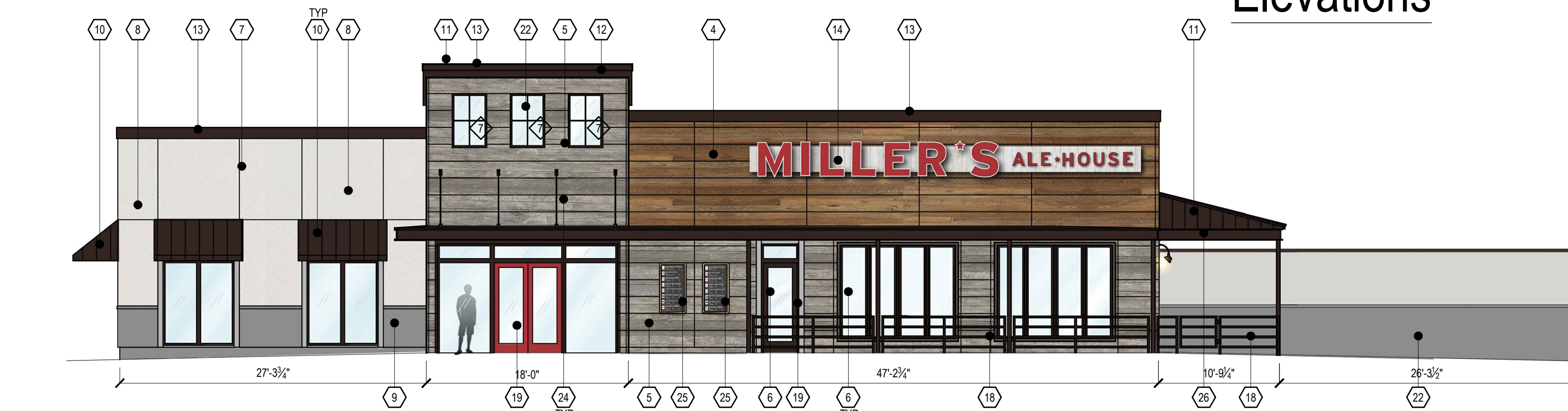


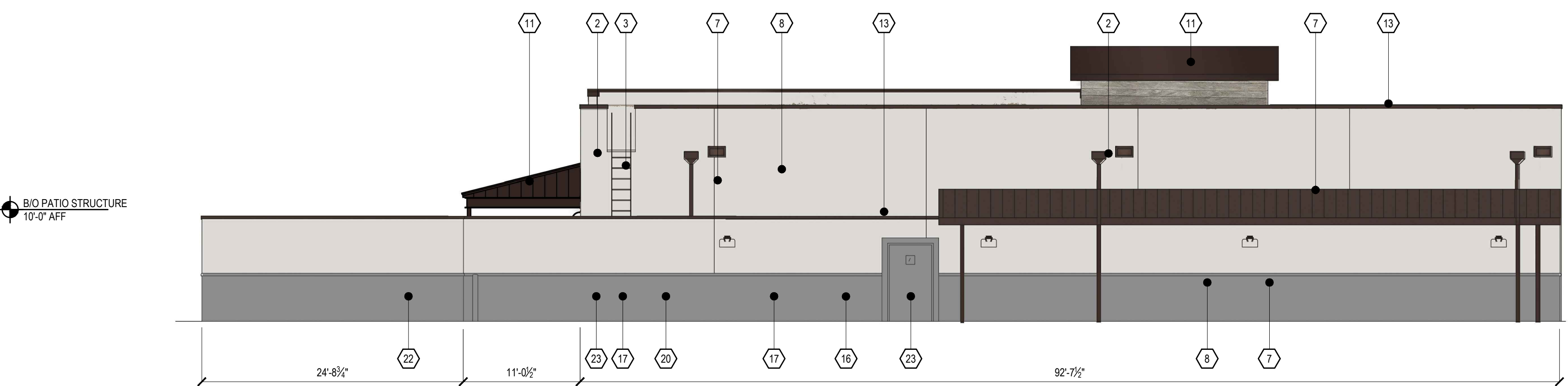
Elevations



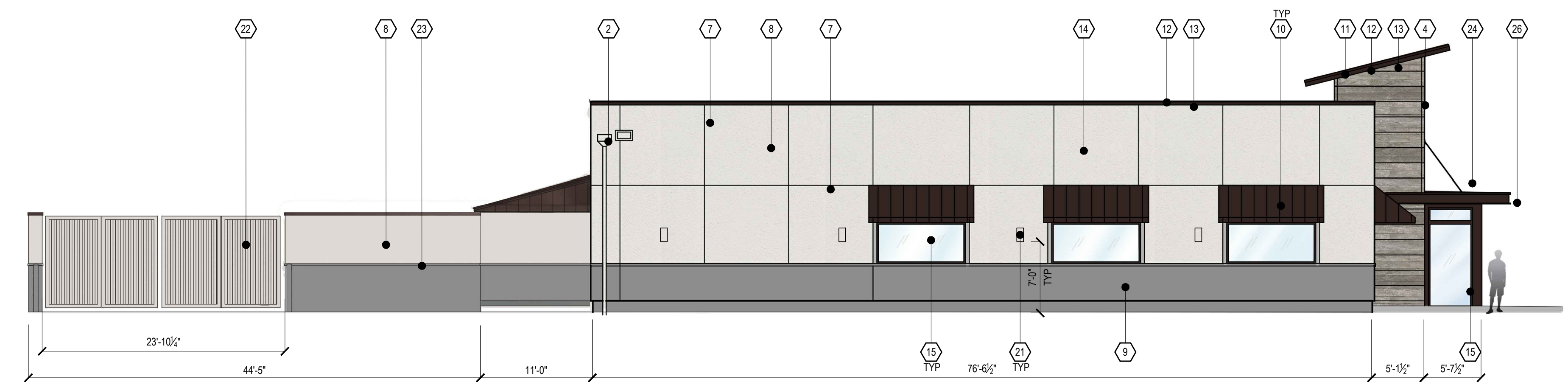
1 Front Elevation
Scale 1/8"=1'-0"
Scale in feet



