ARCHITECTURAL SITE NOTES

PHASE 2 CONSTRUCTION PHASE
BLDG #4 BUILDING CONSTRUCTION SEQUENCE NUMBER
TYPE 2B BUILDING TYPE
NOTE a ELEVATION NOTE (SEE BELOW)

PHASE 2 CONSTRUCTION PHASE
BLDG #5 BUILDING CONSTRUCTION SEQUENCE NUMBER
TYPE 5B-L BUILDING TYPE
NOTE b ELEVATION NOTE (SEE BELOW)

a. ADDITIONAL STONE OCCURS AT MAJOR STREET ON MAIN FACADE b. ADDITIONAL STONE OCCURS AT MAJOR STREET ON SIDE FACADE

SITE DRAWING FOR REFERENCE ONLY.
 REFER TO CIVIL DRAWINGS FOR UTILITY INFORMATION.
 REFER TO CIVIL DRAWINGS FOR BUILDING ELEVATIONS AND GRADING.

 TYPE
 # BUILDINGS
 # UNITS

 6C (3BR)
 6
 36

 6B (2BR)
 6
 36

5C (3BR) 1

2C (3BR) 1

5B (2BR) 4 20 5B-L (2BR) 1 5 (ATTACHED LEASING OFFICE)

2B (2BR) 2 4 21 BUILDINGS 108 UNITS VOCON cleveland.
3142 Prospect Avenue

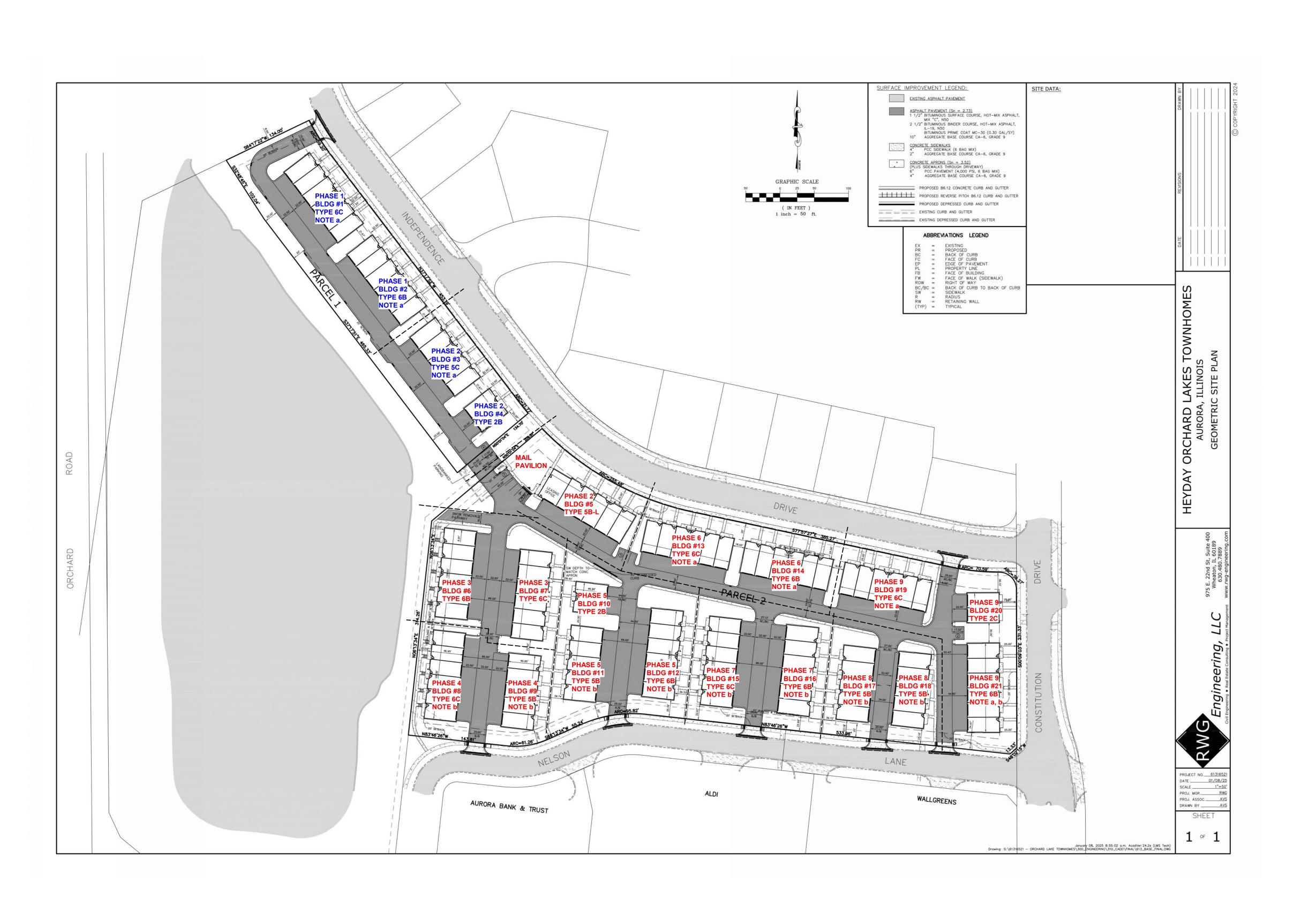
Cleveland, OH 44115

new york.
530 5th Avenue, 16th Floor

vocon.partners ய

New York City, NY 10036







PROPOSED NEW CONSTRUCTION FOR:

Heyday Aurora

Independence Drive and Constitution Drive Aurora IL 60506

JOB NUMBER: 240209-00

DRAWING RELEASE:No.DateDescription06/03/2025CIVIL SUBMISSION

SHEET TITLE:

ARCHITECTURAL SITE PLAN

SHEET NUMBER:

AS100

- 1. ALL EXTERIOR WALL DIMENSIONS TAKEN FROM CENTER OF DEMISING WALL AND EXTERIOR FACE OF STUD AT EXTERIOR WALL
- 2. NOT ALL DOORS OR WINDOWS IN SCHEDULE WILL BE USED IN EACH BUILDING. 3. (M) = MIRRORED UNIT FLOOR PLAN
- 4. ALT = ENTRY SIDE WINDOW LOCATION SHIFTED, REFER TO UNIT PLANS
- 5. REFER TO A010 FOR DOOR AND WINDOW SCHEDULES. 6. REFER TO UNIT PLANS FOR INTERIOR DIMENSIONS.
- 7. REFER TO UNIT PLANS FOR WINDOW LOCATION DIMENSIONS. 8. REFER TO UNIT PLANS FOR WINDOW TYPES.
- 9. REFER TO SHEET A000 FOR TYPICAL PARTITIONS AND UL ASSEMBLIES.
- 10. BLACK GARAGE DOORS TYPICAL. 11. 3 1/2" TRIM ALL SIDES WINDOWS AND DOORS

- 12. 3 1/2" SIDES OF GARAGE DOORS, 8" HEADER AT GARAGE DOORS. 13. 6" FASCIA AT GUTTERS.
- 14. 8" TRIM BOARD AT FRIEZE, GABLES, & UNDER ROOF LINE. 15. 8" VERTICAL TRIM BOARD SEPARATING SIDING COLORS AND TYPE.
- 16. STANDARD VINYL INSIDE AND OUTSIDE CORNER TRIM, TYPICAL, COLOR TO MATCH SIDING.
- 17. PVC TRIM BOARD PILASTERS AND COLUMNS, WHITE TYPICAL.
- 18. ROOF SOFFITS TO MATCH FASCIA TRIM.
- 19. TOP OF STONE BASE TO BE 42" ABOVE LEVEL 1, TYPICAL. 20. PROVIDE ICE GUARD RUBBERIZED ASPHALT UNDERLAYMENT AT ALL VALLEY, ROOF
- OVERHANGS, AND OPENINGS IN ROOF. MEMBRANE TO CONTINUE A MINIMUM OF 24" PAST THE INTERIOR FACE OF EXTERIOR WALLS.
- 21. PROVIDE BALANCED ROOF VENTILATION AT ALL PITCHED ROOF LOCATIONS. TRI-BUILT ALUMINUM SLANT BACK ROOF LOUVER WITH SCREEN.
- 22. NO ROOF PENETRATIONS OR OPENINGS WITHIN 4'-0" EITHER SIDE OF 2HR DEMISING
- PARTITIONS. REFER TO HATCHED AREA ON ROOF PLANS AND A000. 23. FRT ROOF SHEATHING 4'-0" EITHER SIDE OF 2HR DEMISING PARTITIONS.
- 24. GUTTER CALCULATIONS PER SMACNA 25. DS = 3" X 4" DOWNSPOUT, COORDINATE WITH CIVIL STORM DRAWINGS AND PROVIDE DIRECT CONNECTIONS. COLOR VARIES, REFER TO ELEVATIONS. WHEN OCCURS BETWEEN
- GARAGES PROVIDE CONCRETE PAD. 26. PROVIDE GUTTER SPLASH GUARDS, TYP. ALL INSIDE CORNERS 27. EM = ELECTRIC METER. SINGLE AT SIDES OF BUILDING, TYP. MAY BE DOUBLE WHEN ON
- GARAGE SIDE OF BUILDING. AT GARAGE SIDE PROVIDE CONCRETE PAD. 28. WINDOWS TO BE WHITE FINISH TYPICAL & BLACK FINISH AS NOTED AT SPECIFIC LOCATIONS ONLY. REFER TO ELEVATIONS AND BUILDING RENDERINGS.
- 29. REFER TO A901 FOR WINDOW DETAILS. 30. EGRESS WINDOWS TO BE PROVIDED IN LEVEL 2 BEDROOMS WITH 5.7 SF CLEAR OPENING. 31. PROVIDE STONE BORDER AT PERIMETER OF BUILDING. REFER TO LANDSCAPE DRAWINGS.



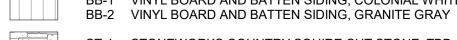
HATCH DENOTES AREA OF FRT ROOF SHEATHING 4'-0" EITHER SIDE OF 2HR DEMISING WALL. NO PENETRATIONS THIS AREA.

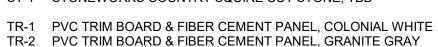
- OCCUPIED AREA / 300 USING UPPER ROOF VENTS = REQUIRED VENTING AREA
- RIDGE OR BOX VENTS TO BE 50% MINIMUM OF VENTING (60% PREFERRED) • SOFFIT VENTING 5.9 SQ IN VENTING PER SF
- RIDGE VENT 13.5 SQ IN VENTING PER LINEAR FOOT
- BOX VENT 50 SQ IN VENTING PER VENT

| Model 1: | | 2B |
|-----------------------------------------------------------|----------------------|----------------------------------|
| <u>Description</u> | <u>Value</u> | <u>Unit</u> |
| a) Number of building stories (typical) | 2.00 | |
| b) Total Building Square Footage (typical) | 3,857.00 | Square Feet |
| c) Number of bedrooms (typical) | 4.00 | |
| d) Number of enclosed parking spaces (typical) | 4.00 | |
| e) Exterior Material List (including colors) for all buil | ldings and accesso | ory strutures: |
| Asphalt roof shingles: Pewter. Vinyl lap siding: Cold | onial White. Vinyl b | oard and batten siding: Colonial |
| White, Granite Gray. Stoneworks country squire cu | | |
| Colonial White, Granite Gray. | | |

BUILDING ELEVATION LEGEND

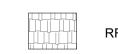
- SD-1 VINYL LAP SIDING, COLONIAL WHITE
- SD-2 VINYL LAP SIDING, GRANITE GRAY SD-2 VINYL LAP SIDING, SLATE
- BB-1 VINYL BOARD AND BATTEN SIDING, COLONIAL WHITE



