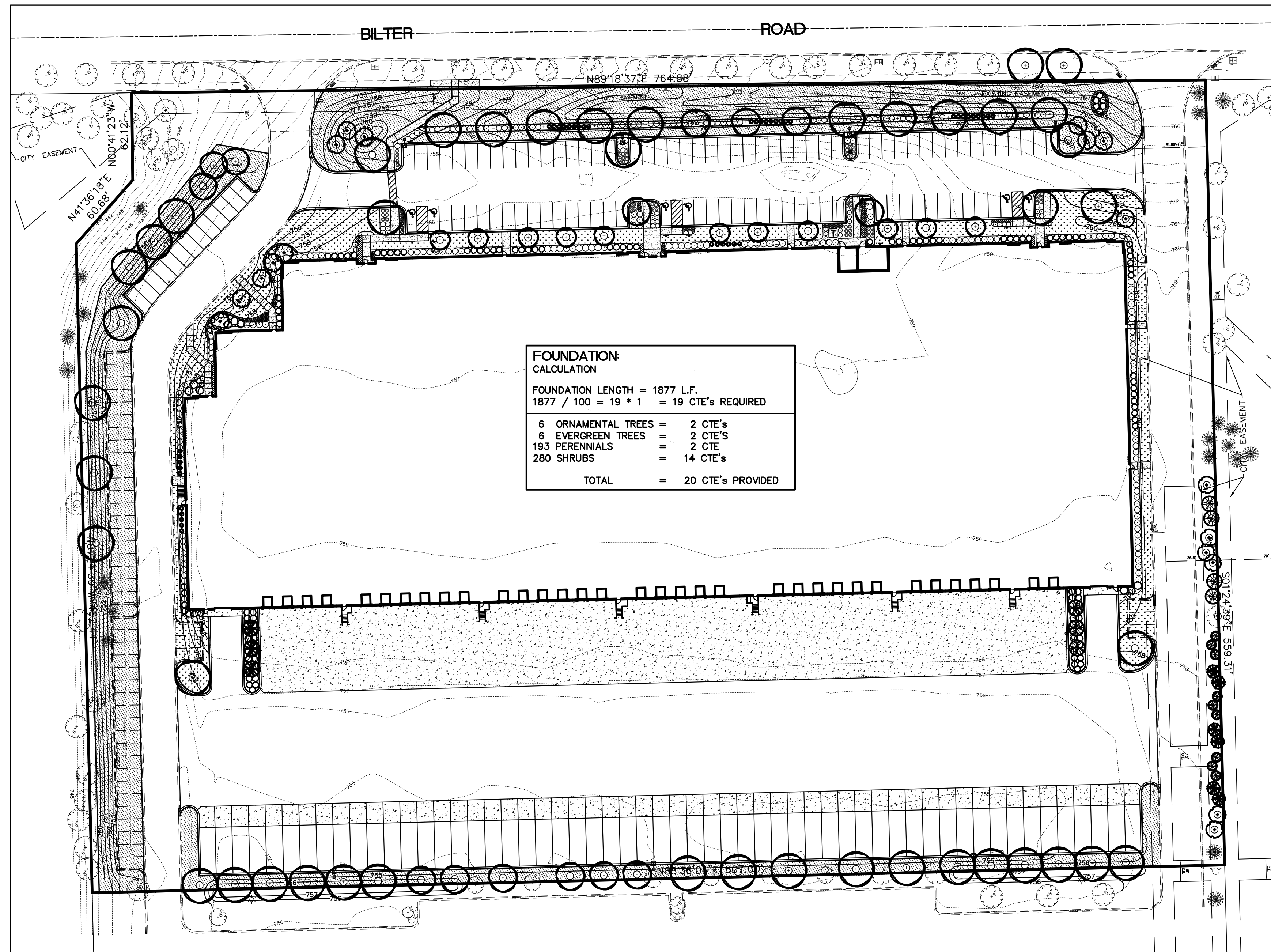
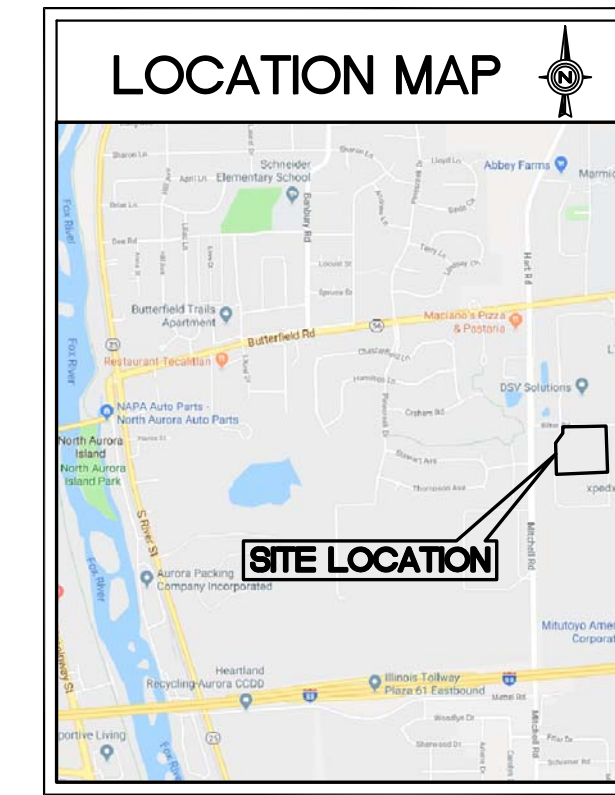


LANDSCAPE PLAN

FOR
LOT 1A OF THE WEST RIDGE CORPORATE CENTER
PHASE III 1ST RESUBDIVISION



Landscape Data Table: CTEs Provided

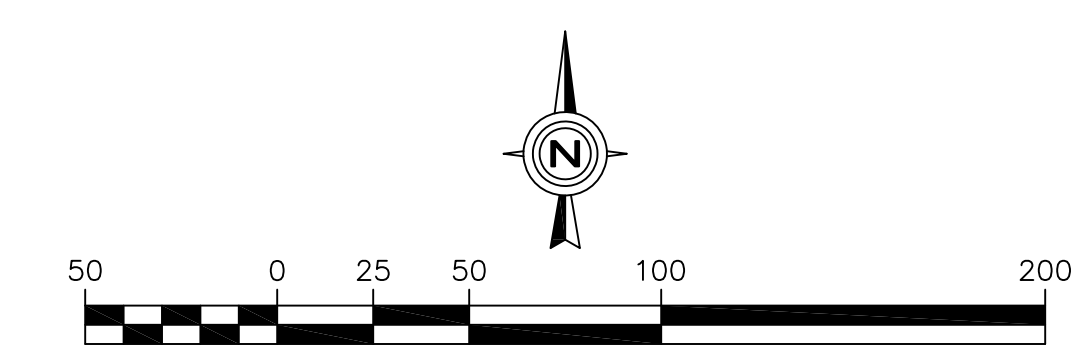
	CTE Value	Count Provided	Total CTEs Provided
Canopy Trees	1	86	86
Evergreen Trees	1/3	25	8
Understory Trees	1/3	18	6
Deciduous Shrubs	1/20	287	14
Evergreen Shrubs	1/20	193	10
Total:		609	124