2 Right Elevation
Scale 1/8"=1'-0"
Scale in feet



3 Rear Elevation
Scale 1/8"=1'-0"
Scale in feet



4 Left Elevation
Scale 1/8"=1'-0"
Scale in feet

- Key Notes:**
- 1 ALUMINUM SHUTTER SYSTEM.
 - 2 SCUPPER AND DOWNSPOUT SYSTEM. COLOR: 01 CLASSIC BRONZE
 - 3 METAL ROOF LADDER-PAINT
 - 4 NICHHA 'WOOD LOOK' HORIZONTAL SIDING PANEL SYSTEM FC-02
 - 5 NICHHA 'WOOD LOOK' HORIZONTAL SIDING PANEL SYSTEM FC-03
 - 6 NICHHA 'WOOD LOOK' TRIM FC-04
 - 7 STUCCO "V" JOINT
 - 8 EXTERIOR STUCCO FINISH SYSTEM SY-01
 - 9 EXTERIOR STUCCO FINISH SYSTEM SY-02
 - 10 STANDING SEAM PRE-ENGINEERED METAL AWNING - TO BE 24 GA. GALVANIZED STEEL. STANDING SEAM PANELS, SIDES TO BE OPEN. COLOR: MT-01 FIELD VERIFY SIZE.
 - 11 STANDING SEAM METAL ROOF MT-01.
 - 12 METAL SOFFIT MT-02.
 - 13 METAL PARAPET COPING / FASCIA MT-03.
 - 14 SIGNAGE TO BE PERMITTED SEPARATELY BY OTHERS.
 - 15 FIXED WINDOWS IN ALUMINUM FIXED FRAMES; COLOR: DARK BRONZE
 - 16 METAL DOORS AND FRAMES TO BE PAINTED, COLOR LIGHT GREY.
 - 17 BOLLARD PAINT TO MATCH WINDOW FRAMES.
 - 18 ALUMINUM RAILING SYSTEM.
 - 19 ALUMINUM STORE FRONT DOORS W/ TEMPERED CLEAR GLASS PANELS. MT-06
 - 20 SERVICE YARD DUMPSTER GATES; REF: A503.
 - 21 EXTERIOR LIGHT FIXTURE; REF: ELECTRICAL.
 - 22 TRASH ENCLOSURE
 - 23 NEW 10'-0" CMU WALL. RE: STRUCTURAL DWGS.
 - 24 DECORATIVE METAL CABLE/ROD. PAINT BLACK.
 - 25 MENU BOARDS BY OWNER.
 - 26 10" HIGH DECORATIVE METAL C-CHANNEL. PAINT MT-03.

Materials Legend

ITEM	KEY	LOCATION	MANUFACTURER	PRODUCT DESCRIPTION	COLOR/FINISH	NOTES
EXTERIOR PANEL	FC-01	EXTERIOR	NICHHA-FIBER CEMENT	METAL ROOF	SEAM 1/2" X 1/2" PANEL-HORC	
	FC-02	EXTERIOR	NICHHA-FIBER CEMENT	ROOF-DRAIN	SHAKE 1/2" X 1/2" PANEL-HORC	
	FC-04	EXTERIOR	NICHHA-FIBER CEMENT	ROOF-TRIM	CEDAR 1/2" TRIM	
GLASS	SL-02	EXTERIOR	T-INSULATED	TEMPERED PANELS-FIBER CEMENT		
	SL-04	EXTERIOR	UNT-PROTECTED	INSULATED WINDOW		
METAL	MT-01	STANDING SEAM METAL ROOF	ATAK	ATAK PC SYSTEM	01 CLASSIC BRONZE	
	MT-02	METAL SOFFIT	ATAK	ATAK DRIPLINE GUT	01 CLASSIC BRONZE	
	MT-03	FASCIA/COPING	ATAK	ATAK FINISHES EDGE TRIM	01 CLASSIC BRONZE	
	MT-06	ALUM. FRAME	MANOR	PERNACAT POWDER COAT	RAL 9011	
	MT-09	EXTERIOR SERVICE AREA	ALUMINUM	WALL PROTECTION PANELS	DIMONDO PLATE (SHEET GOOD)	BOTTOM OF EXTERIOR SERVICE AREA WALLS
	MT-09	ALUM. RAILING	MANOR	PERNACAT POWDER COAT	BLACK	
PAINT	PT-02	EXTERIOR	BEINER MOORE	PAINT	TO MATCH CLASSIC BRONZE METAL	
	PT-06	EXTERIOR	BEINER MOORE	PAINT	40-10 SILVERE PLYMER	
	PT-11	EXTERIOR	BEINER MOORE	PAINT	140 BRUSHED ALUMINUM	
	PT-12	EXTERIOR	BEINER MOORE	PAINT	140 BRUSHED ALUMINUM	
	PT-15	EXTERIOR	BEINER MOORE	PAINT	214-11 INDUSTRIAL BLACK	
EXTERIOR SYSTEM	EX-01	EXTERIOR	FAKES	OPTIMUM EPS	MATCH BEINER MOORE 40-10 SILVERE PLYMER. DANG. WALL LIGHT FIXTURE	
	EX-02	EXTERIOR	FAKES	OPTIMUM EPS	MATCH BEINER MOORE 140 BRUSHED ALUMINUM	
	EX-04	EXTERIOR	FAKES	ACF MASONRY		

