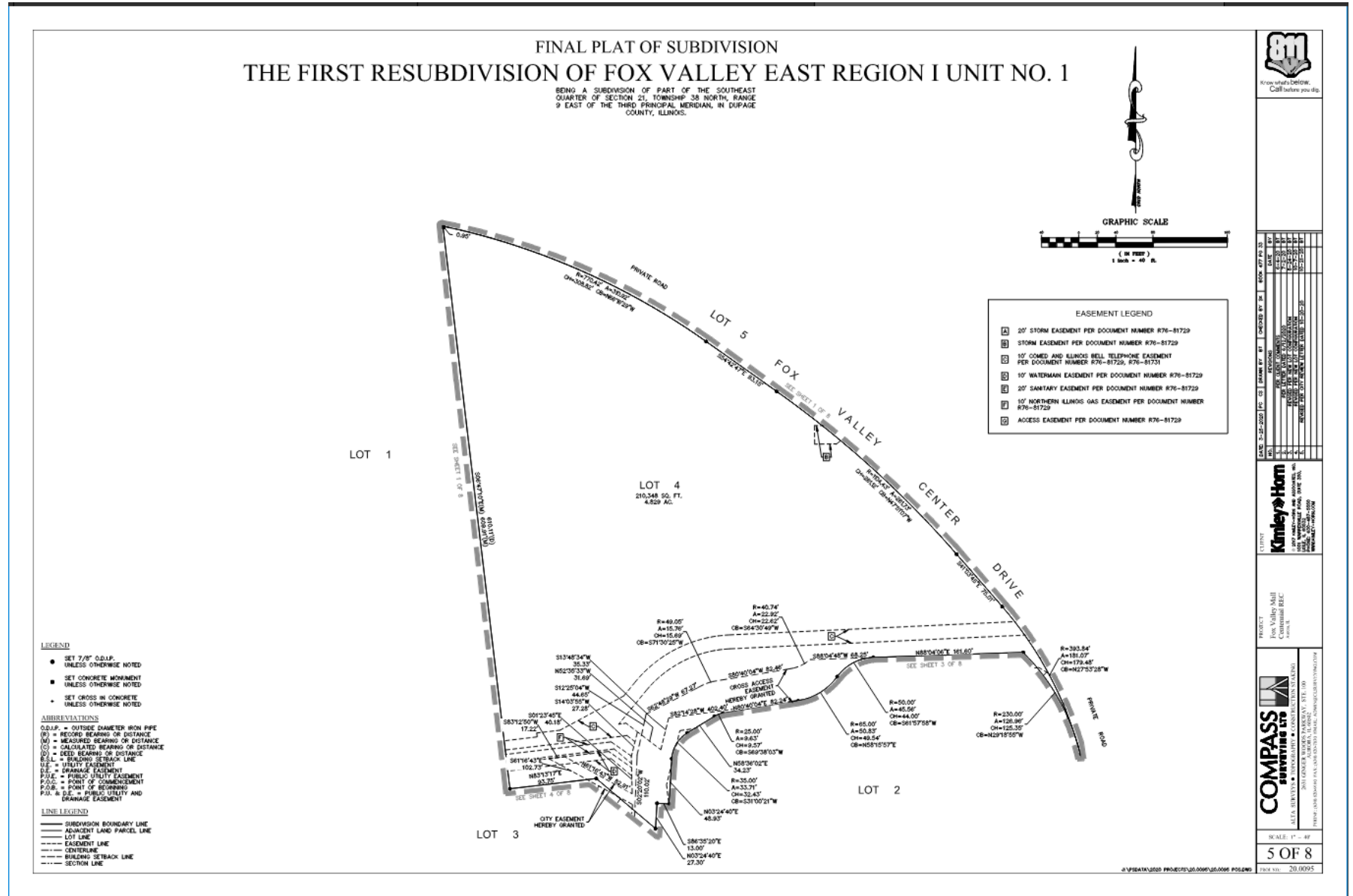
- 20' CITY EASEMENT PER DOCUMENT NUMBER 879-8770
- 10' CITY EASEMENT PER DOCUMENT NUMBER 879-8770
- 10' CITY AND QUADRI LANE TELEPHONE EASEMENT PER DOCUMENT NUMBER 879-8770, 879-8771
- 10' SIDEWALK EASEMENT PER DOCUMENT NUMBER 879-8770
- 20' SIDEWALK EASEMENT PER DOCUMENT NUMBER 879-8770
- 10' SIDEWALK EASEMENT PER DOCUMENT NUMBER 879-8770
- 10' SIDEWALK EASEMENT PER DOCUMENT NUMBER 879-8770
- ACCESS EASEMENT PER DOCUMENT NUMBER 879-8770

 3075 S 11th Ave Sarasota, FL 34231 941-554-2322 www.compass-surveying.com	 1000 1st St Sarasota, FL 34231 941-554-2322 www.kimbleandhorn.com	DATE: 10/20/2020 BY: [Signature] CHECKED BY: [Signature]	SCALE: AS SHOWN PROJECT: THE FIRST RESUBDIVISION OF FOX VALLEY EAST REGION I UNIT NO. 1	REVISIONS: 1. [Description] 2. [Description]
		APPROVED FOR THE CITY OF SARASOTA: [Signature] CITY ENGINEER: [Signature]		



- A 20' STORM E
- B 10' CORNER PER DOC
- C 10' WASTE
- D 20' SANITARY
- E 10' NORTH R76-817

Final Plat



Linear Park



Site Plan