Landscape Data Table: Planting Material Key
 Note: Symbols are clockwise for proposed landscape for existing

Canopy Trees (minimum size 2.5 caliper) Count:	86
Evergreen Trees (minimum size 6 feet) Count:	25
Understory Trees (minimum size 2.5 caliper or 8 feet if multi-stemmed) Count:	18
Evergreen Shrubs (minimum of 18 inches) Count:	193
Deciduous Shrubs (minimum of 18 inches) Count:	287
Ornamental Grasses Count:	66
Perennials Count:	129
Annuals Count:	0
Groundcover Square Footage:	0
Turf (Seeded) Square Footage:	37700
Turf (Sod) Square Footage:	14425
Native Prairie Planting Square Footage:	0
Native Wetland Planting Square Footage:	0

LEGEND

EXISTING	DESCRIPTION	PROPOSED
○	CATCH BASIN	○
○	WELL	○
○	STORM MANHOLE	○
○	SAWNEY MANHOLE	○
○	VALVE VAULT	○
○	PIE HOUSING	○
○	FLARED END SECTION	○
○	ELECTRIC POWER POLE	○
○	OVERHEAD TRAFFIC SIGNAL	○
○	TRAFFIC SIGNAL MANHOLE	○
○	OVERHEAD ELECTRIC WIRES	○
○	TRANSFORMER PAD	○
○	RAIL TELEPHONE PESTICIDE	○
○	TELEPHONE MANHOLE	○
○	RAIL TELEPHONE PESTICIDE	○
○	COMMONWEALTH EDISON MANHOLE	○
○	IRON	○
○	LIGHT POLE	○
○	SOIL	○
○	ROLLING POLE	○
○	GAS MANHOLE	○
○	ELECTRIC MANHOLE	○
○	TELEPHONE MANHOLE	○
○	WATER MAIN	○
○	GAS MAIN	○
○	ELECTRIC LINE	○
○	TELEPHONE LINE	○
○	CABLE TV LINE	○
○	SANITARY SEWER	○
○	STONE VENT	○
○	SUN POLE	○
○	CONFIRMED TREE W/DIAMETER	○
○	DECIDUOUS TREE W/DIAMETER	○
○	WOOD FENCE	○
○	CHAIN LINK FENCE	○
○	METAL SURFACING	○
○	CONCRETE SURFACE	○
○	CONTOUR LINE	○
○	FINISHED FLOOR ELEVATION	○
○	PAVEMENT ELEVATION	○
○	MATRY EXISTING ELEVATION	○
○	GROUND ELEVATION	○
○	TOP OF WALL ELEVATION	○
○	TOP OF RETAINING WALL ELEVATION	○
○	FLOW LINE ELEVATION	○
○	TOP OF CURB ELEVATION	○
○	FIN ELEVATION	○
○	CONCRETE W/DIR DIRECTION	○
○	PAVEMENT SLOPE DIRECTION	○
○	OVERHEAD OVERFLOW DIRECTION	○
○	INLET PROTECTION	○
○	INLET BASKET FILTER	○



OVERALL LANDSCAPE PLAN

DATE: 9/23/19
 REVISIONS: 10/25/19
 NO. 1 PER SIDEWALK, REVISION AND CITY COMMENTS
 NO. 2 PER SIDEWALK, REVISION AND CITY COMMENTS

Prepared For:
 Liberty Property Trust
 9700 W. Higgins Road, Suite 690
 Rosemont, IL 60018
 LANDSCAPE PLAN
 Lot 1A of the West Ridge Corporate Center
 Phase III 1st Resubdivision

Prepared By:
Watermark Engineering Resources, Ltd.
 2631 Ginger Woods Parkway, Suite 100, Aurora, IL 60502
 phone 630-375-1800 fax 630-236-9600 www.watermark-engineering.com

CHECKED BY: B. PERRY
 DESIGN BY: K. PRICE
 DRAWN BY: K. PRICE
 DATE: SEPTEMBER 6, 2019
 SCALE: 1" = 50'
 PROJECT NO.: 19-060