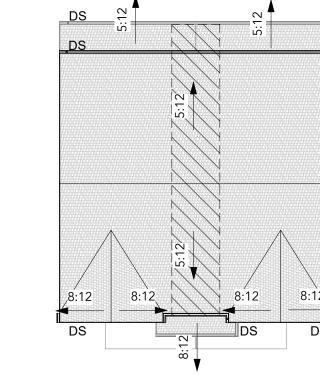


TR-3 PVC TRIM BOARD & FIBER CEMENT PANEL, SLATE

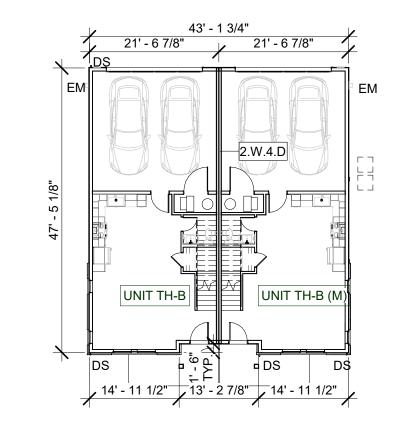
ST-1 STONEWORKS COUNTRY SQUIRE CUT STONE, TBD



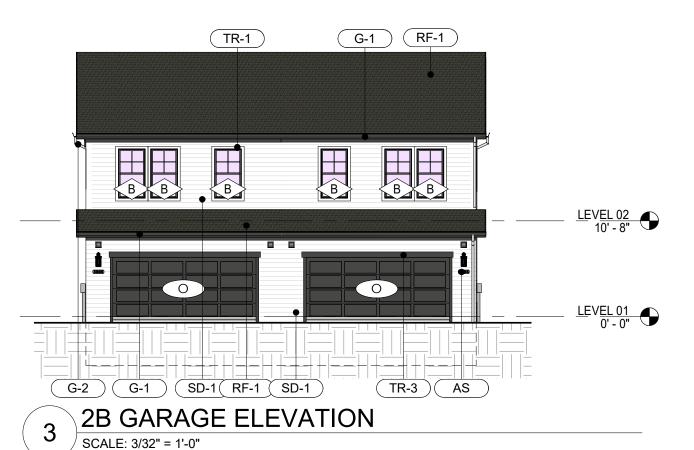
- RF-1 ASPHALT ROOF SHINGLES, PEWTER
- G-1 GUTTERS & DOWNSPOUTS, BLACK G-2 GUTTERS & DOWNSPOUTS, WHITE
- AS ADDRESS SIGN
- EM ELECTRICAL METER WITH FIBER CEMENT PANEL FOR MOUNTING.



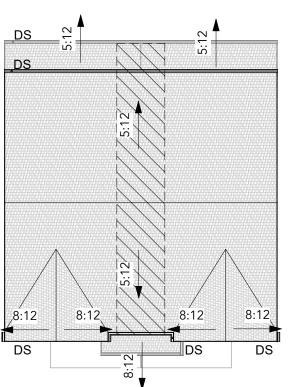


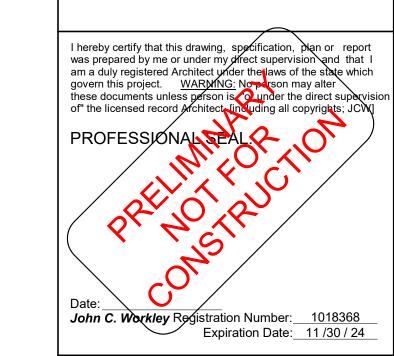


2B LEVEL 1 PLAN









3142 Prospect Avenue

Cleveland, OH 44115

530 5th Avenue, 16th Floor

New York City, NY 10036

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Engineering, LLC

new york.

PROPOSED NEW CONSTRUCTION FOR:

Heyday Aurora

Independence Drive and **Constitution Drive** Aurora IL 60506

JOB NUMBER: 240209-00

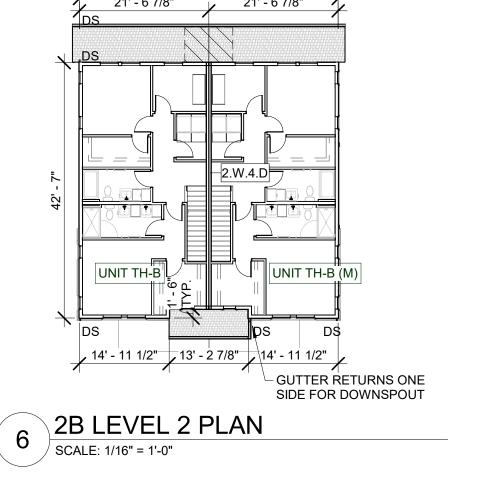
DRAWING RELEASE: No. Date Description 06/03/2025 CIVIL SUBMISSION

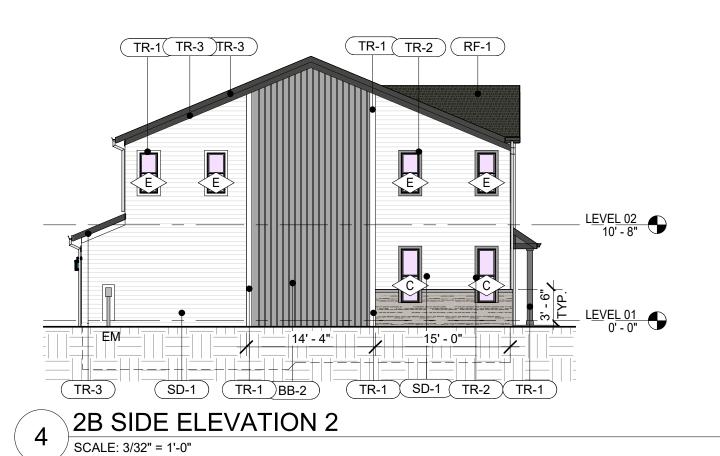
SHEET TITLE:

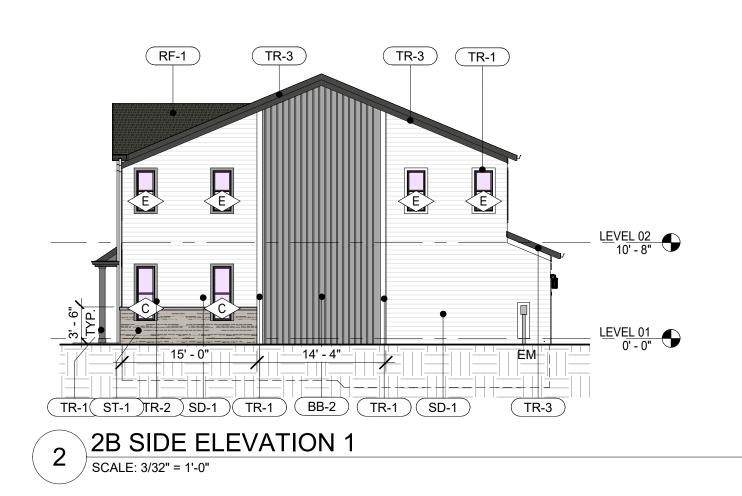
BUILDING PLANS & ELEVATIONS 2B

SHEET NUMBER:

A100.2B







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| Elevation Data Table: Elevations | | | |
|----------------------------------|-------------------------------------------|--|--|
| 2C | | | |
| <u>Value</u> | <u>Unit</u> | | |
| 2.00 | | | |
| 4,066.00 | Square Feet | | |
| 6.00 | | | |
| 4.00 | | | |
| ings and accesso | ory strutures: | | |
| | Value 2.00 4,066.00 6.00 4.00 | | |

White, Granite Gray. PVC trim board and fiber cement panel: Colonial White, Granite Gray, Slate.

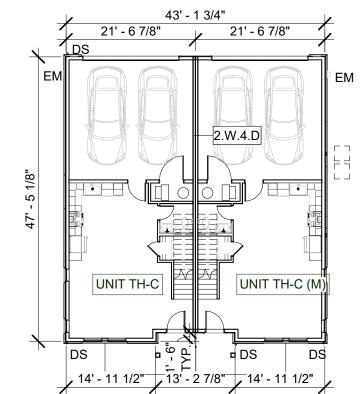
BUILDING ELEVATION LEGEND

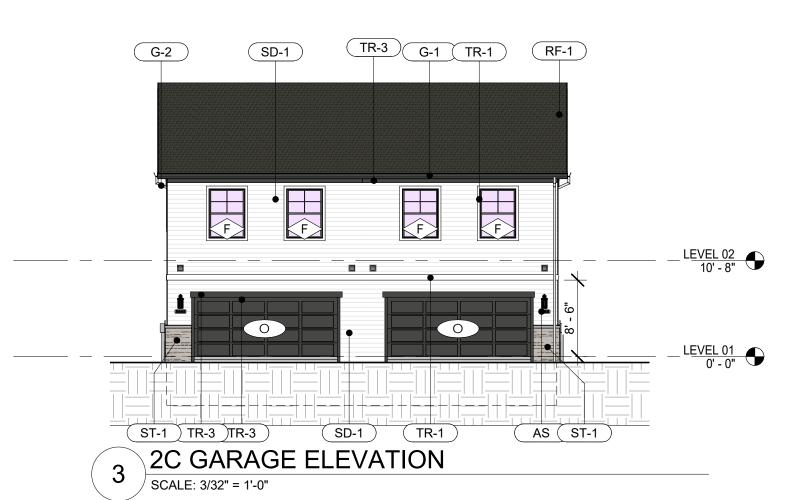
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- SD-2 VINYL LAP SIDING, GRANITE GRAY SD-2 VINYL LAP SIDING, SLATE
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 - TR-1 PVC TRIM BOARD & FIBER CEMENT PANEL, COLONIAL WHITE
 - TR-2 PVC TRIM BOARD & FIBER CEMENT PANEL, GRANITE GRAY TR-3 PVC TRIM BOARD & FIBER CEMENT PANEL, SLATE



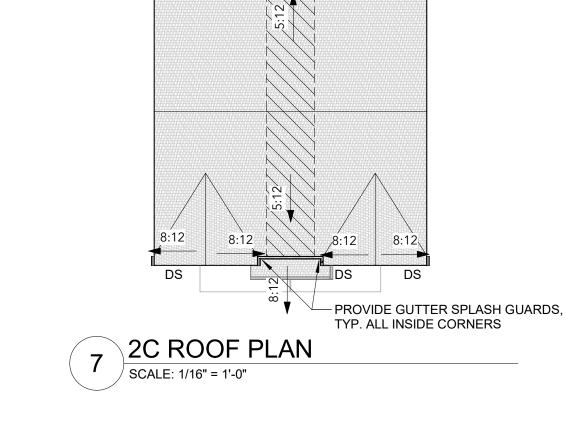
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- AS ADDRESS SIGN
- EM ELECTRICAL METER WITH FIBER CEMENT PANEL FOR MOUNTING.

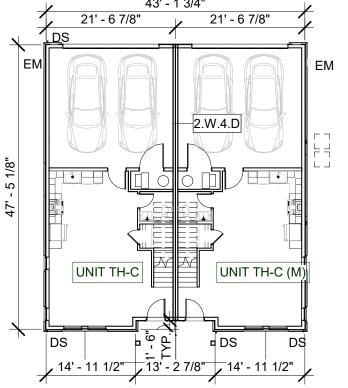
8:12











CONSTRUCTION FOR:

John C. Workley Registration Number: 1018368
Expiration Date: 11 /30 / 24

PROPOSED NEW

I hereby certify that this drawing, specification, plan or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the state which govern this project. WARMING: No person may alter these documents unless person is 2 under the direct supervision of the licensed record prohitect line unling all copyrights; JCWI

3142 Prospect Avenue

Cleveland, OH 44115

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New York City, NY 10036

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new york.