Elevation Data Table: Wall Signage

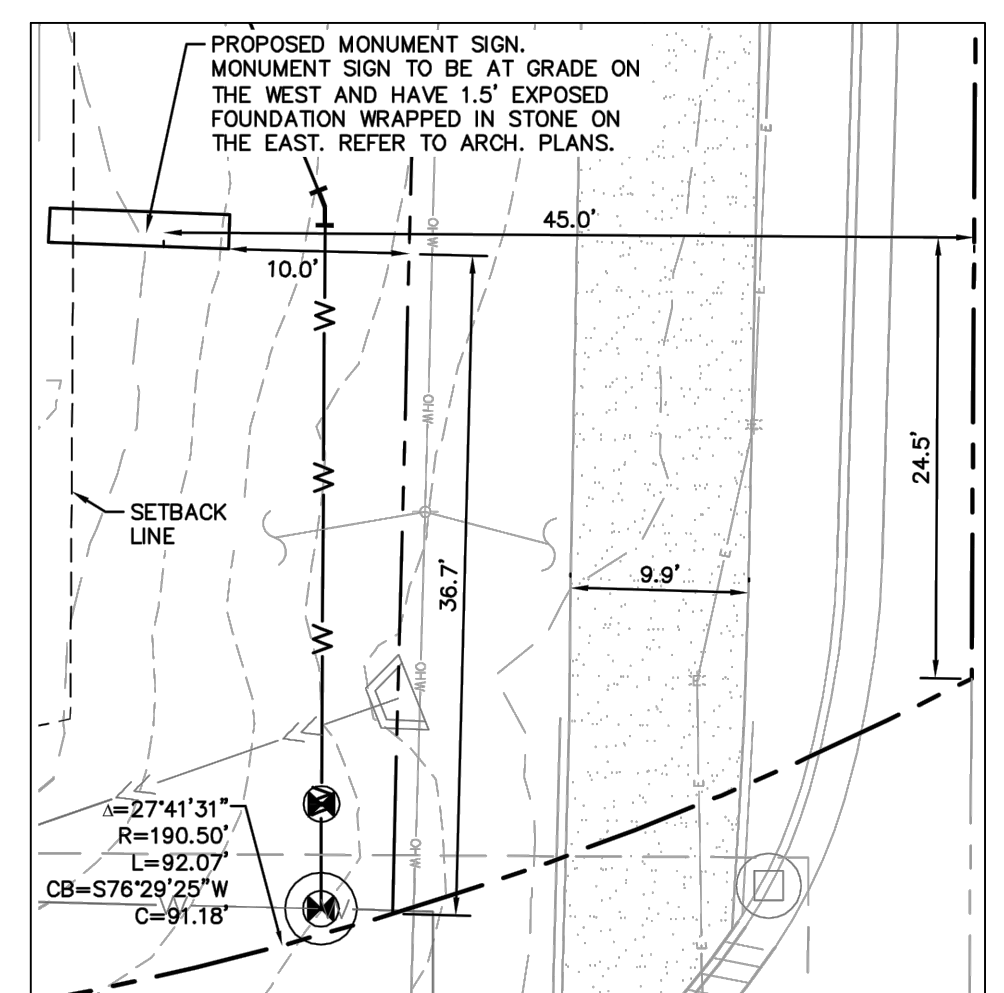
Wall Sign #	Description	Value	Unit
1	(i) Width of Façade - on which Sign is Located	92.70	Feet
	(ii) Height of Façade - on which Sign is Located	21.50	Feet
	(iii) Square Footage of Façade - on which Sign is Located	1,994.13	Square Feet
	(iv) Width of Sign Face	36.50	Feet
	(v) Height of Sign Face	3.33	Feet
	(vi) Square Footage of Sign Face	121.55	Square Feet
	(vii) Percent of Sign Coverage - Façade on which Sign is Located	6%	Percent
2	(i) Width of Façade - on which Sign is Located	77.00	Feet
	(ii) Height of Façade - on which Sign is Located	20.50	Feet
	(iii) Square Footage of Façade - on which Sign is Located	1,569.00	Square Feet
	(iv) Width of Sign Face	36.50	Feet
	(v) Height of Sign Face	3.33	Feet
	(vi) Square Footage of Sign Face	121.55	Square Feet
	(vii) Percent of Sign Coverage - Façade on which Sign is Located	8%	Percent
3	(i) Width of Façade - on which Sign is Located	79.50	Feet
	(ii) Height of Façade - on which Sign is Located	21.50	Feet
	(iii) Square Footage of Façade - on which Sign is Located	1,709.25	Square Feet
	(iv) Width of Sign Face	36.50	Feet
	(v) Height of Sign Face	3.33	Feet
	(vi) Square Footage of Sign Face	121.55	Square Feet
	(vii) Percent of Sign Coverage - Façade on which Sign is Located	7%	Percent

Elevation Data Table: Ground Signage

Ground Sign #	Description	Value	Unit
1	(i) Length of Street Frontage - on which Sign is Located	399	Feet
	(ii) Width of Sign Face	8.83	Feet
	(iii) Height of Sign Face	4.00	Feet
	(iv) Square Footage of Sign Face	35	Square Feet
	(v) Height of Sign (overall)	10	Feet
	(vi) Width of Sign (overall)	10	Feet
	(vii) Type of Sign	Alum panel (painted) w/ push through letters	
	(viii) Type of Sign Base	Stone	
	(ix) Is there a Digital Display	No	
	(x) If Yes, then, Location of Digital Display on the sign		
	Height of Digital Display	Feet	
	Width of Digital Display	Feet	
	Square Footage of Digital Display	Square Feet	
	Percent of Digital Display Sign Coverage	Percent	

Elevation Data Table: Elevations

Description	Value	Unit
a) Building Height in feet (typical)	21.50	feet
b) Total Building Square Footage (typical)	8,010.00	Square Feet
c) First Floor Building Square Footage (typical)	8,010.00	Square Feet
d) Number of building stories (typical)	1.00	Square Feet
e) Exterior Material List (including colors) for all buildings and accessory structures: Refer to Materials Legend on Exterior Elevations, PZ201		



5 Sign Location Detail
Scale 3/32"=1'-0"

1925 Prospect Ave.
Orlando, FL 32814
P (407) 661-9100
F (407) 661-9101
www.c-p.com
Florida Corporate Certificate #AA 0000528



CLIENT NAME
Miller's Ale House Inc.
5750 Major Blvd., Suite 400
Orlando, Florida 32819
CO Mr. Shane Feenster