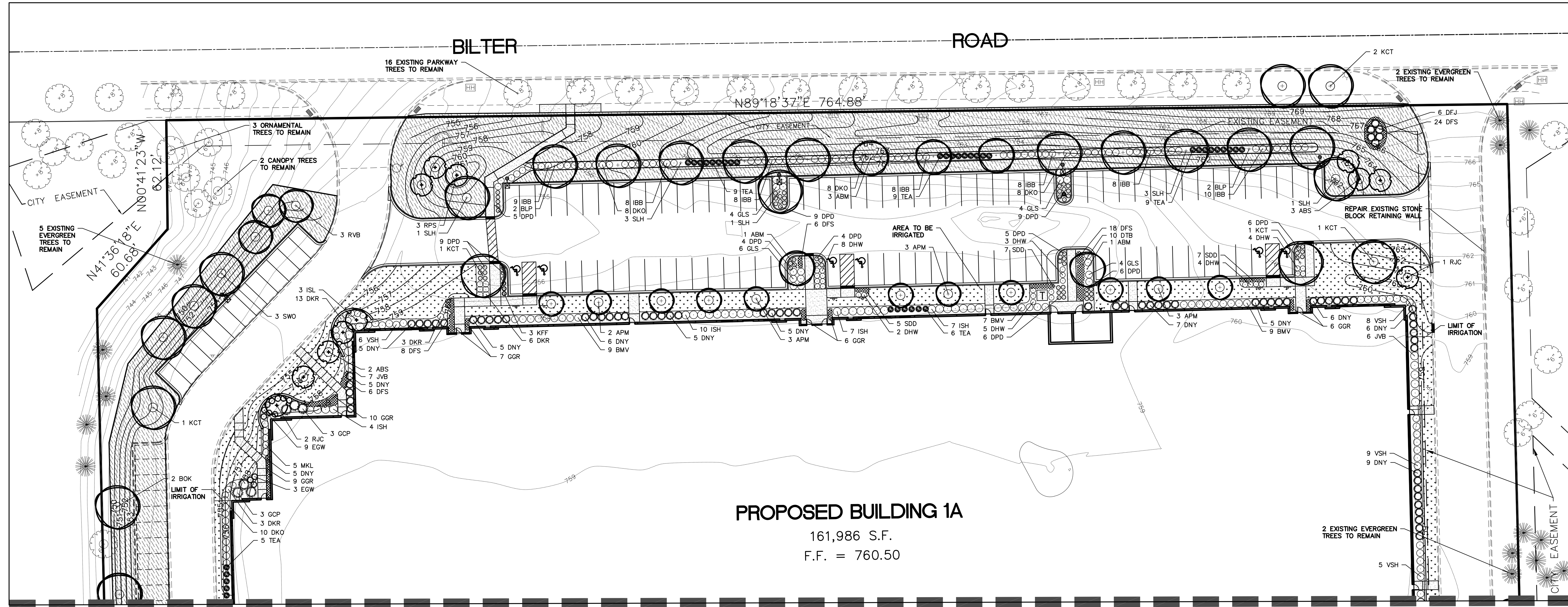
L-10

OVERALL LANDSCAPE PLAN



LANDSCAPE PLAN

FOR
 LOT 1A OF THE WEST RIDGE CORPORATE CENTER
 PHASE III 1ST RESUBDIVISION

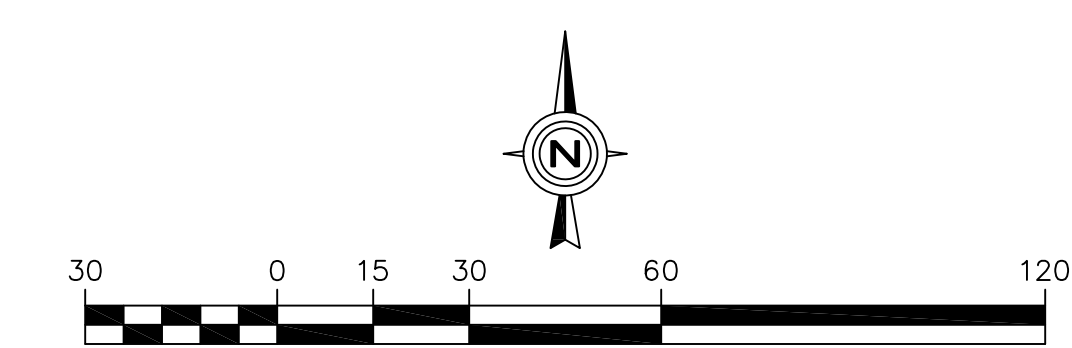


PROPOSED BUILDING 1A

161,986 S.F.
 F.F. = 760.50

MATCH LINE A-A

EXISTING	DESCRIPTION	PROPOSED
○	UTILITY BASH	○
○	INLET	○
○	STORM MANHOLE	○
○	SANITARY MANHOLE	○
○	VALVE W/KEY	○
○	FIRE HYDRANT	○
○	FLARED END SECTION	○
○	ELECTRICAL POWER POLE	○
○	OVERHEAD TRAFFIC SIGNAL	○
○	TRAFFIC SIGNAL MANHOLE	○
○	OVERHEAD ELECTRIC WIRES	○
○	TRANSFORMER PAD	○
○	TELEPHONE PEDESTAL	○
○	TELEPHONE MANHOLE	○
○	CABLE TELEVISION PEDESTAL	○
○	COMMERCIAL/INDUS. MANHOLE	○
○	LIGHT POLE	○
○	BOLLARD POLE	○
○	GAS MANHOLE	○
○	ELECTRIC MANHOLE	○
○	TELEPHONE MANHOLE	○
○	WATER MANHOLE	○
○	GAS MANHOLE	○
○	ELECTRIC LINE	○
○	TELEPHONE LINE	○
○	CABLE TV LINE	○
○	SANITARY SENDER	○
○	STORM SENDER	○
○	QUIET POLE	○
○	CONIFEROUS TREE W/DIAMETER	○
○	DECIDUOUS TREE W/DIAMETER	○
○	WOOD FENCE	○
○	CHAIN LINK FENCE	○
○	METAL GUARDRAIL	○
○	CONCRETE SURFACE	○
○	CONTOUR LINE	○
○	FINISHED FLOOR ELEVATION	○
○	PAVEMENT ELEVATION	○
○	GRASS ELEVATION	○
○	TOP OF BANK ELEVATION	○
○	TOP OF RETAINING WALL ELEVATION	○
○	FLOOR FINISH ELEVATION	○
○	TOP OF CURB ELEVATION	○
○	FIN ELEVATION	○
○	DOWN SLOPE DIRECTION	○
○	UP SLOPE DIRECTION	○
○	OVERLAND OVERFLOW DIRECTION	○
○	INLET PROTECTION	○
○	INLET BASKET FILTER	○



NORTHERN
 LANDSCAPE PLAN

NO.	REVISIONS	DATE
1	PER SIDEWALK REVISION AND CITY COMMENTS DATED 9/16/19	9/23/19
2	PER SIDEWALK REVISION AND CITY COMMENTS	10/25/19

Prepared For:
 Liberty Property Trust
 9700 W. Higgins Road, Suite 690
 Rosemont, IL 60018
 LANDSCAPE PLAN
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 Phase III 1st Resubdivision

Prepared By:

 2631 Ginger Woods Parkway, Suite 100, Aurora, IL 60502
 phone 630-375-1800 fax 630-236-9800 www.watermark-engineering.com

CHECKED BY: B. PERRY
 DESIGN BY: K. PRICE
 DRAWN BY: K. PRICE
 DATE: SEPTEMBER 6, 2019
 SCALE: 1" = 30'
 PROJECT NO.: 19-060