Heyday Aurora

Independence Drive and **Constitution Drive** Aurora IL 60506

JOB NUMBER: 240209-00

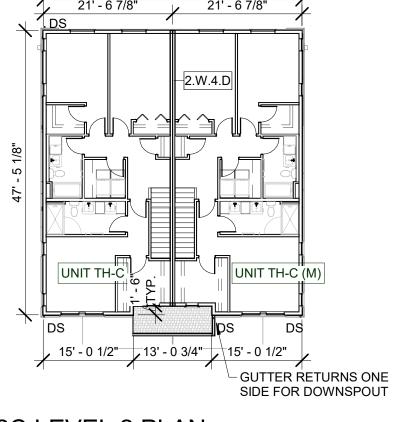
DRAWING RELEASE: No. Date Description 06/03/2025 CIVIL SUBMISSION

SHEET TITLE:

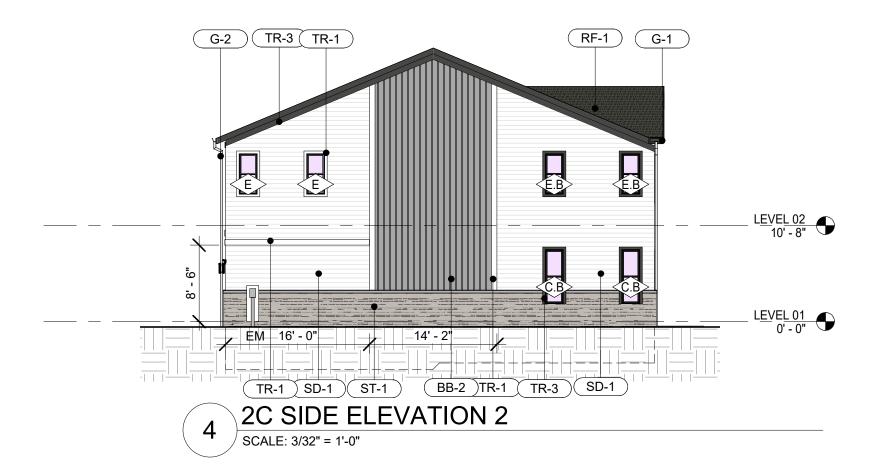
BUILDING PLANS & ELEVATIONS 2C

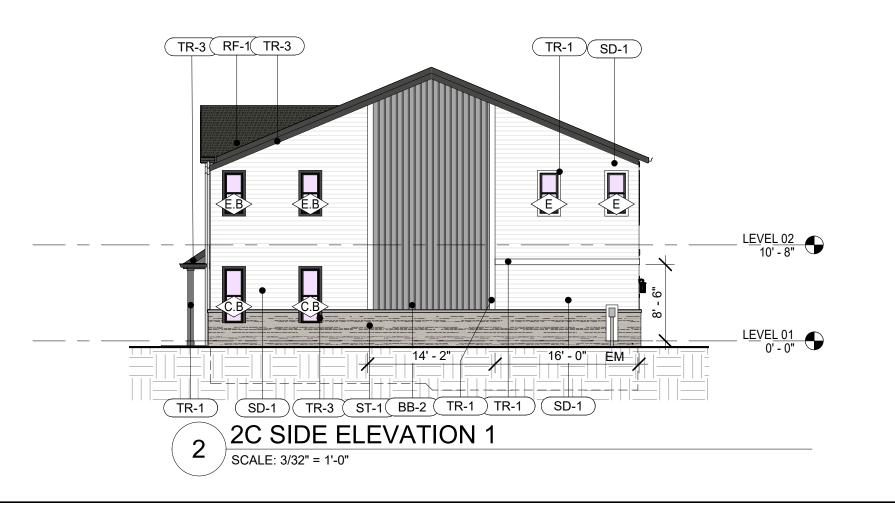
SHEET NUMBER:

A100.2C



2C LEVEL 2 PLAN





- 1. ALL EXTERIOR WALL DIMENSIONS TAKEN FROM CENTER OF DEMISING WALL AND EXTERIOR FACE OF STUD AT EXTERIOR WALL
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| 5B | |
|-----------------|--------------------------------------------------------------------------|
| <u>Value</u> | <u>Unit</u> |
| 2.00 | |
| 9,614.00 | Square Feet |
| 10.00 | |
| 10.00 | |
| gs and accesso | ory strutures: |
| White, Granite | e Gray, Slate. Vinyl board and |
| s country squir | re cut stone. PVC trim board and |
| | 2.00 9,614.00 10.00 10.00 gs and accesso I White, Granite |

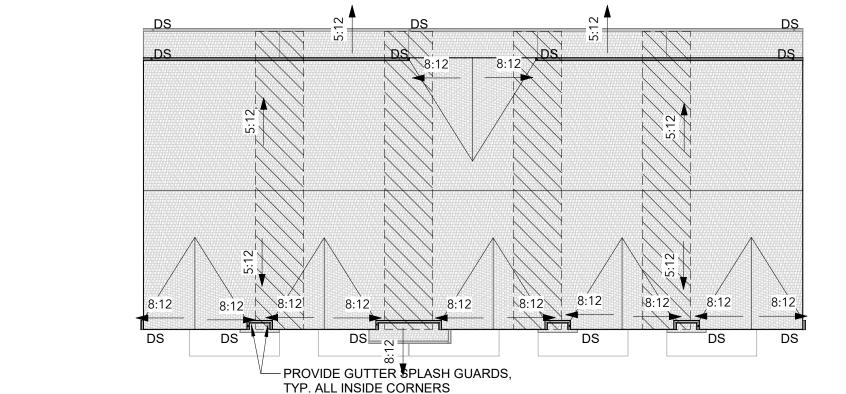
BUILDING ELEVATION LEGEND

- SD-1 VINYL LAP SIDING, COLONIAL WHITE
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- G-1 GUTTERS & DOWNSPOUTS, BLACK G-2 GUTTERS & DOWNSPOUTS, WHITE
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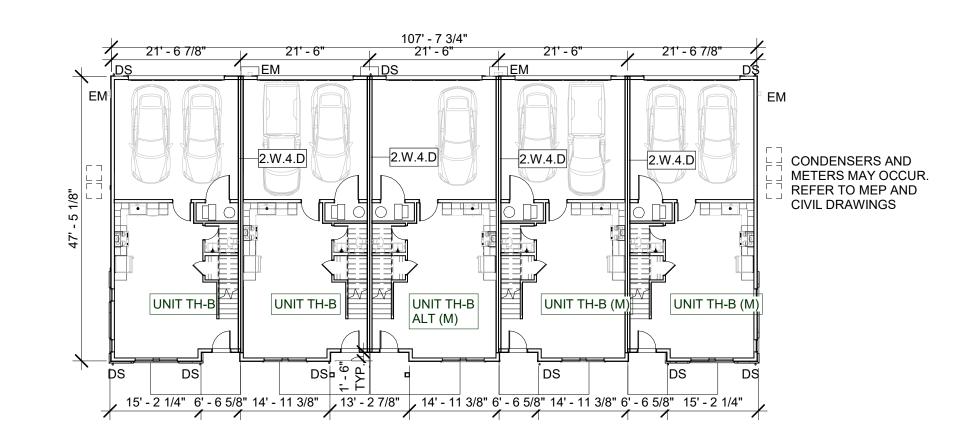
UNIT TH-B (M) UNIT TH-B (M)

14' - 11 3/8" 6' - 6 5/8" 14' - 11 3/8" 6' - 6 5/8" 15' - 2 1/4"

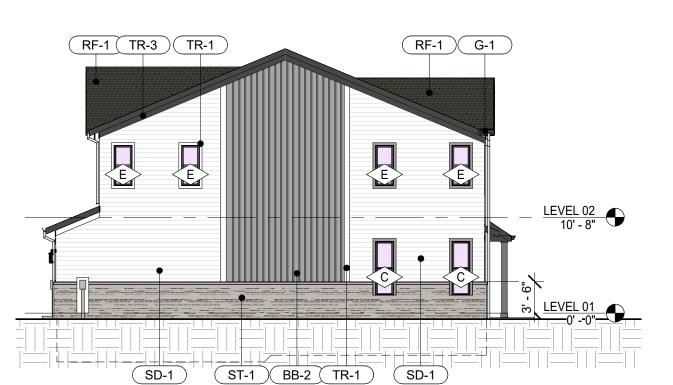
GUTTER RETURNS ONE



5B ROOF PLAN SCALE: 1/16" = 1'-0"

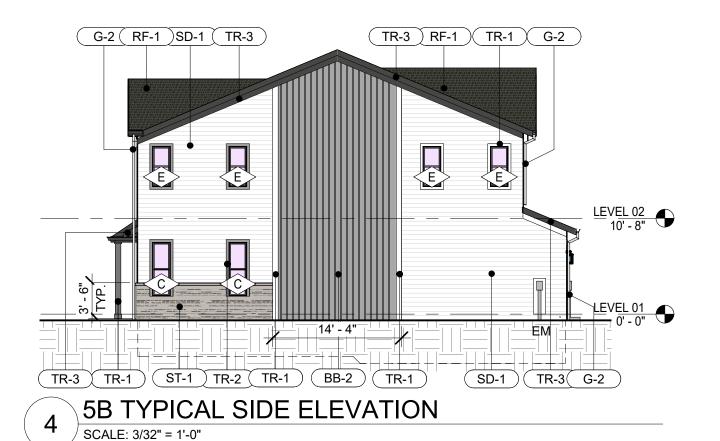


5B LEVEL 1 PLAN SCALE: 1/16" = 1'-0"



5 SCAL F: 3/32" = 1'-0"

5 SCAL F: 3/32" = 1'-0"



UNIT TH-B

15' - 2 1/4" 6' - 6 5/8" 15' - 0 1/2" 13' - 1 3/4"

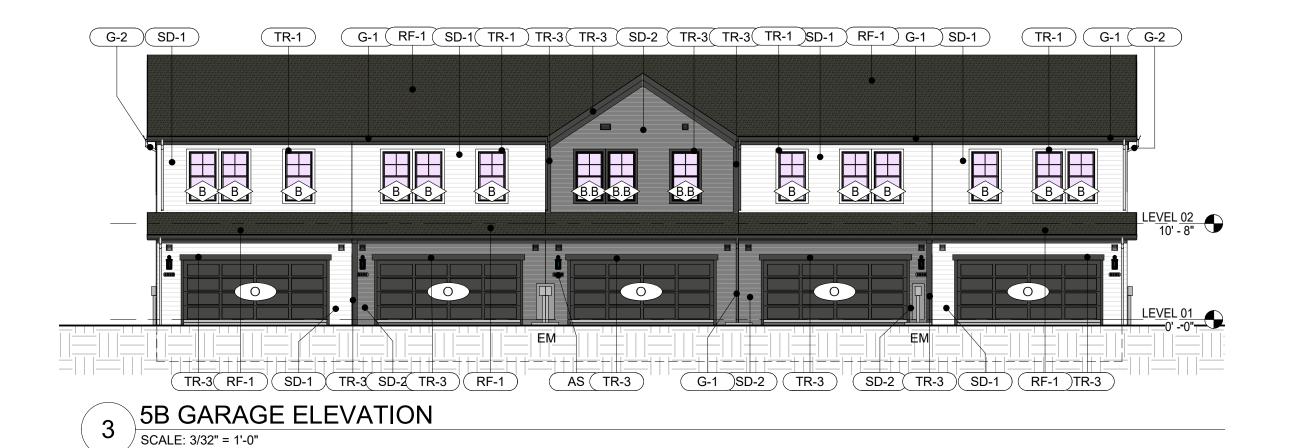
5B LEVEL 2 PLAN

UNIT TH-B

[∐]∥UNIT TH-B**∥**

ALT (M)

SIDE FOR DOWNSPOUT







SCALE: 3/32" = 1'-0"

3142 Prospect Avenue

Cleveland, OH 44115

530 5th Avenue, 16th Floor

New York City, NY 10036

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Engineering, LLC

hereby certify that this drawing, specification, plan or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the state which govern this project. WARMING: No person may alter these documents unless person is 2 under the direct supervision of the licensed record prohitect line unling all copyrights; JCWI

John C. Workley Registration Number: 1018368
Expiration Date: 11/30/24

PROPOSED NEW

CONSTRUCTION FOR:

Heyday Aurora

Independence Drive and

Constitution Drive

Aurora IL 60506

DRAWING RELEASE:

Date Description
06/03/2025 CIVIL SUBMISSION

JOB NUMBER: 240209-00

new york.