PROJECT NAME
Miller's Ale House
778 North State Route 59
Aurora, Illinois 60504

SHEET TITLE
Elevations

PROJECT NO.	DATE	DRAWN	DRL	CHECKED	IUS
2160274	12-15-2016				

PZ201

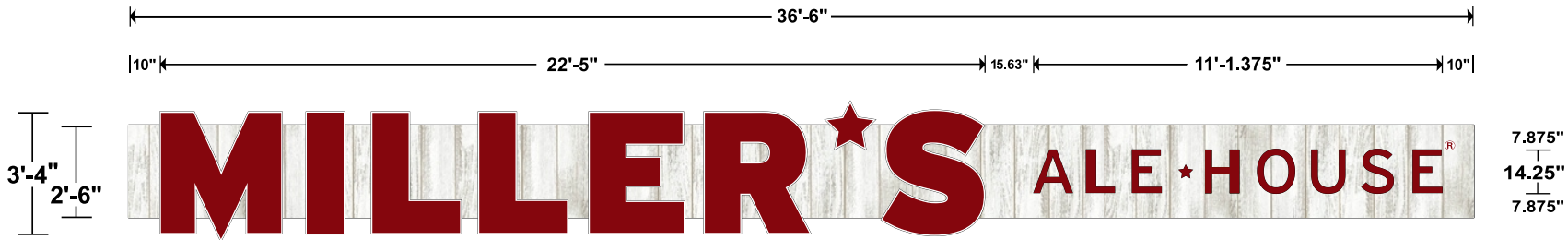
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MILLER'S ALE HOUSE®

Miller's Ale House
778 South Illinois - Route 59, Aurora, Illinois 60504



Beach Neon & Sign
1940 Spearing Street, Jacksonville, Florida 32206



MILLERS - 40" TALL
STAR - 16 27" TALL x 17 11" WIDE

ALE HOUSE - 14.25" TALL
STAR - 4.68" TALL x 4.92" WIDE
3" DIAMETER 3M BURGUNDY VINYL NON-ILLUMINATED (TRADEMARK)

MILLER'S ALE HOUSE
778 SOUTH ILLINOIS - ROUTE 59
AURORA, IL 60504

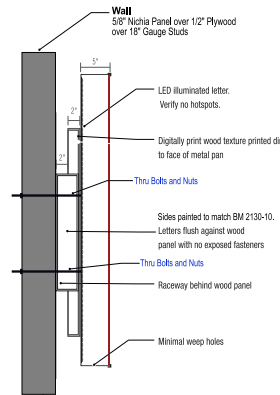
122sq. FT.
(BOXED-OFF)

INTERNALLY ILLUMINATED CHANNEL LETTER SIGN
FLUSH MOUNTED TO A DIGITALLY PRINTED
ALUMINUM BACKER PANEL WITH A 2" LIP
BACKER PANEL MOUNTED ON RACEWAY(S)
ALUMINUM CONSTRUCTION WITH A PAINTED FINISH
ACRYLIC FACES WITH TRANSLUCENT VINYL OVERLAY
AND TRIMCAP RETAINERS
LED LIGHTING FOR ILLUMINATION
UL LISTED APPROVED ELECTRICAL COMPONENTS
INSTALLATION HARDWARE AS REQUIRED FOR LOCATION

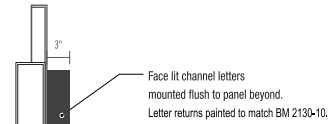
COLORS:
"MILLERS & STAR" - RETURNS: PAINTED TO MATCH BM 2130-10 BLACK BEAN SOUP
"MILLER'S & STAR" - WHITE TRIMCAP
FACES - WHITE ACRYLIC WITH VINYL OVERLAY (WHITE BORDER AROUND DIAMETER OF LETTER)
VINYL OVERLAY COLOR: 3M BURGUNDY
LED LIGHTING - WHITE
"ALE HOUSE & STAR" - RETURNS: PAINTED TO MATCH BM 2130-10 BLACK BEAN SOUP
FACES - WHITE ACRYLIC WITH VINYL OVERLAY COLOR: 3M BURGUNDY
"ALE HOUSE & STAR" - BLACK TRIMCAP
LED LIGHTING - WHITE

FRONT ELEVATION
RIGHT ELEVATION
LEFT ELEVATION

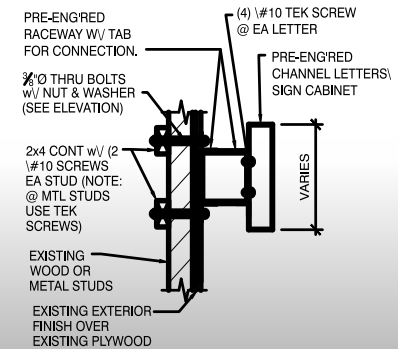
MILLER'S 5" RETURNS MOUNTING METHOD



ALE HOUSE 3" RETURNS



HARDWARE DETAIL



Client: Miller's Ale House
Location: 778 S. Illinois-Route 59
Aurora, Illinois 60504
Salesperson: -
Proj. Mgr: -
Date: 03/20/17
Designer: SEV
File Name: Miller's_Ale_House
Aurora, Illinois 60504
Square Footage: - 122 sq
Job #: -

REVISIONS

- Approved
- Approved As Noted
- Revise & Resubmit

By:

Date:

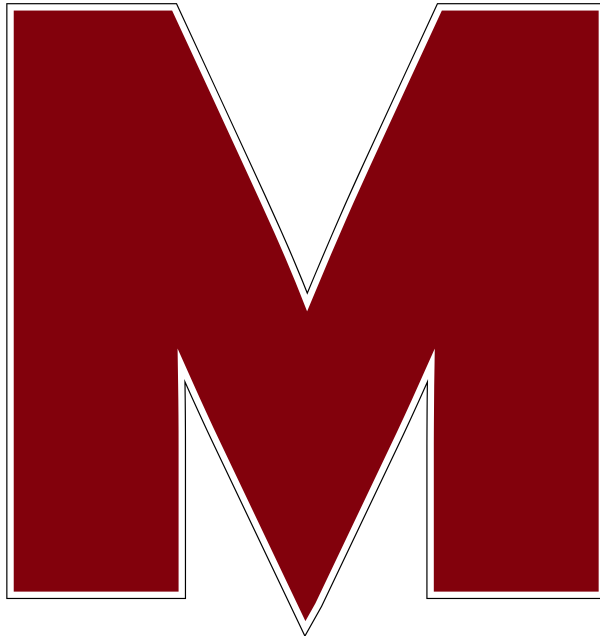
DUE TO THE PHYSICAL LIMITATIONS OF THE PAPER AND INK-BASED PRINTING PROCESS, THIS CUSTOM ARTWORK IS NOT INTENDED TO PROVIDE AN EXACT MATCH BETWEEN INK, VINYL OR PAINT.