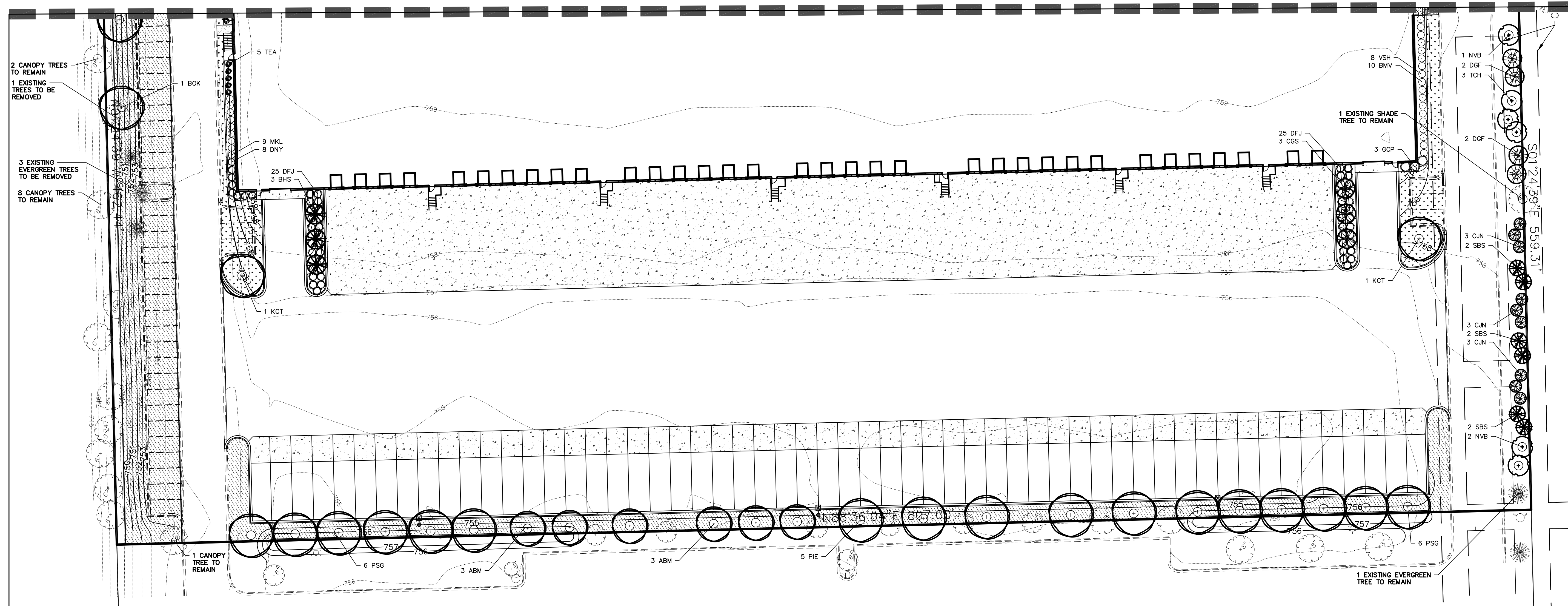
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NORTHERN LANDSCAPE PLAN

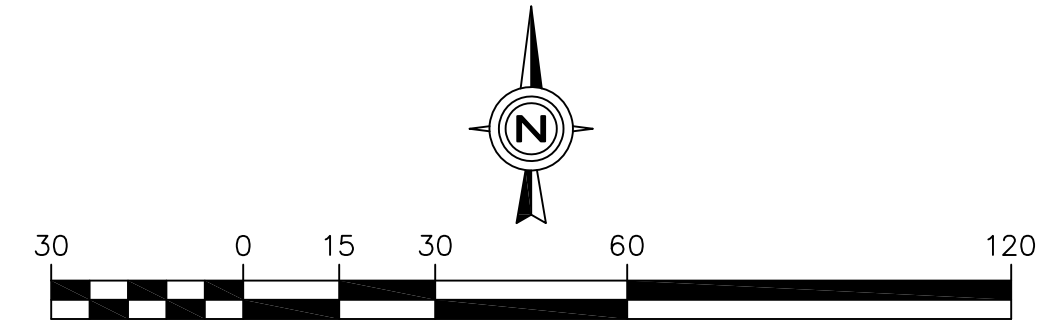
LANDSCAPE PLAN

FOR
 LOT 1A OF THE WEST RIDGE CORPORATE CENTER
 PHASE III 1ST RESUBDIVISION

MATCH LINE A-A



EXISTING	DESCRIPTION	PROPOSED
○	CATCH BASIN	○
○	INLET	○
○	STORM MANHOLE	○
○	WASTEWATER MANHOLE	○
○	SEWER MANHOLE	○
○	WATER MAIN	○
○	FIRE HYDRANT	○
○	FLUORIDATED SECTION	○
○	ELECTRICAL POWER POLE	○
○	COMMERCIAL TRAFFIC SIGNAL	○
○	TRAFFIC SIGNAL MANHOLE	○
○	TELEPHONE ELECTRIC WIRE	○
○	TRANSFORMER PAD	○
○	TELEPHONE FEEDER	○
○	TELEPHONE MANHOLE	○
○	CABLE TELEVISION FEEDER	○
○	COMMONWEALTH EDISON MANHOLE	○
○	8' BOX	○
○	LIGHT POLE	○
○	SON	○
○	BILLING POLE	○
○	GAS MARKER	○
○	ELECTRIC MARKER	○
○	TELEPHONE MARKER	○
○	WATER MAIN	○
○	GAS MAIN	○
○	ELECTRIC LINE	○
○	TELEPHONE LINE	○
○	CABLE TV LINE	○
○	SAFETY EDGE	○
○	STORM GUTTER	○
○	50' PILE	○
○	CONFIRMED TREE W/DIAMETER	○
○	DECIDUOUS TREE W/DIAMETER	○
○	WOOD FENCE	○
○	CHAIN LINK FENCE	○
○	METAL GUARDRAIL	○
○	CONCRETE SURFACE	○
○	CONTOUR LINE	○
○	FINISHED FLOOR ELEVATION	FF
○	PAVED ELEVATION	PE
○	WATER EXISTING ELEVATION	WE
○	GRADE ELEVATION	GE
○	TOP OF MANK ELEVATION	TM
○	TOP OF RETAINING WALL ELEVATION	TR
○	FINISH ELEVATION	FE
○	TOP OF CURB ELEVATION	TC
○	DOWNPOUT LOCATION	DL
○	OVERLAND DRAINAGE DIRECTION	OD
○	PAVEMENT SLOPE DIRECTION	PS
○	OVERLAND DRAINAGE DIRECTION	OD
○	INLET PROJECTION	IP
○	INLET MARKET FILTER	IM



SOUTHERN
 LANDSCAPE PLAN

NO.	REVISIONS	DATE
1	PER SIDEWALK REVISION AND CITY COMMENTS DATED 9/16/19	9/23/19
2	PER SIDEWALK REVISION AND CITY COMMENTS	10/25/19