BUILDING PLANS & ELEVATIONS 5B

SHEET NUMBER:

SHEET TITLE:

A100.5B

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- 12. 3 1/2" SIDES OF GARAGE DOORS, 8" HEADER AT GARAGE DOORS.
- 13. 6" FASCIA AT GUTTERS. 14. 8" TRIM BOARD AT FRIEZE, GABLES, & UNDER ROOF LINE.
- 15. 8" VERTICAL TRIM BOARD SEPARATING SIDING COLORS AND TYPE. 16. STANDARD VINYL INSIDE AND OUTSIDE CORNER TRIM, TYPICAL, COLOR TO MATCH SIDING.
- 17. PVC TRIM BOARD PILASTERS AND COLUMNS, WHITE TYPICAL.
- 18. ROOF SOFFITS TO MATCH FASCIA TRIM. 19. TOP OF STONE BASE TO BE 42" ABOVE LEVEL 1. TYPICAL. 20. PROVIDE ICE GUARD RUBBERIZED ASPHALT UNDERLAYMENT AT ALL VALLEY, ROOF

OVERHANGS, AND OPENINGS IN ROOF. MEMBRANE TO CONTINUE A MINIMUM OF 24" PAST THE

- INTERIOR FACE OF EXTERIOR WALLS. 21. PROVIDE BALANCED ROOF VENTILATION AT ALL PITCHED ROOF LOCATIONS. TRI-BUILT
- ALUMINUM SLANT BACK ROOF LOUVER WITH SCREEN.
- 22. NO ROOF PENETRATIONS OR OPENINGS WITHIN 4'-0" EITHER SIDE OF 2HR DEMISING PARTITIONS. REFER TO HATCHED AREA ON ROOF PLANS AND A000.
- 23. FRT ROOF SHEATHING 4'-0" EITHER SIDE OF 2HR DEMISING PARTITIONS. 24. GUTTER CALCULATIONS PER SMACNA
- 25. DS = 3" X 4" DOWNSPOUT, COORDINATE WITH CIVIL STORM DRAWINGS AND PROVIDE
- DIRECT CONNECTIONS. COLOR VARIES, REFER TO ELEVATIONS. WHEN OCCURS BETWEEN GARAGES PROVIDE CONCRETE PAD.
- 26. PROVIDE GUTTER SPLASH GUARDS, TYP. ALL INSIDE CORNERS 27. EM = ELECTRIC METER. SINGLE AT SIDES OF BUILDING, TYP. MAY BE DOUBLE WHEN ON
- GARAGE SIDE OF BUILDING. AT GARAGE SIDE PROVIDE CONCRETE PAD. 28. WINDOWS TO BE WHITE FINISH TYPICAL & BLACK FINISH AS NOTED AT SPECIFIC LOCATIONS ONLY. REFER TO ELEVATIONS AND BUILDING RENDERINGS. 29. REFER TO A901 FOR WINDOW DETAILS.
- 30. EGRESS WINDOWS TO BE PROVIDED IN LEVEL 2 BEDROOMS WITH 5.7 SF CLEAR OPENING. 31. PROVIDE STONE BORDER AT PERIMETER OF BUILDING. REFER TO LANDSCAPE DRAWINGS.



HATCH DENOTES AREA OF FRT ROOF SHEATHING 4'-0" EITHER SIDE

Colonial White, Granite Gray.

- OCCUPIED AREA / 300 USING UPPER ROOF VENTS = REQUIRED VENTING AREA
- RIDGE OR BOX VENTS TO BE 50% MINIMUM OF VENTING (60% PREFERRED) • SOFFIT VENTING 5.9 SQ IN VENTING PER SF
- RIDGE VENT 13.5 SQ IN VENTING PER LINEAR FOOT
- BOX VENT 50 SQ IN VENTING PER VENT

| Elevation Data Table: Elevations | | | |
|------------------------------------------------------------------------------------------------------------|---------------------|----------------------------------|--|
| Model 4: | | 5B-L | |
| <u>Description</u> | <u>Value</u> | <u>Unit</u> | |
| a) Number of building stories (typical) | 2.00 | | |
| b) Total Building Square Footage (typical) | 11,001.00 | Square Feet | |
| c) Number of bedrooms (typical) | 10.00 | | |
| d) Number of enclosed parking spaces (typical) | 10.00 | | |
| e) Exterior Material List (including colors) for all build | ings and accesso | ory strutures: | |
| Asphalt roof shingles: Pewter. Vinyl lap siding: Colon White, Granite Gray. Stoneworks country squire cut: | nial White. Vinyl b | poard and batten siding: Colonia | |

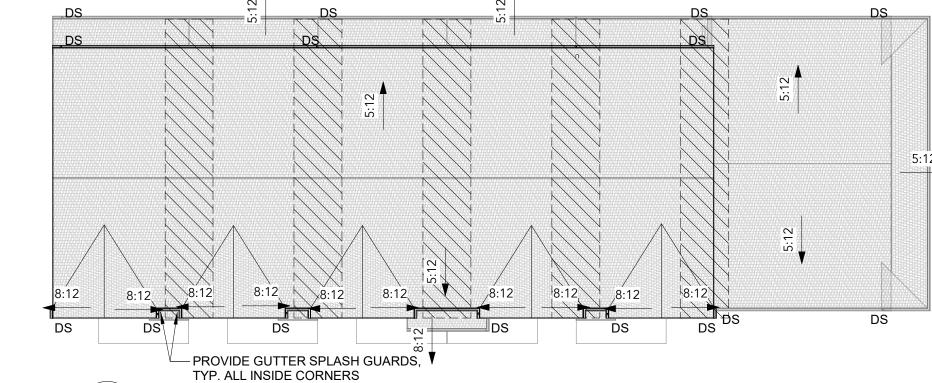
BUILDING ELEVATION LEGEND

- SD-1 VINYL LAP SIDING, COLONIAL WHITE
- SD-2 VINYL LAP SIDING, GRANITE GRAY SD-2 VINYL LAP SIDING, SLATE
 - BB-1 VINYL BOARD AND BATTEN SIDING, COLONIAL WHITE BB-2 VINYL BOARD AND BATTEN SIDING, GRANITE GRAY
- ST-1 STONEWORKS COUNTRY SQUIRE CUT STONE, TBD
 - TR-1 PVC TRIM BOARD & FIBER CEMENT PANEL, COLONIAL WHITE TR-2 PVC TRIM BOARD & FIBER CEMENT PANEL, GRANITE GRAY TR-3 PVC TRIM BOARD & FIBER CEMENT PANEL, SLATE
- RF-1 ASPHALT ROOF SHINGLES, PEWTER

G-1 GUTTERS & DOWNSPOUTS, BLACK

G-2 GUTTERS & DOWNSPOUTS, WHITE

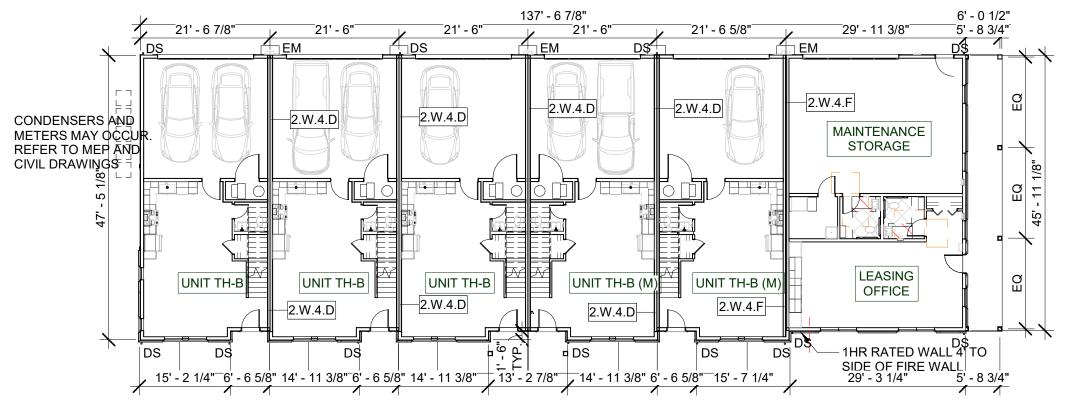
- - AS ADDRESS SIGN
 - EM ELECTRICAL METER WITH FIBER CEMENT PANEL FOR MOUNTING.



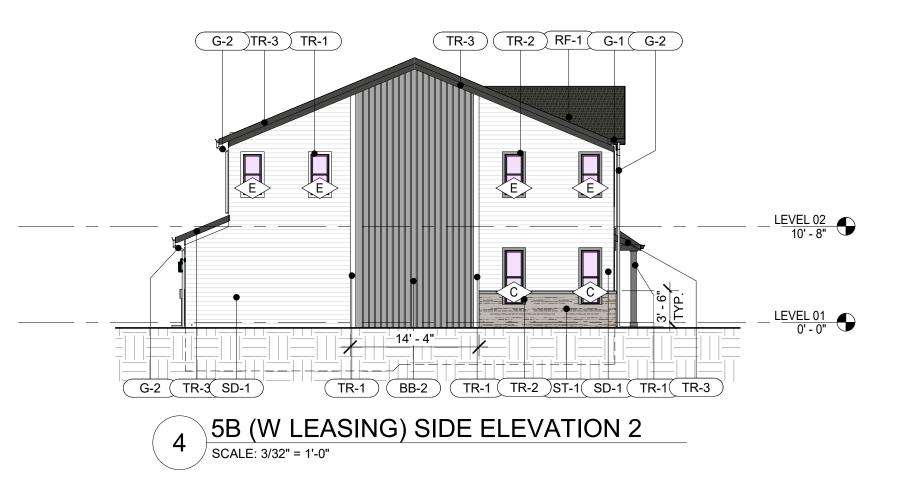
5B (W LEASING) ROOF PLAN

2.W.4.D 2.W.4.F H2.W.4.D 2.W.4.D UNIT TH-B.(M) UNIT TH-B UNIT TH-B (M) DS DS DS , 15' - 2 1/4" - 6' - 6 5/8" 14' - 11 3/8" - 6' - 6 5/8" 15' - 0 1/2" 13' - 0 3/4" 15' - 0 1/2" 6' - 6 5/8" 15' - 7 1/4" GUTTER RETURNS ONE