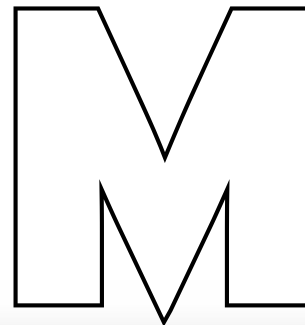
CGC 059375 CGC 060028 ET 11000967

Beach Neon & Sign
1940 Spearing Street
Jacksonville, FL 32206
phone: (904) 246-1106
fax: (904) 246-1673

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**FRONT / RIGHT / LEFT
ELEVATION
40" LETTER**



**MONUMENT
LETTER
WHITE ACRYLIC
13" LETTER**

MILLER'S
ALE-HOUSE

Client: Miller's Ale House
Location: 778 S. Illinois-Route 59
Aurora, Illinois 60504
Salesperson: -
Proj. Mgr: -
Date: **03/20/17**
Designer: **SEV**
File Name: Miller's_Ale_House
Aurora, Illinois 60504
Square Footage: -
Job #: -

REVISIONS

- Approved
- Approved As Noted
- Revise & Resubmit

By:

Date:

DUE TO THE PHYSICAL LIMITATIONS OF THE PAPER AND INK-BASED PRINTING PROCESS, THIS CUSTOM ARTWORK IS NOT INTENDED TO PROVIDE AN EXACT MATCH BETWEEN INK, VINYL, OR PAINT.



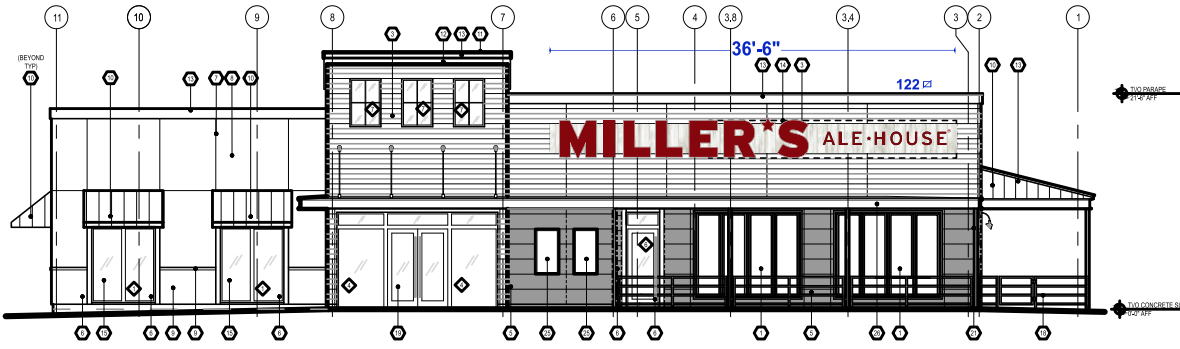
Beach **NEON & SIGN**
Phone: (904) 246-1106
Fax: (904) 246-1673
Email: beachneonandsign@beachneon.com

CGC 059375 CGC 060028 ET 11000967

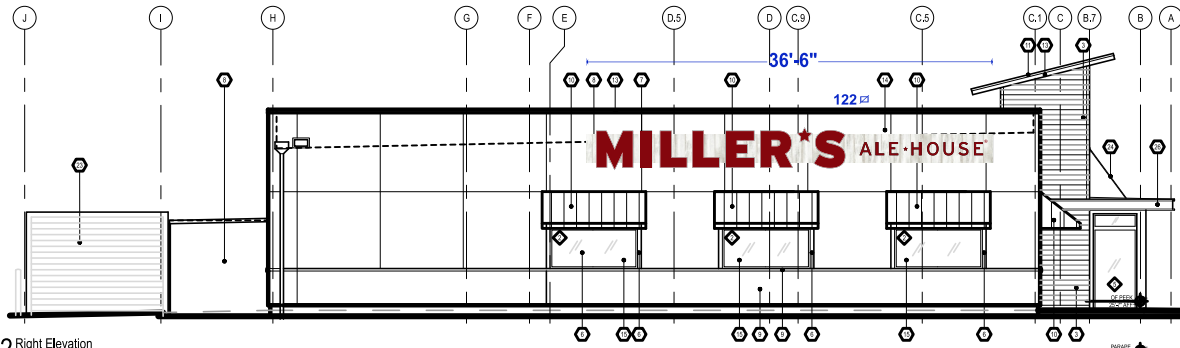
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21'-6" x 84'-0" x 10% = 180 Sq. Feet Allowed