Prepared For:
 Liberty Property Trust
 9700 W. Higgins Road, Suite 690
 Rosemont, IL 60018
 LANDSCAPE PLAN
 Lot 1A of the West Ridge Corporate Center
 Phase III 1st Resubdivision

Prepared By:

 2631 Ginger Woods Parkway, Suite 100, Aurora, IL 60502
 phone 630-375-7800 fax 630-238-9800 www.watermark-engineering.com

CHECKED BY: B. PERRY
 DESIGN BY: K. PRICE
 DRAWN BY: K. PRICE
 DATE: SEPTEMBER 6, 2019
 SCALE: 1" = 30'
 PROJECT NO.: 19-060
 L-12

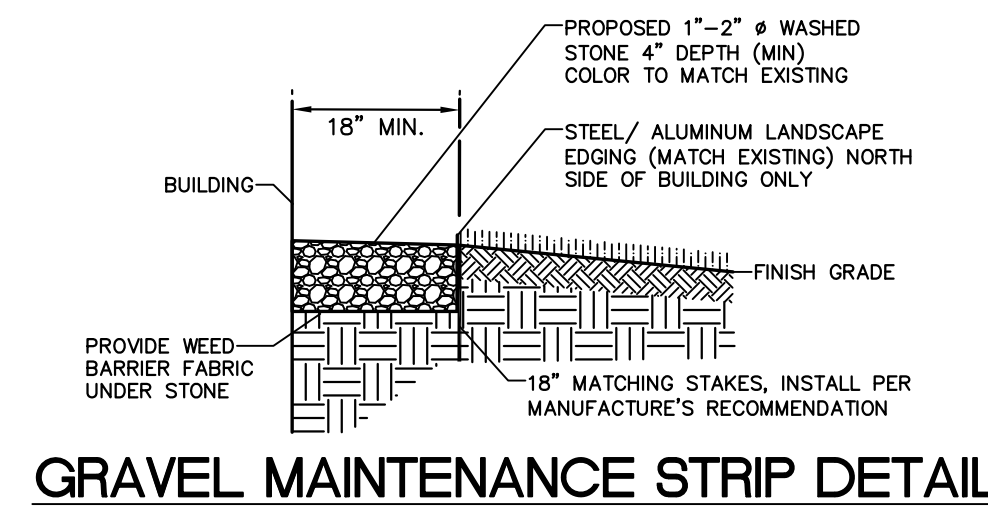
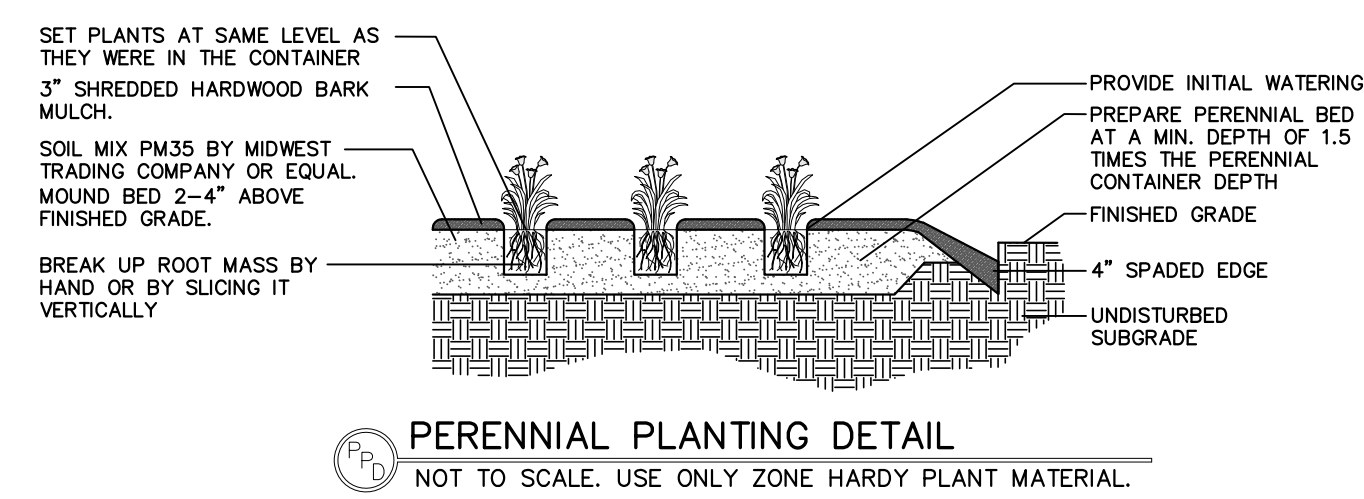
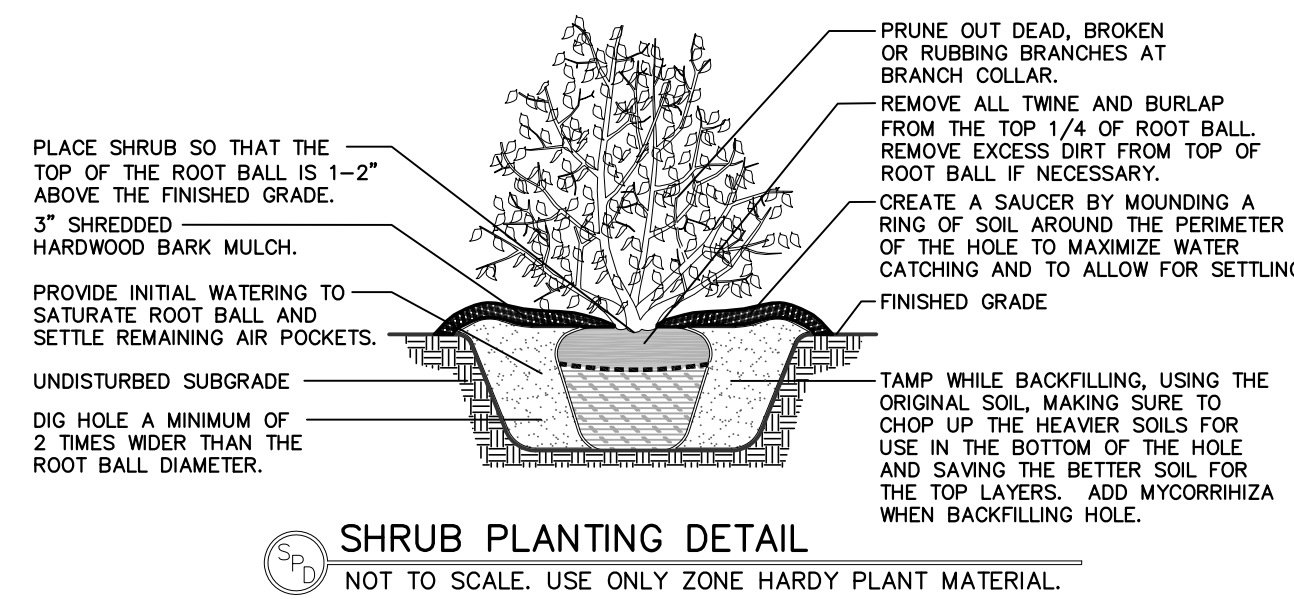
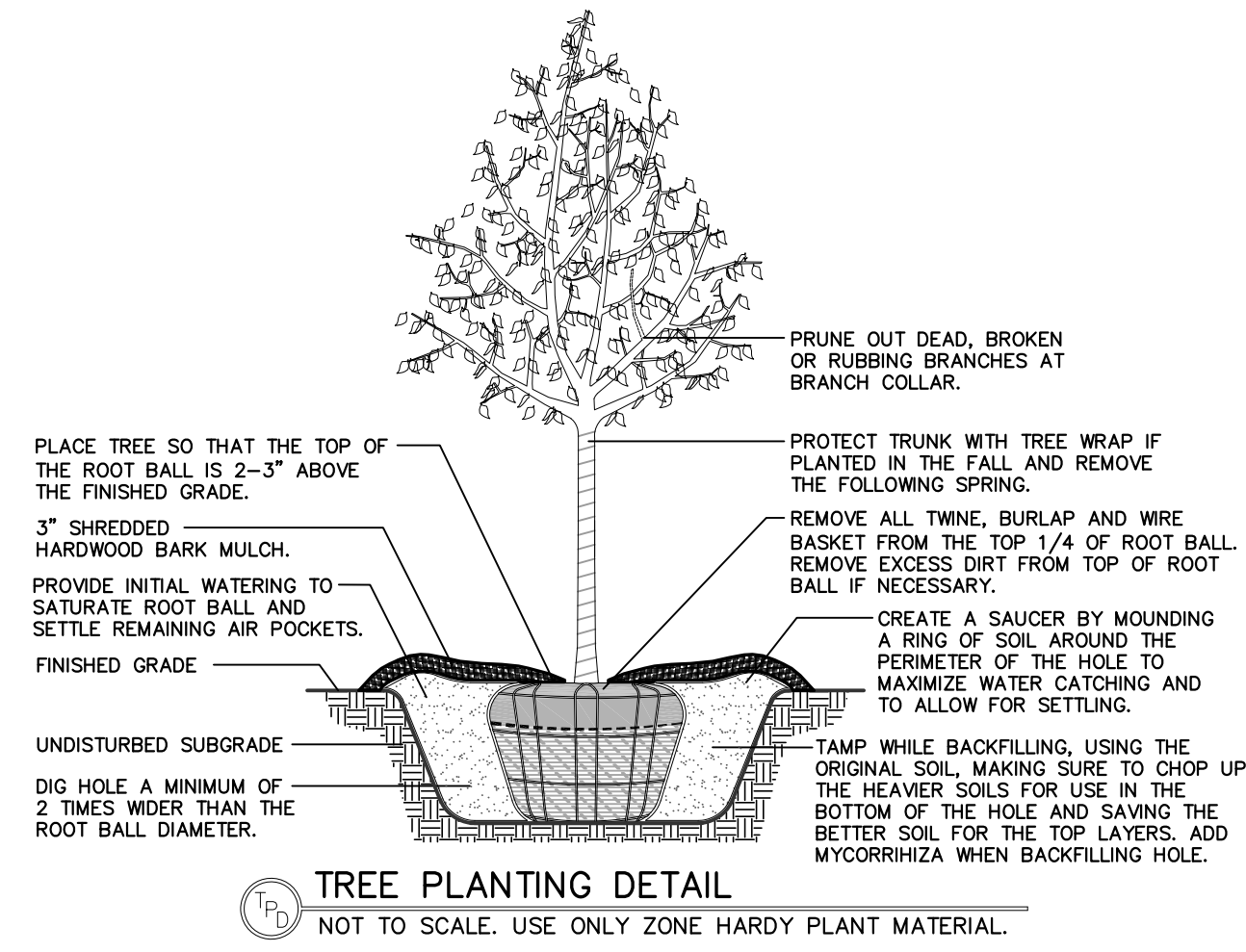
SOUTHERN LANDSCAPE PLAN