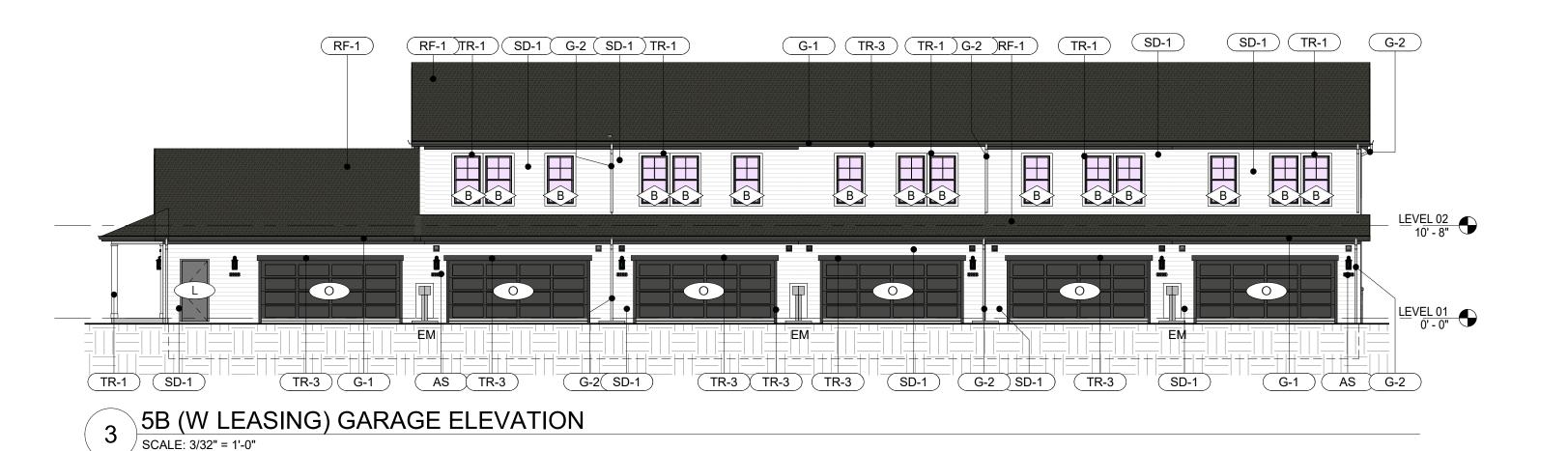
SIDE FOR DOWNSPOUT 5B (W LEASING) LEVEL 2 PLAN
SCALE: 1/16" = 1'-0"



5B (W LEASING) LEVEL 1 PLAN







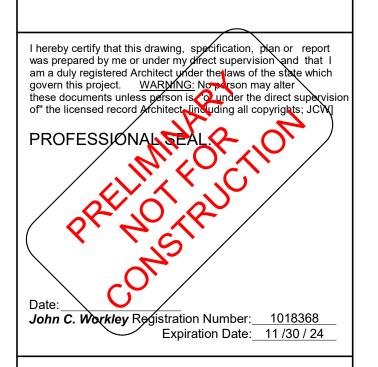


3142 Prospect Avenue Cleveland, OH 44115 new york.

530 5th Avenue, 16th Floor

New York City, NY 10036 vocon.partners μις





PROPOSED NEW CONSTRUCTION FOR:

Heyday Aurora

Independence Drive and **Constitution Drive** Aurora IL 60506

JOB NUMBER: 240209-00

DRAWING RELEASE:

06/03/2025 CIVIL SUBMISSION

SHEET TITLE:

BUILDING PLANS & ELEVATIONS 5B W/ LEASING OFFICE

SHEET NUMBER:

A100.5B-L



1. ALL EXTERIOR WALL DIMENSIONS TAKEN FROM CENTER OF DEMISING WALL AND EXTERIOR FACE OF STUD AT EXTERIOR WALL 2. NOT ALL DOORS OR WINDOWS IN SCHEDULE WILL BE USED IN EACH BUILDING.

3. (M) = MIRRORED UNIT FLOOR PLAN 4. ALT = ENTRY SIDE WINDOW LOCATION SHIFTED, REFER TO UNIT PLANS

5. REFER TO A010 FOR DOOR AND WINDOW SCHEDULES. 6. REFER TO UNIT PLANS FOR INTERIOR DIMENSIONS.

7. REFER TO UNIT PLANS FOR WINDOW LOCATION DIMENSIONS. 8. REFER TO UNIT PLANS FOR WINDOW TYPES.

9. REFER TO SHEET A000 FOR TYPICAL PARTITIONS AND UL ASSEMBLIES. 10. BLACK GARAGE DOORS TYPICAL.

11. 3 1/2" TRIM ALL SIDES WINDOWS AND DOORS 12. 3 1/2" SIDES OF GARAGE DOORS, 8" HEADER AT GARAGE DOORS. 13. 6" FASCIA AT GUTTERS.

14. 8" TRIM BOARD AT FRIEZE, GABLES, & UNDER ROOF LINE. 15. 8" VERTICAL TRIM BOARD SEPARATING SIDING COLORS AND TYPE.

16. STANDARD VINYL INSIDE AND OUTSIDE CORNER TRIM, TYPICAL, COLOR TO MATCH SIDING. 17. PVC TRIM BOARD PILASTERS AND COLUMNS, WHITE TYPICAL. 18. ROOF SOFFITS TO MATCH FASCIA TRIM.

19. TOP OF STONE BASE TO BE 42" ABOVE LEVEL 1, TYPICAL. 20. PROVIDE ICE GUARD RUBBERIZED ASPHALT UNDERLAYMENT AT ALL VALLEY, ROOF OVERHANGS, AND OPENINGS IN ROOF. MEMBRANE TO CONTINUE A MINIMUM OF 24" PAST THE

INTERIOR FACE OF EXTERIOR WALLS. 21. PROVIDE BALANCED ROOF VENTILATION AT ALL PITCHED ROOF LOCATIONS. TRI-BUILT ALUMINUM SLANT BACK ROOF LOUVER WITH SCREEN. 22. NO ROOF PENETRATIONS OR OPENINGS WITHIN 4'-0" EITHER SIDE OF 2HR DEMISING

PARTITIONS. REFER TO HATCHED AREA ON ROOF PLANS AND A000. 23. FRT ROOF SHEATHING 4'-0" EITHER SIDE OF 2HR DEMISING PARTITIONS. 24. GUTTER CALCULATIONS PER SMACNA

25. DS = 3" X 4" DOWNSPOUT. COORDINATE WITH CIVIL STORM DRAWINGS AND PROVIDE DIRECT CONNECTIONS. COLOR VARIES, REFER TO ELEVATIONS. WHEN OCCURS BETWEEN GARAGES PROVIDE CONCRETE PAD.

26. PROVIDE GUTTER SPLASH GUARDS, TYP. ALL INSIDE CORNERS 27. EM = ELECTRIC METER. SINGLE AT SIDES OF BUILDING, TYP. MAY BE DOUBLE WHEN ON GARAGE SIDE OF BUILDING. AT GARAGE SIDE PROVIDE CONCRETE PAD.

28. WINDOWS TO BE WHITE FINISH TYPICAL & BLACK FINISH AS NOTED AT SPECIFIC LOCATIONS

ONLY. REFER TO ELEVATIONS AND BUILDING RENDERINGS. 29. REFER TO A901 FOR WINDOW DETAILS. 30. EGRESS WINDOWS TO BE PROVIDED IN LEVEL 2 BEDROOMS WITH 5.7 SF CLEAR OPENING.

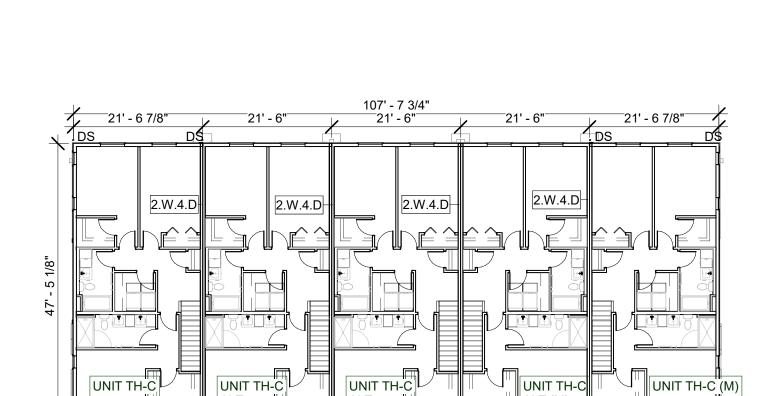
31. PROVIDE STONE BORDER AT PERIMETER OF BUILDING. REFER TO LANDSCAPE DRAWINGS. HATCH DENOTES AREA OF FRT ROOF SHEATHING 4'-0" EITHER SIDE OF 2HR DEMISING WALL. NO PENETRATIONS THIS AREA.

 OCCUPIED AREA / 300 USING UPPER ROOF VENTS = REQUIRED VENTING AREA • RIDGE OR BOX VENTS TO BE 50% MINIMUM OF VENTING (60% PREFERRED)

• SOFFIT VENTING 5.9 SQ IN VENTING PER SF • RIDGE VENT 13.5 SQ IN VENTING PER LINEAR FOOT

• BOX VENT 50 SQ IN VENTING PER VENT

| Elevation Data Table: Residential Elevations | | |
|----------------------------------------------|---------------------------------------------------------|--|
| Model 1: 5C | | |
| <u>Value</u> | <u>Unit</u> | |
| 2.00 | | |
| 10,136.00 | Square Feet | |
| 15.00 | | |
| 10.00 | | |
| ings and accesso | ory strutures: | |
| ial White, Granite | e Gray. Vinyl board and batten | |
| | 2.00 10,136.00 15.00 10.00 ngs and accessor | |



15' - 2 1/4" 6' - 6 5/8" 14' - 11 1/2" 6' - 6 5/8" 14' - 11 1/2" 13' - 2 7/8" 14' - 11 1/2" 6' - 6 5/8" 15' - 2 1/4"

BUILDING ELEVATION LEGEND

RF-1 ASPHALT ROOF SHINGLES, PEWTER

G-1 GUTTERS & DOWNSPOUTS, BLACK

G-2 GUTTERS & DOWNSPOUTS, WHITE

EM ELECTRICAL METER WITH FIBER CEMENT PANEL FOR MOUNTING.

GUTTER RETURNS ONE SIDE FOR DOWNSPOUT

AS ADDRESS SIGN

SD-1 VINYL LAP SIDING, COLONIAL WHITE

BB-1 VINYL BOARD AND BATTEN SIDING, COLONIAL WHITE

BB-2 VINYL BOARD AND BATTEN SIDING, GRANITE GRAY

ST-1 STONEWORKS COUNTRY SQUIRE CUT STONE, TBD

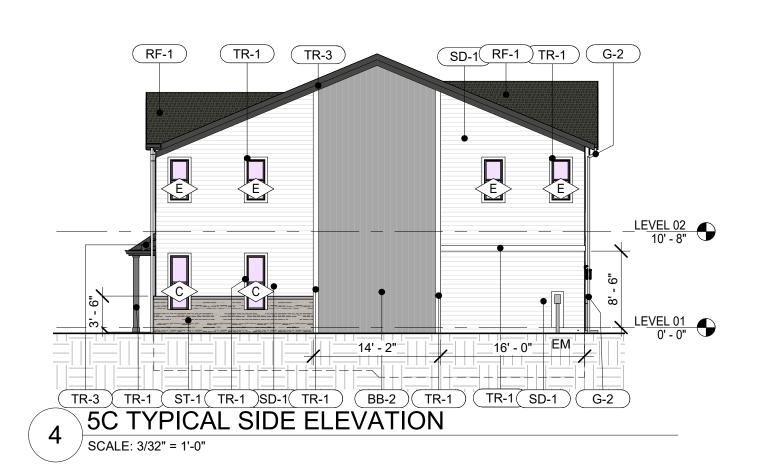
TR-3 PVC TRIM BOARD & FIBER CEMENT PANEL, SLATE