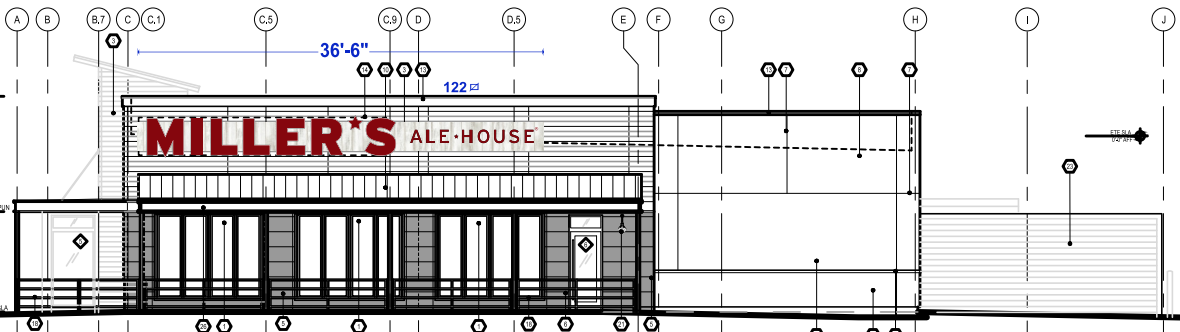


1 Front Elevation
Scale: 3/16"=1'-0"



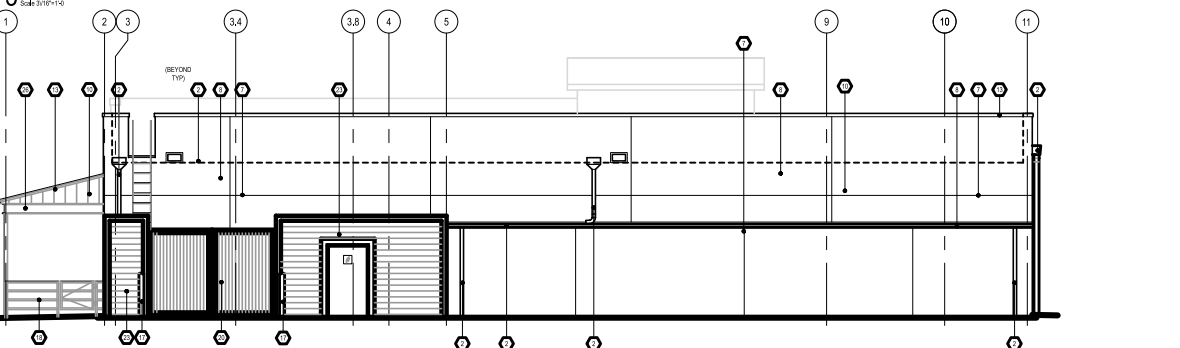
2 Right Elevation
Scale: 3/16"=1'-0"

20'-0" x 70'-0" x 10% = 140 Sq. Feet Allowed



3 Left Elevation
Scale: 3/16"=1'-0"

21'-6" x 71'-6" x 10% = 153 Sq. Feet Allowed



4 Rear Elevation
Scale: 3/16"=1'-0"

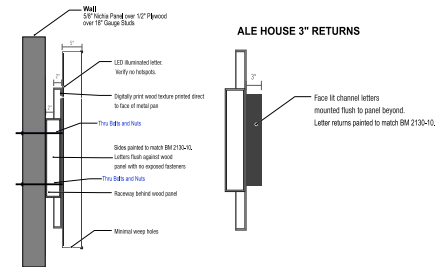
ELEVATION DRAWING

MILLER'S
ALE HOUSE

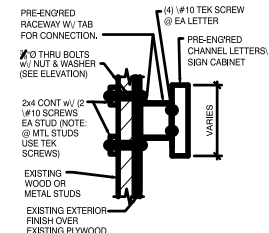
Client: Miller's Ale House
Location: 778 S. Illinois-Route 59
Aurora, Illinois 60504
Salesperson: -
Proj. Mgr: -
Date: 3/20/17
Designer: SEV
File Name: Miller's_Ale_House
Aurora, Illinois 60504
Square Footage: - 122 sq
Job #: -

REVISIONS

MILLER'S 5" RETURNS MOUNTING METHOD



HARDWARE DETAIL



MILLER'S ALE HOUSE
778 SOUTH ILLINOIS - ROUTE 59
AURORA, IL 60504

- Approved
- Approved As Noted
- Revise & Resubmit

By:
Date:

DUE TO THE PHYSICAL LIMITATIONS OF THE PAPER AND INK-BASED PRINTING PROCESS, THIS CUSTOM ARTWORK IS NOT INTENDED TO PROVIDE AND EXACT MATCH BETWEEN INK, VINYL OR PAINT.



Beach NEON & SIGN
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Jacksonville, FL 32206
Phone: (904) 246-1100
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CGC 059375 CGC 060028 ET 11000967