LANDSCAPE PLAN

FOR LOT 1A OF THE WEST RIDGE CORPORATE CENTER PHASE III 1ST RESUBDIVISION

LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE HARDY TO THE ZONE IT IS BEING PLANTED IN. ALL TREES AND SHRUBS ARE TO BE BALLED AND BURLAPED UNLESS OTHERWISE NOTED AND SHALL BE GROWN IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT.
- PLANT SIZES CALLED OUT ON THIS PLAN ARE THE MINIMUM SIZE REQUIRED. PLANTS WHICH FAIL TO MEET THE SIZES LISTED, SHALL BE REJECTED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR MUST VERIFY ALL MATERIAL QUANTITIES AS DEPICTED ON THE DRAWING. THE PLANT LIST PROVIDED ON THIS PLAN IS FOR CONVENIENCE ONLY.
- SUBSTITUTIONS MAY NOT BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT/DESIGNER.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES AND UTILITY LOCATORS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOT BEGIN ANY WORK ON-SITE UNTIL ALL UTILITIES HAVE BEEN LOCATED. CONTRACTOR SHALL OBTAIN "AS-BUILT" PLANS FOR ALL IRRIGATION AND LIGHTING PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITIES INCLUDING IRRIGATION AND LIGHTING. ALL DAMAGE SHALL BE REPAIRED TO A NEW CONDITION IN ACCORDANCE WITH ALL CODES AT NO COST TO THE OWNER - SEE NOTE 5.
- ALL UNSUITABLE MATERIAL (CONCRETE, AGGREGATE STONE, CRUSHED ASPHALT, BRICK, ETC.) SHALL BE REMOVED, INCLUDING HAUL OFF, PRIOR TO PLANTING AND SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- SOIL MIX PM35 BY MIDWEST TRADING COMPANY OR EQUAL SHALL BE ROTOTILLED INTO ALL PERENNIAL AND ANNUAL PLANTING BEDS PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL. A SLOW RELEASE, GRANULAR FERTILIZER SHALL BE APPLIED TO ALL ANNUAL AND PERENNIAL PLANTING BEDS AT THE RECOMMENDED RATE, AND SHALL BE ROTOTILLED IN WITH THE ABOVE SOIL MIXTURE BEFORE THE PLANT MATERIAL IS INSTALLED.
- CONTRACTOR TO PROVIDE THOROUGH INITIAL WATERING OF ALL PLANTINGS WITHIN 12 HOURS OF INSTALLATION TO ENSURE ALL AIR POCKETS HAVE BEEN REMOVED AROUND ROOT BALL.
- ALL PLANT BED AREAS ARE TO BE MULCHED WITH 3" OF DOUBLE SHREDDED HARDWOOD MULCH AND SHALL BE SEPARATED WITH A SPADE EDGE ALONG PERIMETERS ADJACENT TO TURF AREAS. FINAL GRADE (AFTER SETTLING) SHALL BE 1" BELOW ADJACENT CURBS.
- ALL TURF AREAS ARE TO BE A MINIMUM OF A FIVE WAY BLUEGRASS BLEND, UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL INSTALLED TURF AREAS UNTIL TIME OF KNOTTING. IF TURF SEED AND SOD OCCUR ON THE SAME PROJECT, CONTRACTOR SHALL VERIFY AND USE SEED MIXTURES TO MATCH SOD.
- AREAS TO BE SODDED SHALL BE WITH AN "APPROVED TURFGRASS SOD" OF PREMIUM GRADE. SOD SHALL BE A 5 WAY BLEND OF IMPROVED KENTUCKY BLUEGRASS VARIETIES THAT HAS BEEN GROWN LOCALLY TO THE PROJECT SITE. SOD MUST BE MATURED FOR 2 FULL GROWING SEASONS PRIOR TO HARVEST CUTTING AND BE HEALTHY WITH WELL ESTABLISHED ROOTS. SOD SHALL BE FREE OF DISEASE, INSECTS AND DEBRIS. SOD SHALL BE UNIFORM IN LEAF COLOR, TEXTURE, AND DENSITY. SOD SHALL BE DELIVERED, INSTALLED, AND WATERED WITHIN 24 HOURS OF HARVEST IN WHICH TEMPERATURES DO NOT EXCEED 90 DEGREES (F) NOR LESS THAN 55 DEGREES (F). SOD SHALL BE MACHINE-CUT AT A MINIMUM UNIFORM SOIL THICKNESS (1.5" OF SOD IS DESIRED) BUT SOD THICKNESS SHALL BE A THICKNESS NECESSARY FOR PLANT VIABILITY. SOD SHALL BE LAID IN STAGGERED STRAIGHT LINES, TIGHTLY AGAINST EACH OTHER WITHOUT STRETCHING OR OVERLAPPING. SOD STAKES SHALL USED ON ALL SLOPES 4:1 OR GREATER.
- CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS (INTENDED OR UNINTENDED) AT A MINIMUM, TO THE ORIGINAL CONDITION UNLESS OTHERWISE NOTED.
- THE EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS INTENDED SOLELY TO IDENTIFY THEM AS OBSERVED IN THE FIELD. THIS PLAN DOES NOT MAKE ANY CLAIMS ABOUT THE CONDITION OR SAFETY OF ANY OF THE PLANT MATERIAL DESCRIBED HEREIN OR OBSERVED IN THE FIELD.
- ALL TRANSPLANTED PLANT MATERIAL MUST BE INSTALLED IMMEDIATELY UPON EXTRACTION FROM ITS ORIGINAL LOCATION, UNLESS SPECIFIC ARRANGEMENTS HAVE BEEN MADE WITH THE LANDSCAPE ARCHITECT/DESIGNER. SHOULD IT BECOME UNREASONABLE TO TRANSPLANT ANY OF THE PLANT MATERIAL AS DESCRIBED IN THIS PLAN, DUE TO SITE CONSTRAINTS OR OTHERWISE, CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT/DESIGNER TO MAKE ALTERNATIVE ARRANGEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE HEALTH AND VIABILITY OF THE PROPOSED PLANT MATERIAL INCLUDING WATERING, PROTECTION FROM PHYSICAL DAMAGE FROM THE TIME PLANT IS SELECTED THROUGH ITS INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL REMAINING PLUMB UNTIL THE END OF THE GUARANTEE PERIOD. PLANTS MAY NOT BE STAKED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT/DESIGNER.
- CONTRACTOR TO GUARANTEE PLANT MATERIAL AND LABOR FOR A MINIMUM OF ONE YEAR FROM THE TIME OF INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH AND ABIDING BY THE LANDSCAPE ORDINANCES FOR THE SPECIFIC JURISDICTION IN WHICH THE WORK IS TAKING PLACE.
- BIDDERS SHALL BE RESPONSIBLE FOR EXAMINING THE SITE, PRIOR TO PREPARING BID, TO BECOME FAMILIAR WITH THE SPECIFIC SITE CONSTRAINTS.
- ALL EXISTING ON-SITE PLANT MATERIAL NOT EFFECTED BY CONSTRUCTION OR THE PROPOSED LANDSCAPE, SHALL BE PROTECTED AS PART OF THIS PLAN. EXISTING LANDSCAPE IN AREAS OF CONSTRUCTION AND PROPOSED LANDSCAPE SHALL BE REMOVED AS PART OF THIS PLAN.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF ALL THE ITEMS SHOWN ON THE PLANS.
- IF IRRIGATION IS DEEMED NECESSARY, THE DESIGN AND INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. AN IRRIGATION PLAN ALONG WITH AN AS BUILT OF THE IRRIGATION SYSTEM SHALL BE PREPARED FOR OWNER REVIEW AND APPROVAL. CONTRACTOR SHALL GUARANTEE PERFORMANCE, PARTS, AND LABOR FOR A PERIOD OF 1 YEAR FROM THE DATE OF FINAL APPROVAL.
- IF EXISTING IRRIGATION IS PRESENT ON SITE, CONTRACTOR SHALL ADJUST, ADD TO, OR SUBTRACT FROM, THE EXISTING IRRIGATION SYSTEM TO ACCOMMODATE ANY PROPOSED ALTERATIONS/ADDITIONS TO THE EXISTING LANDSCAPE. CONTRACTOR SHALL PROVIDE THE OWNER AN AS BUILT OF THE IRRIGATION SYSTEM AND ALL CHANGES TO THE SYSTEM AFFECTED BY THIS PROJECT.
- PROVIDE TOPSOIL RE-SPREAD PER THE FOLLOWING UNLESS OTHERWISE NOTED:
 - 4" MINIMUM IN GRASS OR SOD AREAS
 - 6" MINIMUM IN PLANTING AREAS
 - 12" MINIMUM IN LANDSCAPE ISLANDS