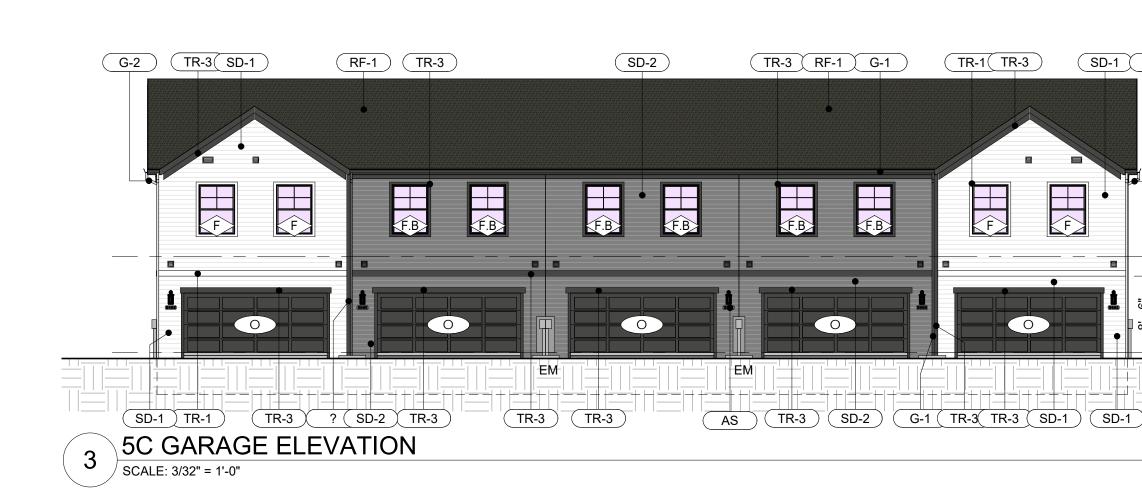
TR-1 PVC TRIM BOARD & FIBER CEMENT PANEL, COLONIAL WHITE

TR-2 PVC TRIM BOARD & FIBER CEMENT PANEL, GRANITE GRAY

SD-2 VINYL LAP SIDING, GRANITE GRAY SD-2 VINYL LAP SIDING, SLATE

5C LEVEL 2 PLAN





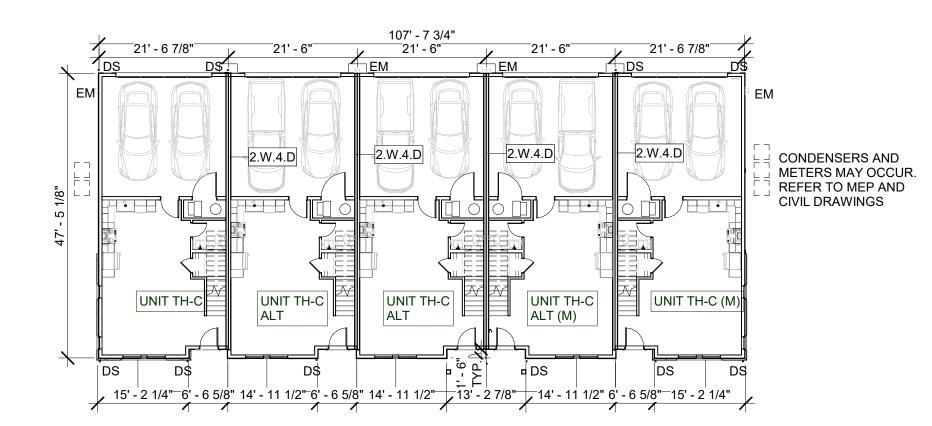






8:12 / 8:12 8:12 PROVIDE GUTTER SPLASH GUARDS,

TYP. ALL INSIDE CORNERS 5C ROOF PLAN



5C LEVEL 1 PLAN SCALE: 1/16" = 1'-0"

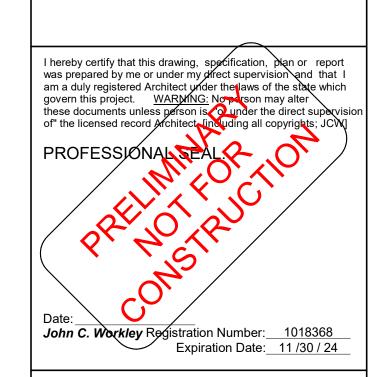
3142 Prospect Avenue

Cleveland, OH 44115 new york.

530 5th Avenue, 16th Floor

New York City, NY 10036 vocon.partners μις





PROPOSED NEW CONSTRUCTION FOR:

Heyday Aurora

Independence Drive and **Constitution Drive** Aurora IL 60506

JOB NUMBER: 240209-00

SD-1 G-2

LEVEL 02 10' - 8"

DRAWING RELEASE: Date Description
06/03/2025 CIVIL SUBMISSION

SHEET TITLE:

BUILDING PLANS & ELEVATIONS 5C

SHEET NUMBER:

A100.5C

- 1. ALL EXTERIOR WALL DIMENSIONS TAKEN FROM CENTER OF DEMISING WALL AND EXTERIOR FACE OF STUD AT EXTERIOR WALL
- 2. NOT ALL DOORS OR WINDOWS IN SCHEDULE WILL BE USED IN EACH BUILDING. 3. (M) = MIRRORED UNIT FLOOR PLAN 4. ALT = ENTRY SIDE WINDOW LOCATION SHIFTED, REFER TO UNIT PLANS
- 5. REFER TO A010 FOR DOOR AND WINDOW SCHEDULES.
- 6. REFER TO UNIT PLANS FOR INTERIOR DIMENSIONS. 7. REFER TO UNIT PLANS FOR WINDOW LOCATION DIMENSIONS.
- 8. REFER TO UNIT PLANS FOR WINDOW TYPES. 9. REFER TO SHEET A000 FOR TYPICAL PARTITIONS AND UL ASSEMBLIES.
- 10. BLACK GARAGE DOORS TYPICAL. 11. 3 1/2" TRIM ALL SIDES WINDOWS AND DOORS
- 12. 3 1/2" SIDES OF GARAGE DOORS, 8" HEADER AT GARAGE DOORS.
- 13. 6" FASCIA AT GUTTERS. 14. 8" TRIM BOARD AT FRIEZE, GABLES, & UNDER ROOF LINE.
- 15. 8" VERTICAL TRIM BOARD SEPARATING SIDING COLORS AND TYPE.
- 16. STANDARD VINYL INSIDE AND OUTSIDE CORNER TRIM, TYPICAL, COLOR TO MATCH SIDING.
- 17. PVC TRIM BOARD PILASTERS AND COLUMNS, WHITE TYPICAL.
- 18. ROOF SOFFITS TO MATCH FASCIA TRIM.
- 19. TOP OF STONE BASE TO BE 42" ABOVE LEVEL 1, TYPICAL. 20. PROVIDE ICE GUARD RUBBERIZED ASPHALT UNDERLAYMENT AT ALL VALLEY, ROOF OVERHANGS, AND OPENINGS IN ROOF. MEMBRANE TO CONTINUE A MINIMUM OF 24" PAST THE
- INTERIOR FACE OF EXTERIOR WALLS. 21. PROVIDE BALANCED ROOF VENTILATION AT ALL PITCHED ROOF LOCATIONS. TRI-BUILT
- ALUMINUM SLANT BACK ROOF LOUVER WITH SCREEN. 22. NO ROOF PENETRATIONS OR OPENINGS WITHIN 4'-0" EITHER SIDE OF 2HR DEMISING
- PARTITIONS. REFER TO HATCHED AREA ON ROOF PLANS AND A000.
- 23. FRT ROOF SHEATHING 4'-0" EITHER SIDE OF 2HR DEMISING PARTITIONS. 24. GUTTER CALCULATIONS PER SMACNA
- 25. DS = 3" X 4" DOWNSPOUT, COORDINATE WITH CIVIL STORM DRAWINGS AND PROVIDE DIRECT CONNECTIONS. COLOR VARIES, REFER TO ELEVATIONS. WHEN OCCURS BETWEEN GARAGES PROVIDE CONCRETE PAD.
- 26. PROVIDE GUTTER SPLASH GUARDS, TYP. ALL INSIDE CORNERS 27. EM = ELECTRIC METER. SINGLE AT SIDES OF BUILDING, TYP. MAY BE DOUBLE WHEN ON GARAGE SIDE OF BUILDING. AT GARAGE SIDE PROVIDE CONCRETE PAD.
- 28. WINDOWS TO BE WHITE FINISH TYPICAL & BLACK FINISH AS NOTED AT SPECIFIC LOCATIONS ONLY. REFER TO ELEVATIONS AND BUILDING RENDERINGS. 29. REFER TO A901 FOR WINDOW DETAILS.
- 30. EGRESS WINDOWS TO BE PROVIDED IN LEVEL 2 BEDROOMS WITH 5.7 SF CLEAR OPENING. 31. PROVIDE STONE BORDER AT PERIMETER OF BUILDING. REFER TO LANDSCAPE DRAWINGS.



HATCH DENOTES AREA OF FRT ROOF SHEATHING 4'-0" EITHER SIDE OF 2HR DEMISING WALL. NO PENETRATIONS THIS AREA.

- OCCUPIED AREA / 300 USING UPPER ROOF VENTS = REQUIRED VENTING AREA • RIDGE OR BOX VENTS TO BE 50% MINIMUM OF VENTING (60% PREFERRED)
- SOFFIT VENTING 5.9 SQ IN VENTING PER SF
- RIDGE VENT 13.5 SQ IN VENTING PER LINEAR FOOT • BOX VENT 50 SQ IN VENTING PER VENT

fiber cement panel: Colonial White, Granite Gray, Slate.

| Elevation Data Table: Elevations | | |
|-------------------------------------------------------------------------------------------------------------|-----------------|----------------|
| Model 2: 6B | | 6B |
| Description | Value | <u>Unit</u> |
| a) Number of building stories (typical) | 2.00 | |
| b) Total Building Square Footage (typical) | 11,533.00 | Square Feet |
| c) Number of bedrooms (typical) | 12.00 | |
| d) Number of enclosed parking spaces (typical) | 12.00 | |
| e) Exterior Material List (including colors) for all build | ings and access | ory strutures: |
| Asphalt roof shingles: Pewter. Vinyl lap siding: Colon batten siding: Colonial White, Granite Gray. Stonewo | | |

BUILDING ELEVATION LEGEND

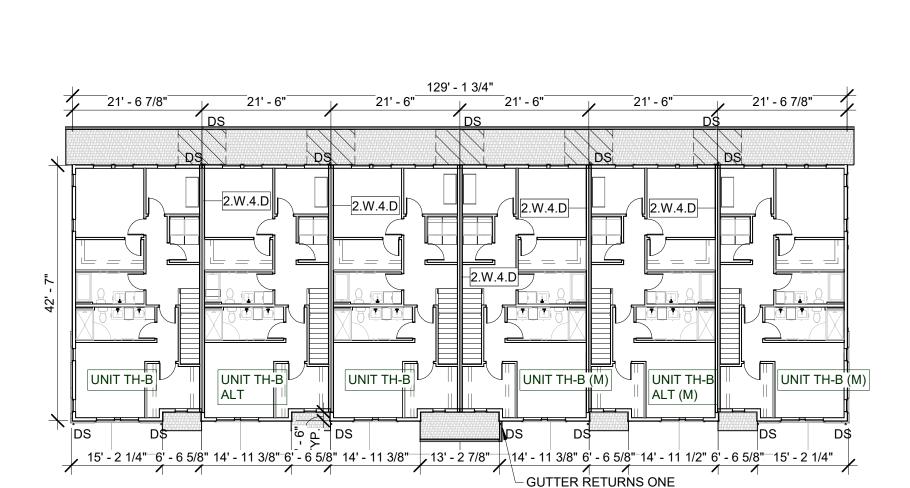
- SD-1 VINYL LAP SIDING, COLONIAL WHITE
- SD-2 VINYL LAP SIDING, GRANITE GRAY SD-2 VINYL LAP SIDING, SLATE
 - BB-1 VINYL BOARD AND BATTEN SIDING, COLONIAL WHITE BB-2 VINYL BOARD AND BATTEN SIDING, GRANITE GRAY
- ST-1 STONEWORKS COUNTRY SQUIRE CUT STONE, TBD
 - TR-1 PVC TRIM BOARD & FIBER CEMENT PANEL, COLONIAL WHITE TR-2 PVC TRIM BOARD & FIBER CEMENT PANEL, GRANITE GRAY TR-3 PVC TRIM BOARD & FIBER CEMENT PANEL, SLATE