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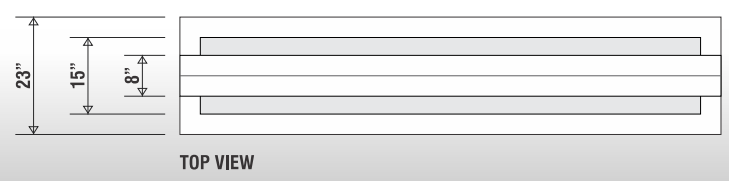
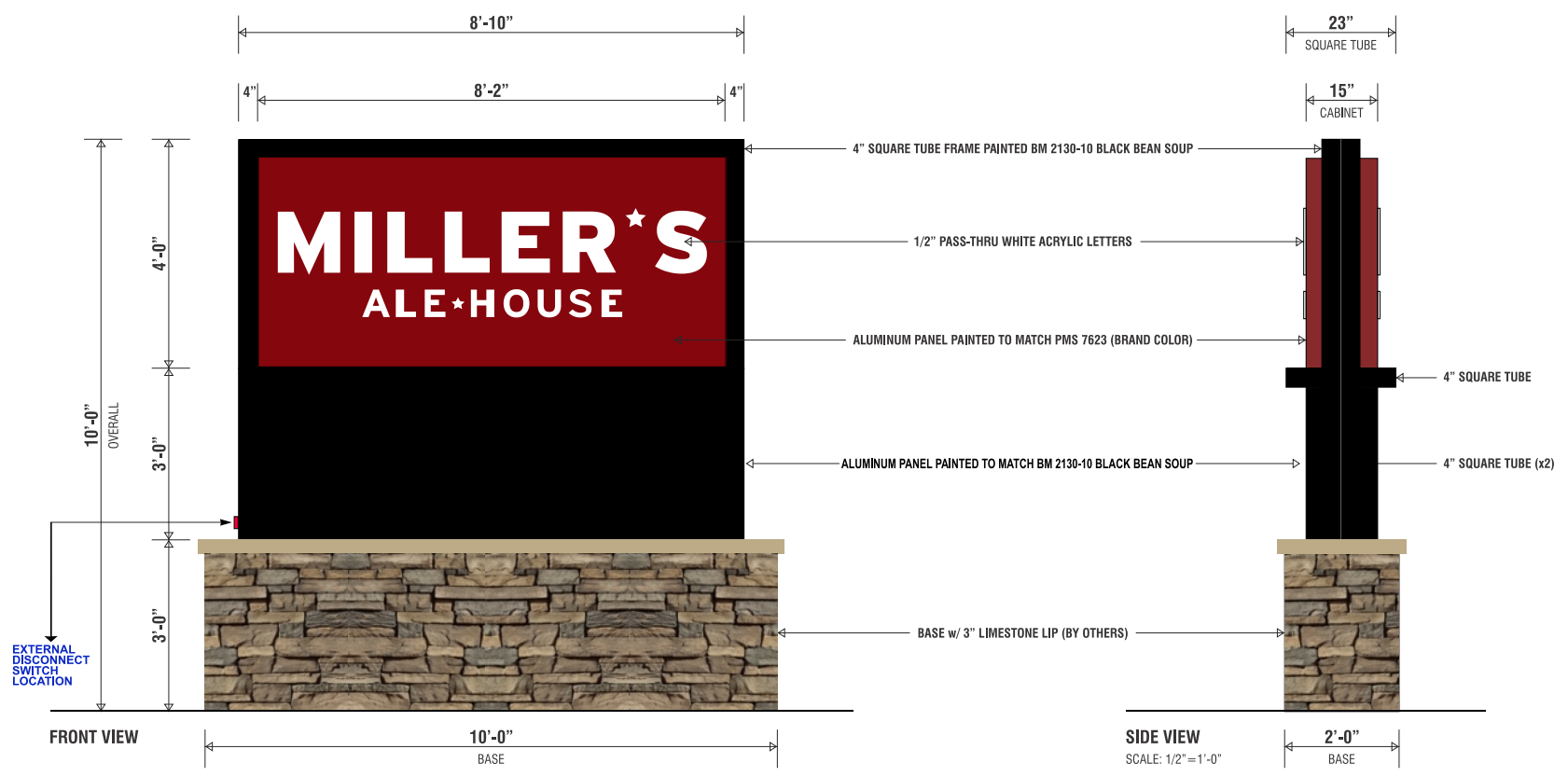
Client: Miller's Ale House
 Location: 778 S. Illinois-Route 59
 Aurora, Illinois 60504
 Salesperson: -
 Proj. Mgr: -
 Date: 03/20/17
 Designer: SEV
 File Name: Miller's_Ale_House
 Aurora, Illinois 60504
 Square Footage: - 32.6
 Job #: -

REVISIONS
03/20/17

Approved
 Approved As Noted
 Revise & Resubmit

By: _____
 Date: _____

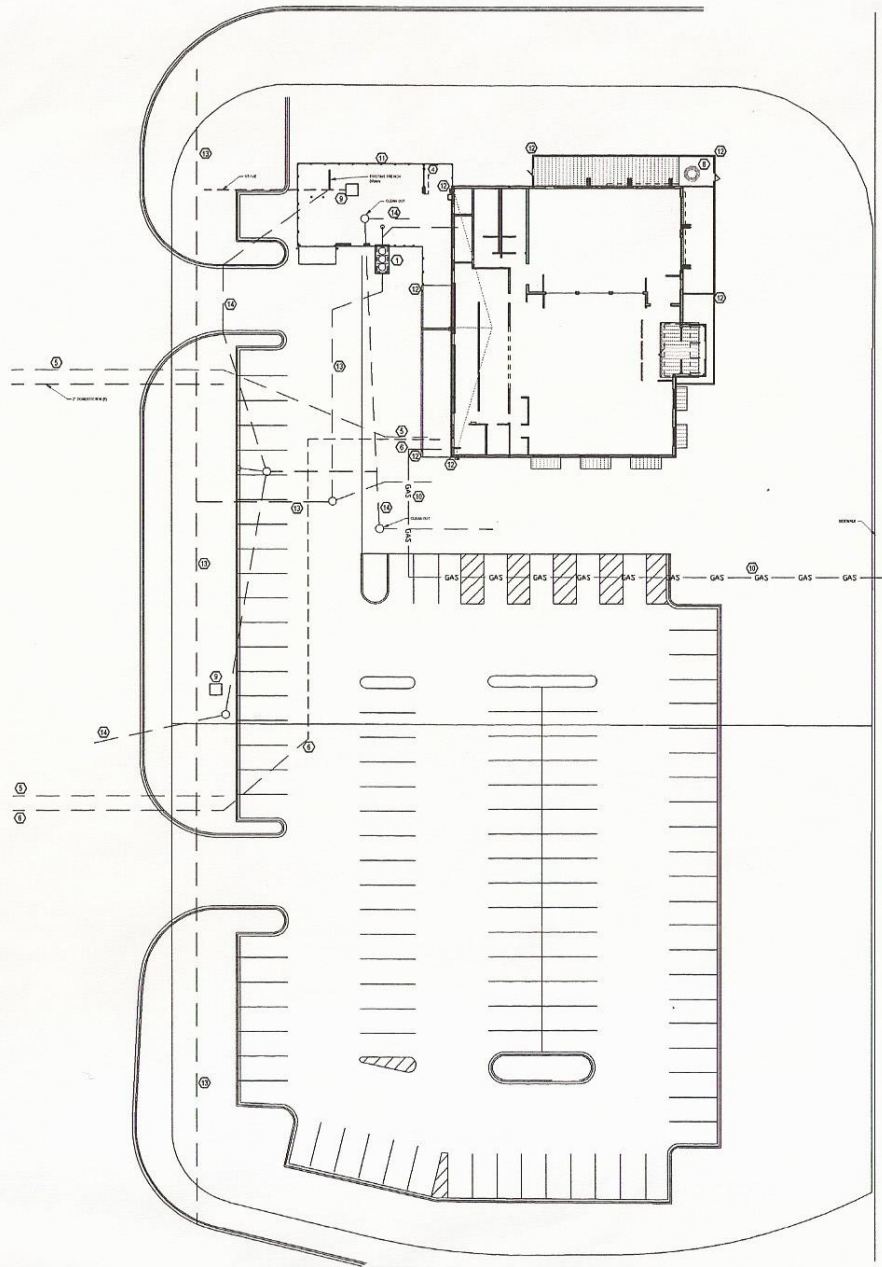
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13" LETTERS → **MILLER'S**
 5-3/4" LETTERS → **ALE-HOUSE®**