Landscape Implementation Data Table: Plant List by Category							
	QTY	Percent	SYM	BOTANICAL NAME (Family / Genus / Species)	COMMON NAME	SIZE	COMMENTS
Canopy Trees	11	13%	APM	Acer saccharum 'Barrett Cole'	Apollo Columnar Sugar Maple	2 1/2" Cal.	
	11	13%	ABM	Acer x fremanii 'Jeffersred'	Autumn Blaze Maple	2 1/2" Cal.	
	3	3%	RVB	Betula nigra 'Cully Heritage'	Heritage River Birch	14' HT.	Multi-stem
	12	14%	PSG	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2 1/2" Cal.	
	9	10%	SLH	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	2 1/2" Cal.	
	8	9%	KCT	Gymnocladus dioicis (Male Only)	Kentucky Coffee Tree	2 1/2" Cal.	
	4	5%	BLP	Plantanus acerifolia 'Bloodgood'	London Planetree	2 1/2" Cal.	
	3	3%	SWO	Quercus bicolor	Swamp White Oak	2 1/2" Cal.	
	3	3%	BOK	Quercus macrocarpa	Bur Oak	2 1/2" Cal.	
	5	6%	PIE	Ulmus 'Pioneer'	Pioneer Smoothleaf Elm	2 1/2" Cal.	
	17	20%	N/A	Existing Canopy Trees to remain	Species Varies	N/A	
Total:	86	100%					
Evergreen Trees	9	36%	CNJ	Juniperus virginiana 'Canaertii'	Canaertii Juniper	6'	
	3	12%	BHS	Picea glauca var. densata	Black Hills Spruce	6'	
	6	24%	SBS	Picea omorika	Serbian Spruce	6'	
	3	12%	CGS	Picea pungens	Colorado Green Spruce	6'	
	4	16%	DGF	Psuedotsuga menziesii	Douglas Fir	6'	
		8	32%	N/A	Existing Evergreen Trees to remain	Species Varies	N/A
Total:	25	100%					
Understory Trees	3	17%	ABS	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6'	
	3	17%	RPS	Cotinus cogygia 'Royal Purple'	Royal Purple Smokebush	6'	
	3	17%	TCH	Crataegus crugali val. inermis	Thornless Cockspur Hawthorn	6'	
	3	17%	RJC	Malus 'Red Jewel'	Red Jewel Crabapple	6'	
	3	17%	ISL	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	6'	
		3	17%	N/A	Existing Ornamental Trees to remain	Species Varies	N/A
Total:	18	100%					
Deciduous Shrubs	57	20%	IBB	Aronia melanocarpa 'Morton'	Iriquois Beauty Black Chokeberry	5 Gal.	
	34	12%	DKO	Diervilla 'G2X88544'	Deirvilla Kodiak Orange	5 Gal.	
	28	10%	ISH	Hydrangea arborescens 'NCHA2'	Invincible Spirit II Hydrangea	5 Gal.	
	34	12%	VSH	Hydrangea paniculata 'Renny'	1st Edition Vanilla Strawberry Hydran	5 Gal.	
	18	6%	GLS	Rhus aromatica 'Grow-Low'	Grow-Low Sumac	5 Gal.	
	28	10%	DKR	Rosa 'Radtko'	Double Knock Out Rose	3 Gal.	
	14	5%	MKL	Syringa patula 'Miss Kim'	Miss Kim Lilac	5 Gal.	
	35	12%	BMV	Viburnum dentatum 'Christom'	Blue Muffin Viburnum	5 Gal.	
	13	5%	JVB	Viburnum x juddii	Judd Viburnum	36"	
		26	9%	DHW	Weigela x 'Dark Horse'	Dark Horse Weigela	3 Gal.
Total:	287	100%					
Evergreen Shrubs	12	6%	GCP	Chamaecyparis pisifera 'Dow Whiting'	Soft Serve Cypress	5 Gal.	
	9	5%	EGW	Euonymus fortunei 'Emerald Gaiety'	Emerald Gaiety Wintercreeper	5 Gal.	
	56	28%	DFJ	Juniperus chinensis 'Daub's Frosted'	Daub's Frosted Juniper	5 Gal.	
	73	38%	DNY	Taxus x media 'Densiformis'	Densiformis Yew	5 Gal.	
	43	22%	TEA	Thuja occidentalis 'BailJohn'	Technito Arborvitae	5 Gal.	
Total:	193	100%					
Perennials	38	28%	GGR	Geranium 'Gerwat' Rozanne	Rozanne Geranium	1 Gal.	
	62	48%	DFS	Heliopsis helianthoides 'Tuscan Sun'	Tuscan Sun False Sunflower	1 Gal.	
	19	15%	SDD	Hemerocallis 'Stella de' Oro	Stella de Oro Daylily	1 Gal.	
	10	8%	DTB	Penstemon digitalis 'Dark Towers'	Dark Towers Beardtongue	1 Gal.	
Total:	129	100%					
Ornamental Grass	3	5%	KFF	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 Gal.	
	63	95%	DPD	Sporobolus heterolepis 'Tara'	Dwarf Prairie Dropseed	1 Gal.	
Total:	66	100%					

NO.	REVISIONS	DATE
1	PER SIDEWALK REVISION AND CITY COMMENTS	9/23/19
2	PER SIDEWALK REVISION AND CITY COMMENTS	10/25/19

Prepared For:

Liberty Property Trust
9700 W. Higgins Road, Suite 690
Rosemont, IL 60018
LANDSCAPE PLAN
Lot 1A of the West Ridge Corporate Center
Phase III 1st Resubdivision

Prepared By:

Watermark Engineering Resources, Ltd.
2631 Ginger Woods Parkway, Suite 100, Aurora, IL 60502
phone 630-375-1800 fax 630-238-9800 www.watermark-engineering.com

CHECKED BY: B. PERRY
DESIGN BY: K. PRICE
DRAWN BY: K. PRICE
DATE: SEPTEMBER 6, 2019
SCALE: N/A
PROJECT NO.: 19-060

LANDSCAPE DETAILS AND SPECIFICATIONS