G-1 GUTTERS & DOWNSPOUTS, BLACK G-2 GUTTERS & DOWNSPOUTS, WHITE

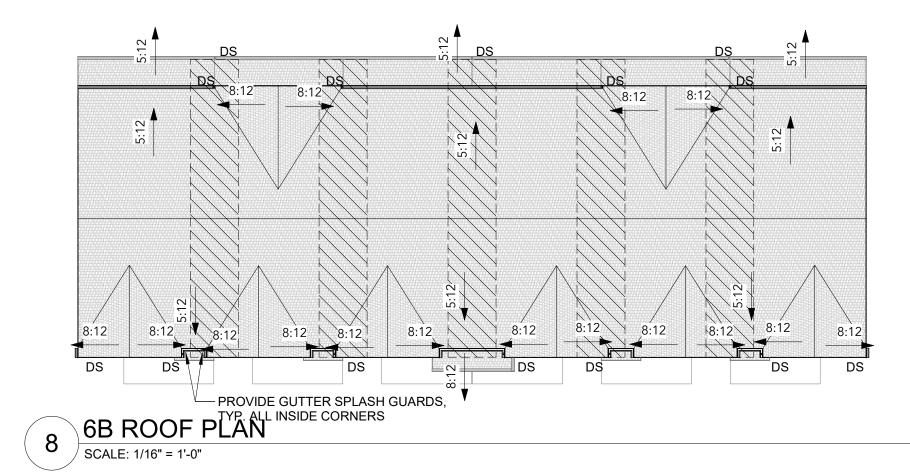
AS ADDRESS SIGN

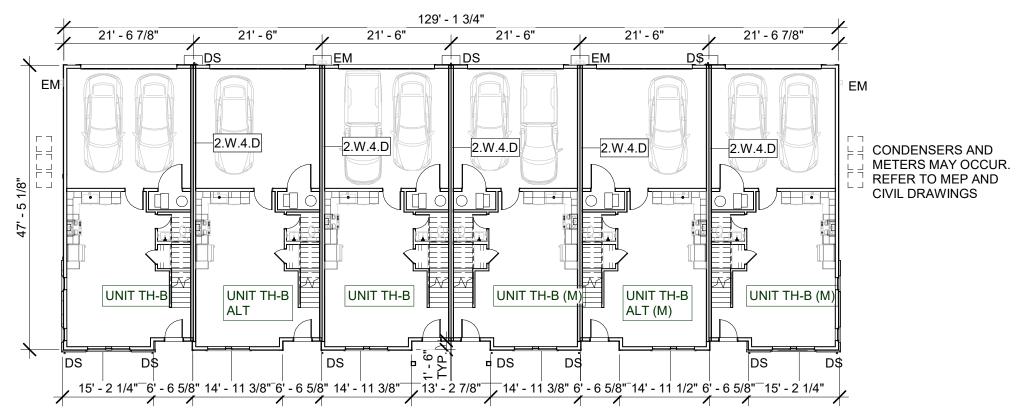
EM ELECTRICAL METER WITH FIBER CEMENT PANEL FOR MOUNTING.



SIDE FOR DOWNSPOUT

6B LEVEL 2 PLAN SCALE: 1/16" = 1'-0"

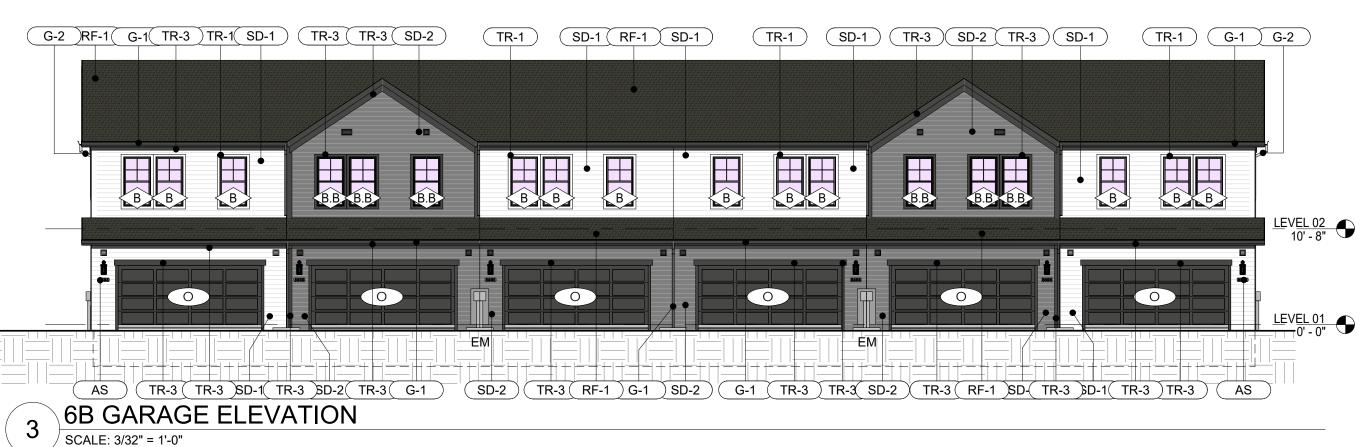




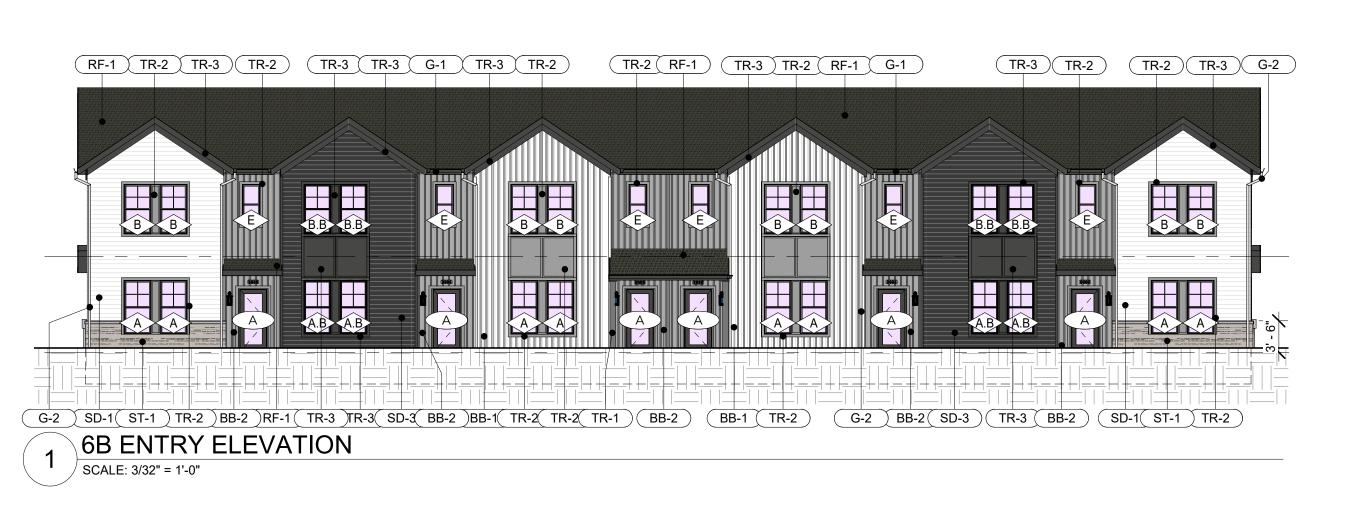
6B LEVEL 1 PLAN



TR-1 TR-3 (RF-1) G-1 G-2 G-1 RF-1 TR-2 TR-3 E LEVEL 02 10' - 8" EM _|14' - 4"<u>-</u>| | TR-1 BB-2 TR-1 SD-1 TR-3 TR-1(ST-1(SD-1) 6B TYPICAL SIDE ELEVATION SCALE: 3/32" = 1'-0"







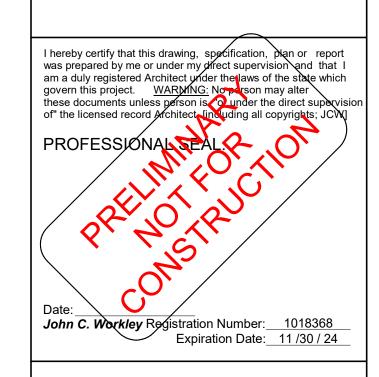
3142 Prospect Avenue Cleveland, OH 44115 new york.

530 5th Avenue, 16th Floor

New York City, NY 10036

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PROPOSED NEW CONSTRUCTION FOR:

Heyday Aurora

Independence Drive and **Constitution Drive** Aurora IL 60506

06/03/2025 CIVIL SUBMISSION

JOB NUMBER: 240209-00

DRAWING RELEASE:

SHEET TITLE:

BUILDING PLANS & ELEVATIONS 6B

SHEET NUMBER:

A100.6B

- 1. ALL EXTERIOR WALL DIMENSIONS TAKEN FROM CENTER OF DEMISING WALL AND EXTERIOR FACE OF STUD AT EXTERIOR WALL
- 2. NOT ALL DOORS OR WINDOWS IN SCHEDULE WILL BE USED IN EACH BUILDING. 3. (M) = MIRRORED UNIT FLOOR PLAN
- 4. ALT = ENTRY SIDE WINDOW LOCATION SHIFTED, REFER TO UNIT PLANS
- 5. REFER TO A010 FOR DOOR AND WINDOW SCHEDULES. 6. REFER TO UNIT PLANS FOR INTERIOR DIMENSIONS.
- 7. REFER TO UNIT PLANS FOR WINDOW LOCATION DIMENSIONS. 8. REFER TO UNIT PLANS FOR WINDOW TYPES. 9. REFER TO SHEET A000 FOR TYPICAL PARTITIONS AND UL ASSEMBLIES.
- 10. BLACK GARAGE DOORS TYPICAL. 11. 3 1/2" TRIM ALL SIDES WINDOWS AND DOORS
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- 15. 8" VERTICAL TRIM BOARD SEPARATING SIDING COLORS AND TYPE.
- 16. STANDARD VINYL INSIDE AND OUTSIDE CORNER TRIM, TYPICAL, COLOR TO MATCH SIDING.
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- ALUMINUM SLANT BACK ROOF LOUVER WITH SCREEN.
- 22. NO ROOF PENETRATIONS OR OPENINGS WITHIN 4'-0" EITHER SIDE OF 2HR DEMISING PARTITIONS. REFER TO HATCHED AREA ON ROOF PLANS AND A000.
- 23. FRT ROOF SHEATHING 4'-0" EITHER SIDE OF 2HR DEMISING PARTITIONS. 24. GUTTER CALCULATIONS PER SMACNA
- 25. DS = 3" X 4" DOWNSPOUT, COORDINATE WITH CIVIL STORM DRAWINGS AND PROVIDE DIRECT CONNECTIONS. COLOR VARIES, REFER TO ELEVATIONS. WHEN OCCURS BETWEEN
- GARAGES PROVIDE CONCRETE PAD. 26. PROVIDE GUTTER SPLASH GUARDS, TYP. ALL INSIDE CORNERS 27. EM = ELECTRIC METER. SINGLE AT SIDES OF BUILDING, TYP. MAY BE DOUBLE WHEN ON
- GARAGE SIDE OF BUILDING. AT GARAGE SIDE PROVIDE CONCRETE PAD. 28. WINDOWS TO BE WHITE FINISH TYPICAL & BLACK FINISH AS NOTED AT SPECIFIC LOCATIONS ONLY. REFER TO ELEVATIONS AND BUILDING RENDERINGS. 29. REFER TO A901 FOR WINDOW DETAILS.
- 30. EGRESS WINDOWS TO BE PROVIDED IN LEVEL 2 BEDROOMS WITH 5.7 SF CLEAR OPENING. 31. PROVIDE STONE BORDER AT PERIMETER OF BUILDING. REFER TO LANDSCAPE DRAWINGS.



HATCH DENOTES AREA OF FRT ROOF SHEATHING 4'-0" EITHER SIDE OF 2HR DEMISING WALL. NO PENETRATIONS THIS AREA.