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 1940 Spearing Street
 Jacksonville, FL 32206
 phone: (904) 246-1106
 fax: (904) 246-1673

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1 Architectural Site Plan

- General Notes**
1. GO TO COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES REGARDING ANY AND ALL BUILDING WORK. GC SHALL PROVIDE AND INSTALL ALL NECESSARY GENERAL AND SPECIALTY ELECTRICAL, MECHANICAL AND PLUMBING WORK AND SHALL BE RESPONSIBLE FOR THE ADJUSTMENT OF ALL MECHANICAL AND ELECTRICAL WORK TO MATCH A LOT AND CITY CONNECTIONS. GC AND ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ADJUSTMENT OF ANY MECHANICAL AND ELECTRICAL WORK.
 2. ALL UTILITIES INFORMATION SHOWN IN THIS SET OF DRAWINGS SHALL BE CORROBORATED WITH THE OWNERS PROVIDED BY THE CITY ENGINEER WITH THE GENERAL CONNECTION. ARCHITECT, GC AND GC SHALL PROVIDE ACCESS TO VERIFY THE LOCATION OF THE EXISTING UTILITIES.
 3. IN ADDITION TO THIS SHEET, REFER TO THE PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS IN THIS SET FOR COMPLETE INFORMATION REGARDING UTILITIES.
 4. REFER TO GROUNDWORK FOR ALL SITEWORK, EXISTING UTILITIES, AND ALL UTILITIES UNDER SEPARATE COVERS.
 5. IN AREA A AND SEPARATE INCLUDING WETTER, BENCH & LOW SPACES AS SET OUT BY THE OWNER AND SEPARATE INFORMATION PROVIDED BY THE OWNER. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ADJUSTMENT OF ALL MECHANICAL AND ELECTRICAL WORK, WATER, AIR, GAS, ETC. WITH THE NECESSARY CITY PERMISSIONS. CONTRACTOR SHALL PROVIDE THE CITY PERMISSIONS, PERMITS, AND ALL NECESSARY INFORMATION TO THE CITY ENGINEER AND ARCHITECT FOR THE CITY ENGINEER AND ARCHITECT TO VERIFY THE LOCATION OF THE EXISTING UTILITIES.
 6. REFER TO GROUNDWORK FOR INFORMATION RELATED TO SEWER AND GAS.
 7. REFER TO GROUNDWORK FOR INFORMATION RELATED TO SEWER AND GAS.
 8. AT EACH FLOOR LEVEL, THE TOP OF THE ADJUSTMENT SHALL BE EXPLICITLY BELOW THE FINISH FLOOR ELEVATION OF THE BUILDING.
 9. AT EACH LEVEL OF THE BUILDING, THE TOP OF ADJUSTMENT SHALL BE EXPLICITLY BELOW THE FINISH FLOOR ELEVATION OF THE BUILDING.
 10. FOR ALL UTILITIES UNDER SEWER AND GAS, THE TOP OF THE ADJUSTMENT SHALL BE A MINIMUM OF 18" BELOW THE FINISH FLOOR ELEVATION OF THE BUILDING.
 11. ALL ADJUSTMENT SHALL HAVE A MINIMUM OF 18" IN A 10' HORIZONTAL DISTANCE AND A MINIMUM OF 1% SLOPE.
 12. ALL ADJUSTMENT SHALL HAVE A MINIMUM OF 18" IN A 10' HORIZONTAL DISTANCE AND A MINIMUM OF 1% SLOPE.
 13. ALL ADJUSTMENT SHALL BE 18" ABOVE THE TOP OF THE ADJUSTMENT.

- Key Notes**
1. EXISTING GRADE INTERFERES. RE PLUMBING AND CIVIL GRADE (VALANCE BY COVER)
 2. PIPE INTERFERES. RE PLUMBING UNDER SEPARATE COVER
 3. PROPOSED CONNECTION RE CIVIL GRADE UNDER SEPARATE COVER
 4. UNDER SEPARATE COVER. RE PLUMBING COVER
 5. EXISTING 12" FIBER OPTIC RE CHALLENGE UNDER SEPARATE COVER
 6. EXISTING 12" WATER MAIN COVER AND SEWER. RE PLUMBING & CIVIL GRADE (VALANCE BY COVER)
 7. NEW CIVIL MECHANICAL. RE CHALLENGE UNDER SEPARATE COVER
 8. OPEN GROUND FLOOR. RE PLUMBING COVER
 9. EXISTING ELECTRICAL PENETRATIONS. RE ELECT. COVER
 10. PROPOSED CONNECTIONS AND COVER. RE PLUMBING COVER
 11. STEEL FRAME BUILDING WALL. RE STRUCTURAL COVER
 12. WATER CONNECTION SYSTEM. RE PLUMBING COVER
 13. SEWER CONNECTION. RE PLUMBING COVER
 14. SEWER CONNECTION. RE PLUMBING COVER

1925 Prospect Ave.
Orlando, FL 32814
Tel: 407.511.1100
P: 407.511.1001
www.millerale.com



MILLER'S ALE HOUSE
Miller's Ale House, Inc.
5700 Major Blvd., Suite 400
Orlando, FL 32819

PROJECT NAME: Miller's Ale House
778 South Orange Ave.
Orlando, FL 32819
STREET TITLE: Architectural Site Plan

PROJECT NO.	DATE	DRAWN BY	CHECKED BY

SP101