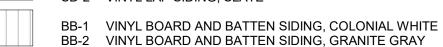
- OCCUPIED AREA / 300 USING UPPER ROOF VENTS = REQUIRED VENTING AREA • RIDGE OR BOX VENTS TO BE 50% MINIMUM OF VENTING (60% PREFERRED)
- SOFFIT VENTING 5.9 SQ IN VENTING PER SF
- RIDGE VENT 13.5 SQ IN VENTING PER LINEAR FOOT • BOX VENT 50 SQ IN VENTING PER VENT

| Elevation Data Table: Elevations | | |
|------------------------------------------------------------|--------------------|--------------------------------|
| Model 3: | 6C | |
| <u>Description</u> | <u>Value</u> | <u>Unit</u> |
| a) Number of building stories (typical) | 2.00 | |
| o) Total Building Square Footage (typical) | 12,159.00 | Square Feet |
| c) Number of bedrooms (typical) | 18.00 | |
| d) Number of enclosed parking spaces (typical) | 12.00 | |
| e) Exterior Material List (including colors) for all build | ings and accesso | ory strutures: |
| Asphalt roof shingles: Pewter. Vinyl lap siding: Colon | ial White, Granite | e Gray, Slate. Vinyl board and |

BUILDING ELEVATION LEGEND

SD-1 VINYL LAP SIDING, COLONIAL WHITE

SD-2 VINYL LAP SIDING, GRANITE GRAY SD-2 VINYL LAP SIDING, SLATE



ST-1 STONEWORKS COUNTRY SQUIRE CUT STONE, TBD

TR-1 PVC TRIM BOARD & FIBER CEMENT PANEL, COLONIAL WHITE TR-2 PVC TRIM BOARD & FIBER CEMENT PANEL, GRANITE GRAY TR-3 PVC TRIM BOARD & FIBER CEMENT PANEL, SLATE

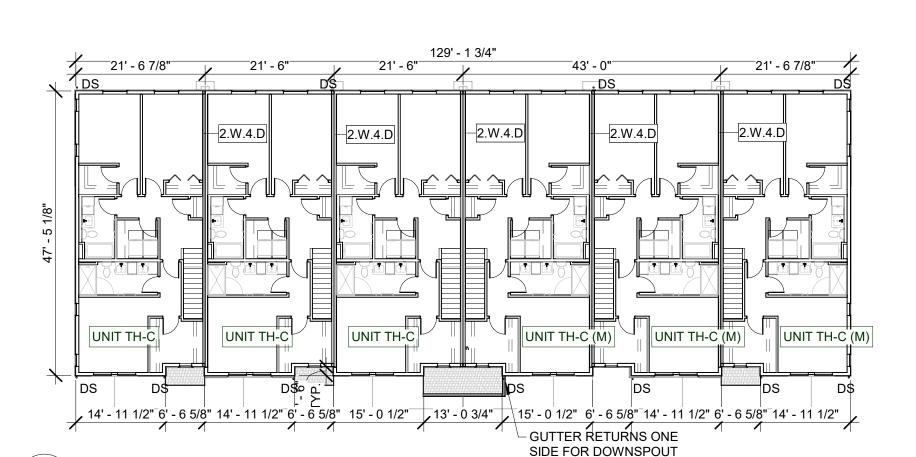


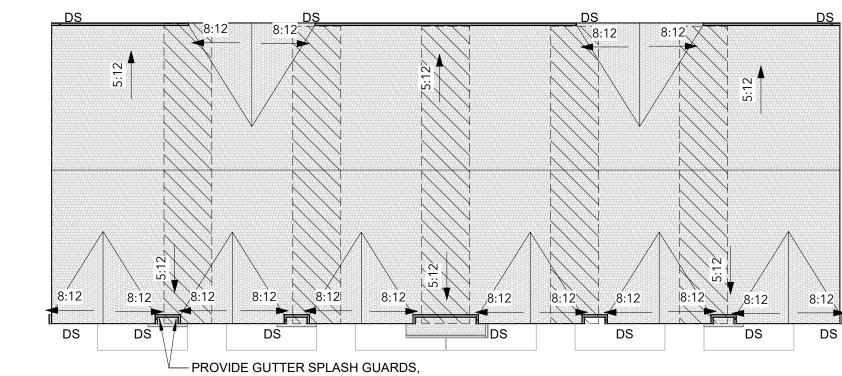
G-1 GUTTERS & DOWNSPOUTS, BLACK

G-2 GUTTERS & DOWNSPOUTS, WHITE

AS ADDRESS SIGN

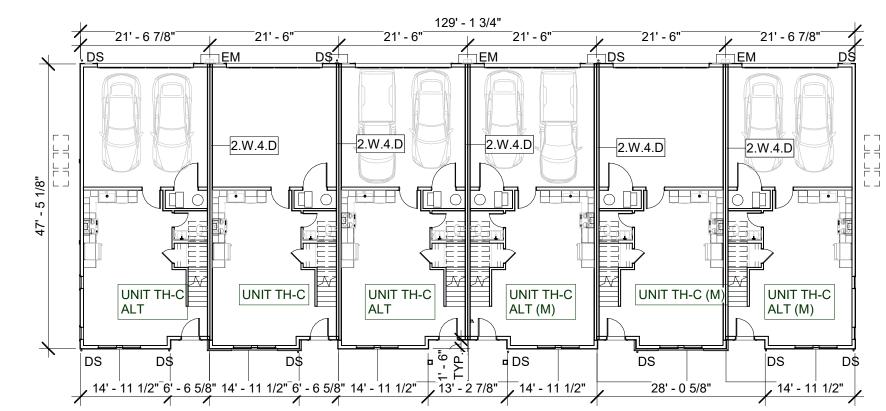
EM ELECTRICAL METER WITH FIBER CEMENT PANEL FOR MOUNTING.





TYP. ALL INSIDE CORNERS

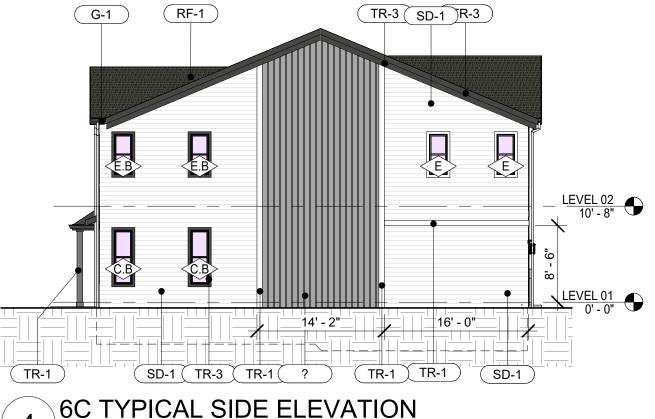
SCALE: 1/16" = 1'-0"



6C LEVEL 1 PLAN SCALE: 1/16" = 1'-0"



6C SIDE ELEVATION AT MAJOR STREETS (AS100 NOTE b) / SCALE: 3/32" = 1'-0"



6C TYPICAL SIDE ELEVATION

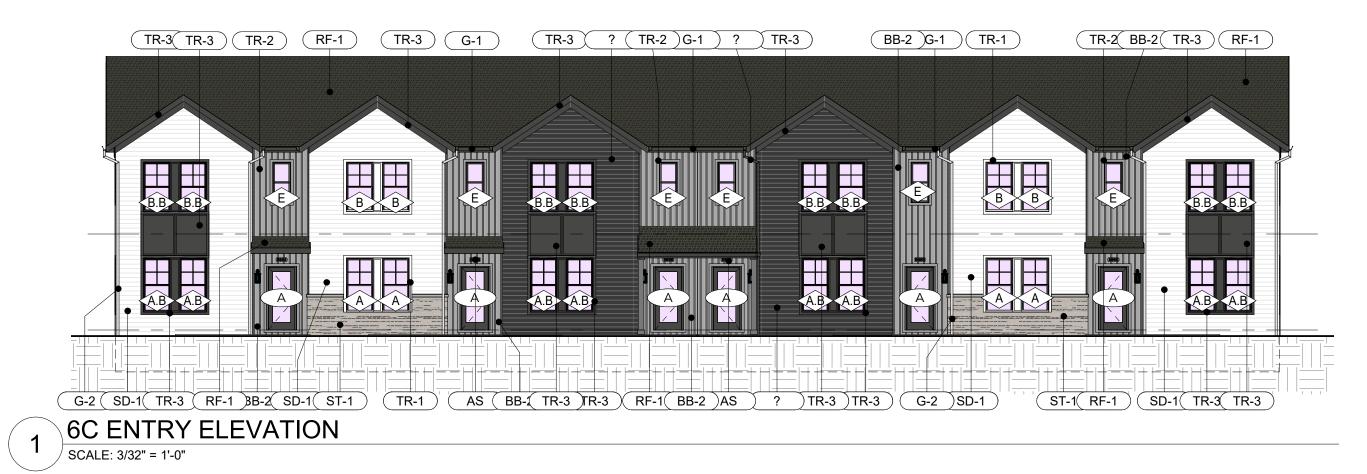
6C LEVEL 2 PLAN

SCALE: 1/16" = 1'-0"



6C GARAGE ELEVATION





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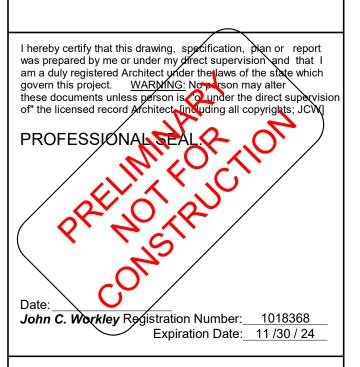
Cleveland, OH 44115 new york.

530 5th Avenue, 16th Floor

New York City, NY 10036

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PROPOSED NEW CONSTRUCTION FOR:

Heyday Aurora

Independence Drive and **Constitution Drive** Aurora IL 60506

JOB NUMBER: 240209-00

DRAWING RELEASE:

06/03/2025 CIVIL SUBMISSION

SHEET TITLE:

BUILDING PLANS & ELEVATIONS 6C

SHEET NUMBER:

A100.6C













2B BUILDING RENDERINGS FOR REFERENCE





5B BUILDING RENDERINGS AT MAJOR STREETS (AS100 NOTES a & b)







5B BUILDING RENDERINGS FOR REFERENCE





6B BUILDING RENDERINGS AT MAJOR STREETS (AS100 NOTES a & b)



6B BUILDING RENDERINGS FOR REFERENCE



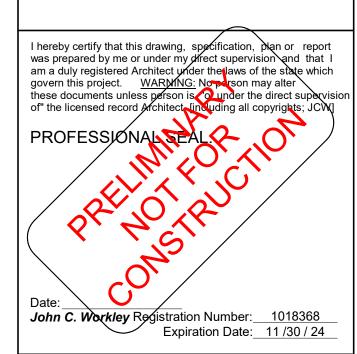


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PROPOSED NEW CONSTRUCTION FOR:

Heyday Aurora

Independence Drive and Constitution Drive Aurora IL 60506

JOB NUMBER: 240209-00

DRAWING RELEASE: No. Date Description
06/03/2025 CIVIL SUBMISSION

SHEET TITLE:

RENDERED VIEWS FOR REFERENCE

SHEET NUMBER:

A200



2C BUILDING RENDERINGS FOR REFERENCE







5C BUILDING RENDERINGS AT MAJOR STREETS (AS100 NOTES a & b)



5B BUILDING RENDERINGS FOR REFERENCE





6C BUILDING RENDERINGS AT MAJOR STREETS (AS100 NOTES a & b)



6C BUILDING RENDERINGS FOR REFERENCE







PROPOSED NEW CONSTRUCTION FOR:

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Independence Drive and Constitution Drive Aurora IL 60506

JOB NUMBER: 240209-00

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06/03/2025 CIVIL SUBMISSION

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RENDERED VIEWS FOR REFERENCE

SHEET NUMBER:

A201

